

Version 1. 1/13/2023

### **City of Bay Minette**

### **Site Plan Review Application**

301 D'Olive Street · Bay Minette, Alabama 36507

Phone (251) 580-1650  $\cdot$  COBM\_ Planning@cityofbayminetteal.gov

Office Use Only

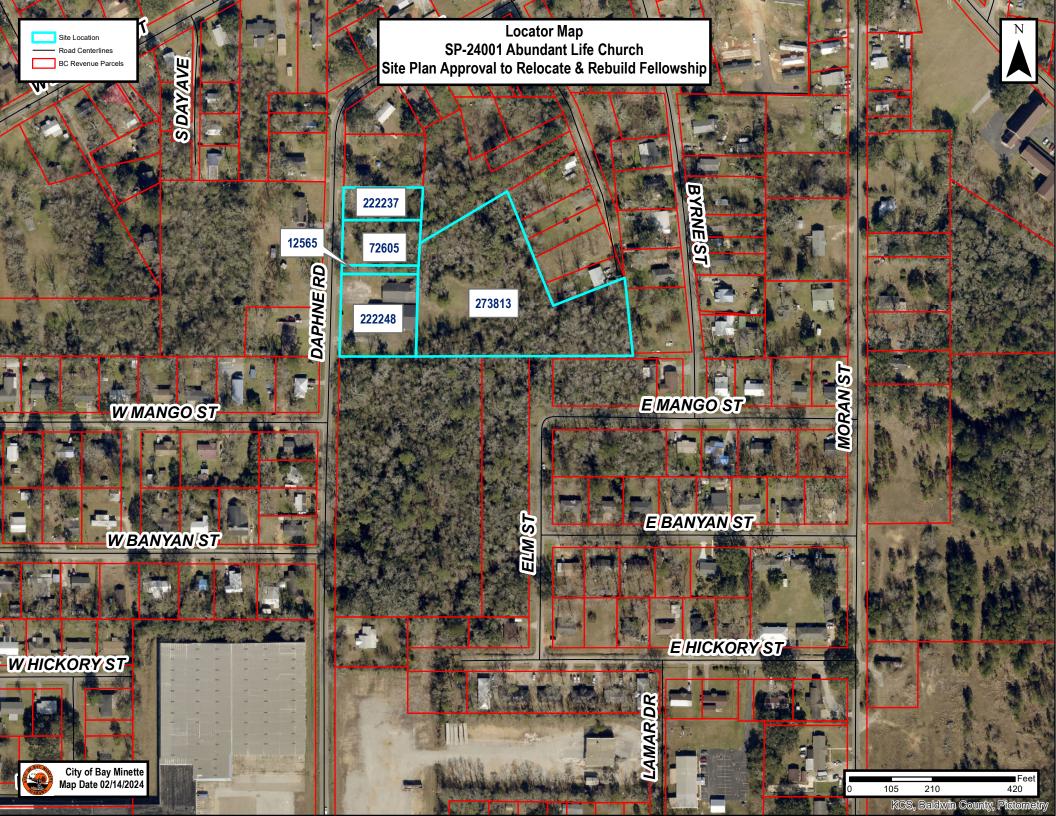
Case No.: 37-2400

Fee: \$500.00

Paid: □ Cash □ Check

□ Credit Card

Are you the property owner? ■ Yes □ No (If you are not the property owner, you must su	ıbmit an Agent Authorizatio	on Form signed by the property course)
Applicant Name: Abundant Life Church, Inc		
Mailing Address: P. O. Box 1523		Date: December 14, 2023
City: Bay Minette	State: Alabama	7:- C-1- 00507
Phone Number: (251) 937-2677		Zip Code: 36507 pundantlife3@att.net
	Site Information	
Property Address: 541 Old Daphne Road, Bay	y Minette 36507	
or Property Location:		
*Parcel No.:		*PDD 131 000040
*Parcel or PPIN information must be completed		*PPIN No.: <u>222248</u>
	,	
I, the undersigned, do hereby request the Cir for the location to determine if it meets the r I understand and authorize City Staff to con-	regulations of the <i>Zoning</i> duct site visits, as needed	Ordinance for the reason(s) stated shows
Signature of Applicant (Owner of Property of	of Authorized Agent)	Date
Submittal Requirements  X Application  X Fee paid in full  X Agent Authorization Form (if applicant	is not the owner)	
X Complete Legal Description of Property	y isting structures, proposed	structures, and setbacks from property lines
Zorejund 1191 ou	a Pre-Applia	ation Meeting



1. It is the intent of the floor plan and related detail drawings to show approximate location and size of equipment and fixtures specified. The rough-in drawings are derived from the floor plan and indicate approximate outlet locations, connection position, and load requirements. While all of the drawings were prepared and drawn as accurately as possible, it is the responsibility of the kitchen equipment contractor to verify all of the above conditions prior to submittal of detailed floor plan, shop drawings, and dimensioned rough-in plans.

2. Prior to commencing work the mechanical contractors shall request dimensioned rough-in plans from the Kitchen Equipment Contractor.

3. All sizes given for food services equipment and fixtures on drawings and in written specifications are approximate. The Kitchen Equipment contractor shall verify all measurements at the job site prior to issuance of purchase orders for equipment,

4. Any changes or relocations of equipment, plumbing, electrical or mechanical services due to structural considerations shall be submitted to jimmy's store for review and approval before proceeding with work.

5. All debris associated with food service contractor responsibility of general contractor.

#### GENERAL NOTES:

- PROVIDE BLOCKING IN GALVANIZED METAL STUD WALLS WITH GALVANIZED METAL STUD FURRING TO SUPPORT WALL MOUNTED EQUIPMENT AND CASEWORK.
- 2. SEE STRUCTURAL FOR COLUMN GRID SPACING.
- SEAL ALL WALL PENETRATIONS. SEAL MATERIAL SHALL MATCH COLOR AND FIRE RATING OF WALL.
- COORDINATE WITH STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FOR ASSOCIATED WORK UNLESS NOTED
- 5. REFER TO SHEETS A601 FOR STOREFRONT & WINDOW DIMENSIONS
- ALL INTERIOR DOOR OPENINGS SHALL BE 4" OFF ADJACENT STUD WALLS ON THE HINGE SIDE OF DOOR UNLESS NOTED OTHERWISE.
- 7. EXTERIOR INSULATED METAL WALL "R" VALUE = R-14.
- SEE OWNER FOR INTERIOR COLORS, SIGNAGES, FURNITURE, FINISHES,
- DIMENSIONS ARE FROM FACE OF MASONRY OR STUD WALLS
- 11. COLUMN LINES ARE TO BE COORDINATED WITH STRUCTURAL AND

SYMBOLS LEGEND

X - WALL TYPES

WINDOW TYPES

000 ROOM NUMBER 8 DOOR NUMBER GROUP & ASSOCIATES LLC ARCHITECTURE, INTERIORS, CONSULTING 656 DAUPHIN ST. MOBILE, ALABAMA 36602 TELEPHONE: 251/377-8457

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REVISIONS NO. DATE REMARKS

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS SHOULD BE MADE ACCORDINGLY.

SHEET TITLE FLOOR PLANS

JOB NO. 2022-007

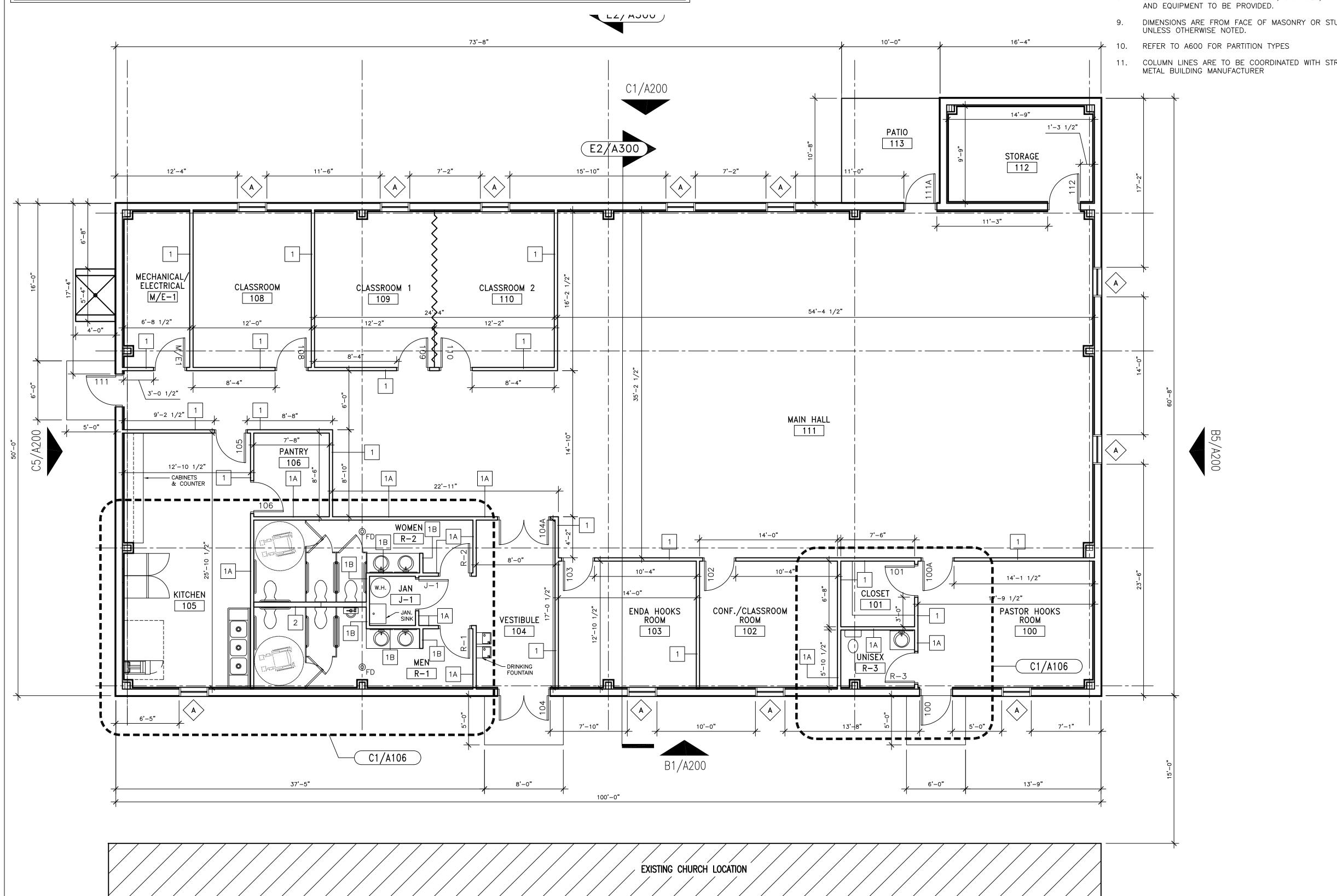
DATE: 10-11-22

DRAWN BY:

CHECKED BY:

SHEET

C. GANT



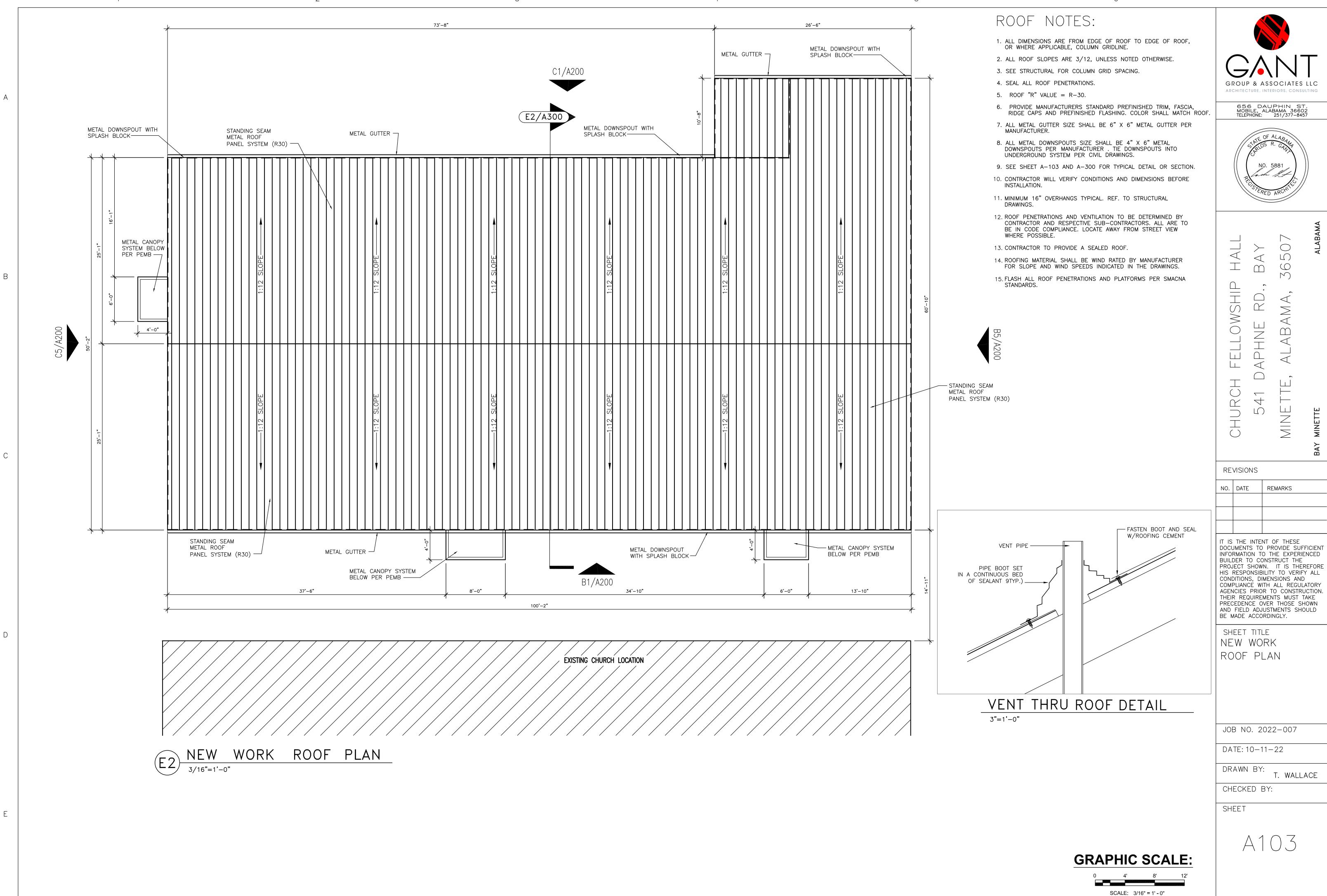
FLOOR PLAN

**GRAPHIC SCALE:** 

SCALE: 3/16" = 1' - 0"

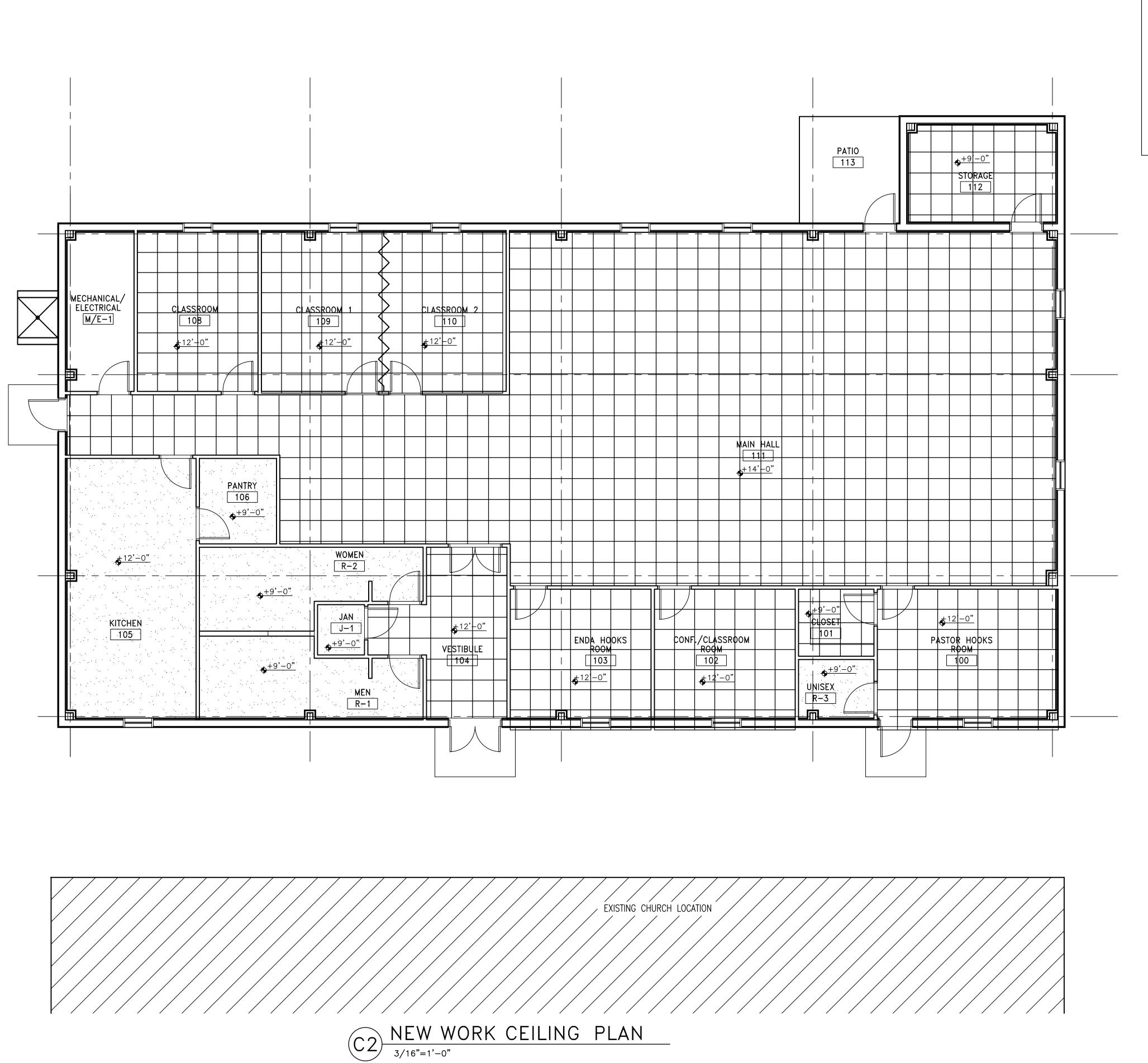
FIRST FLOOR GROSS SF = 5174 SF

COVERED OVERHANG @  $\frac{1}{2}$  SF = 53.5 SF TOTAL BUILDING GROSS SF= 5227.5 SF



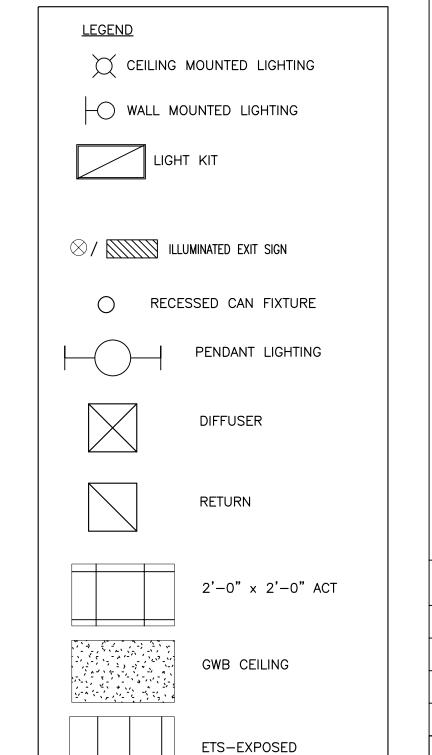


AGENCIES PRIOR TO CONSTRUCTION.



#### UTILITY NOTES:

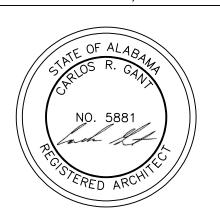
- SEE SHEET G002 FOR BASIC GENERAL ELECTRICAL AND MECHANICAL NOTES
- 2. HVAC PER MECHANICAL DRAWINGS.
- 3. NEW CABLE AND T.V. OUTLETS TO BE LOCATED BY THE ELECTRICAL CONTRACTOR WITH INPUT FROM THE OWNER. COST RELATED TO FAILURE TO DO SO ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- 4. NEW LIGHTING FIXTURES TO BE DETERMINED BY OWNER.
- 5. NEW EXTERIOR EMERGENCY LIGHTING IS TO BE PROVIDED AT LOCATIONS AS DETERMINED BY OWNER.
- 6. PROVIDE BLOCKING IN CEILINGS TO SUPPORT CEILING MOUNTED EQUIPMENT.
- 7. SEE STRUCTURAL FOR COLUMN GRID SPACING.
- 8. SEAL ALL PENETRATIONS.
- 9. ALL CEILING HEIGHTS ARE 10'-8" A.F.F., UNLESS NOTED OTHERWISE.
- 10. PROVIDE METAL SUPPORTS AROUND ALL OPENINGS FOR MECHANICAL, STRUCTURAL, OR OTHER PENETRATIONS.



STRUCTURE (PAINTED)



656 DAUPHIN ST. MOBILE, ALABAMA 36602 TELEPHONE: 251/377-8457



CHURCH FELLOWSHIP HALL 541 DAPHNE RD., BAY MINETTE, ALABAMA, 36507

REVISIONS

NO. DATE REMARKS

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DOCUMENTS TO PROVIDE SUFFICIENT
INFORMATION TO THE EXPERIENCED
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PROJECT SHOWN. IT IS THEREFORE
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CONDITIONS, DIMENSIONS AND
COMPLIANCE WITH ALL REGULATORY
AGENCIES PRIOR TO CONSTRUCTION.
THEIR REQUIREMENTS MUST TAKE
PRECEDENCE OVER THOSE SHOWN
AND FIELD ADJUSTMENTS SHOULD
BE MADE ACCORDINGLY.

SHEET TITLE

NEW WORK

CEILING

PLAN

JOB NO. 2022-007

DATE: 10-11-22

DRAWN BY: T. WALLACE

CHECKED BY:

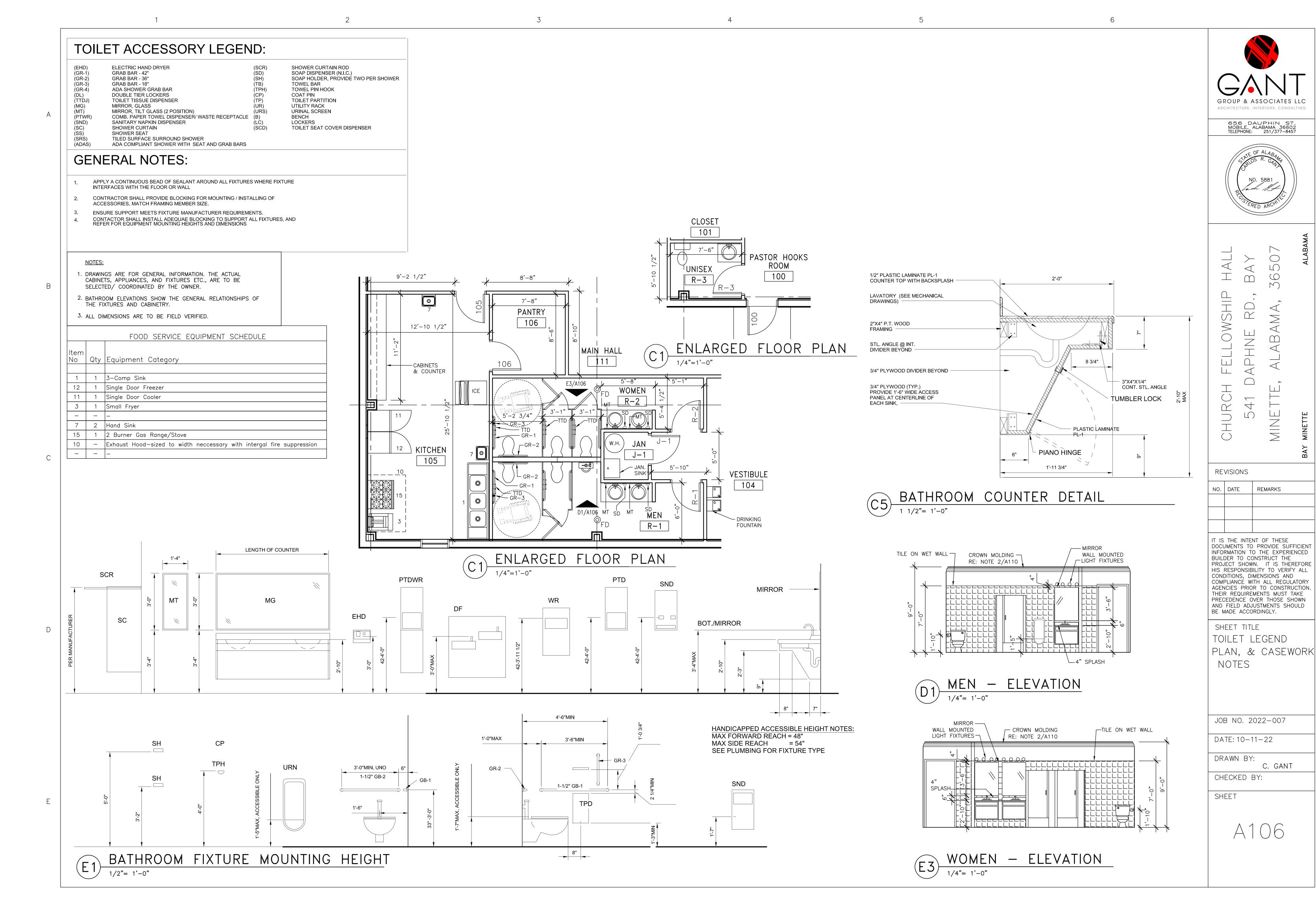
SHEET

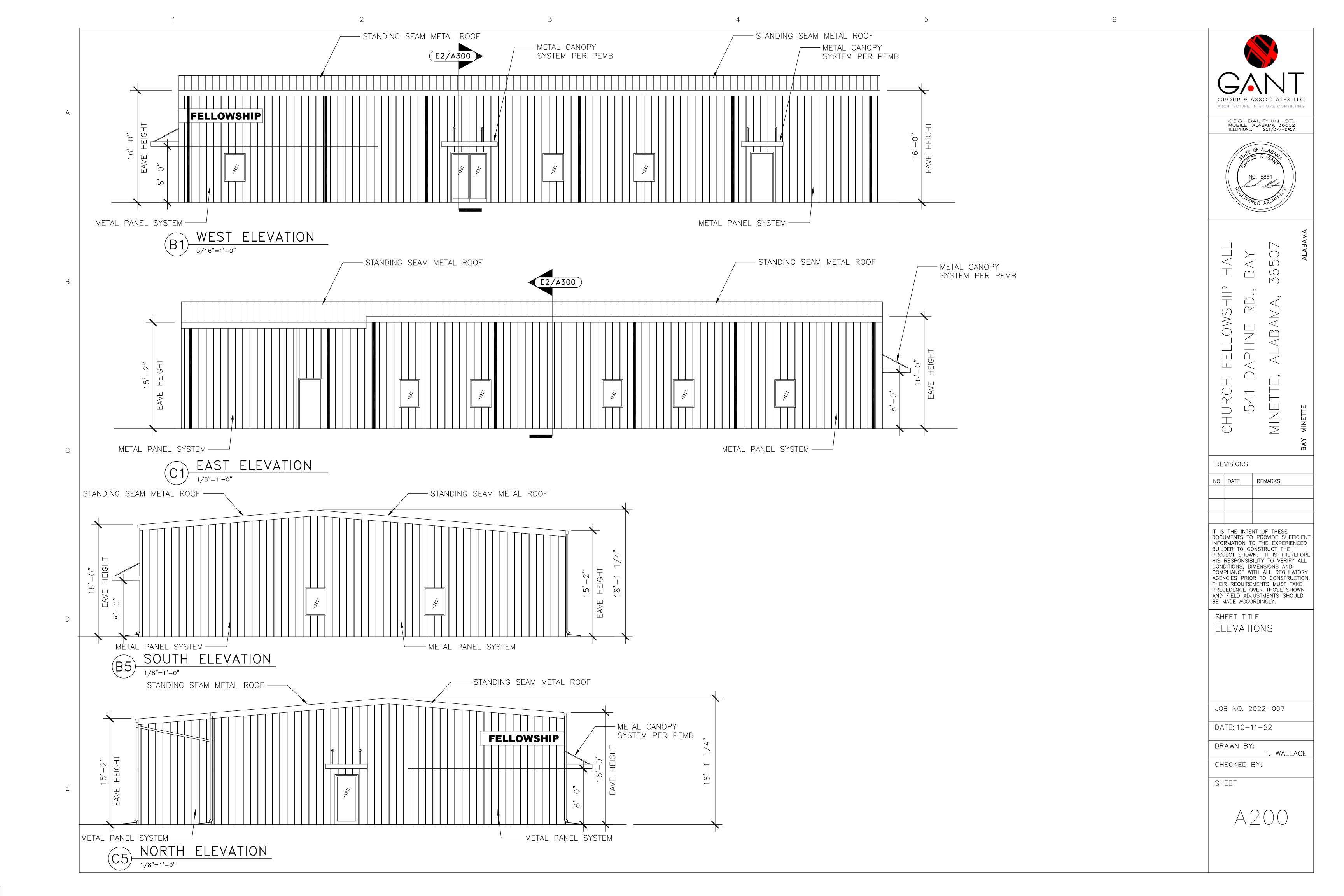
A104

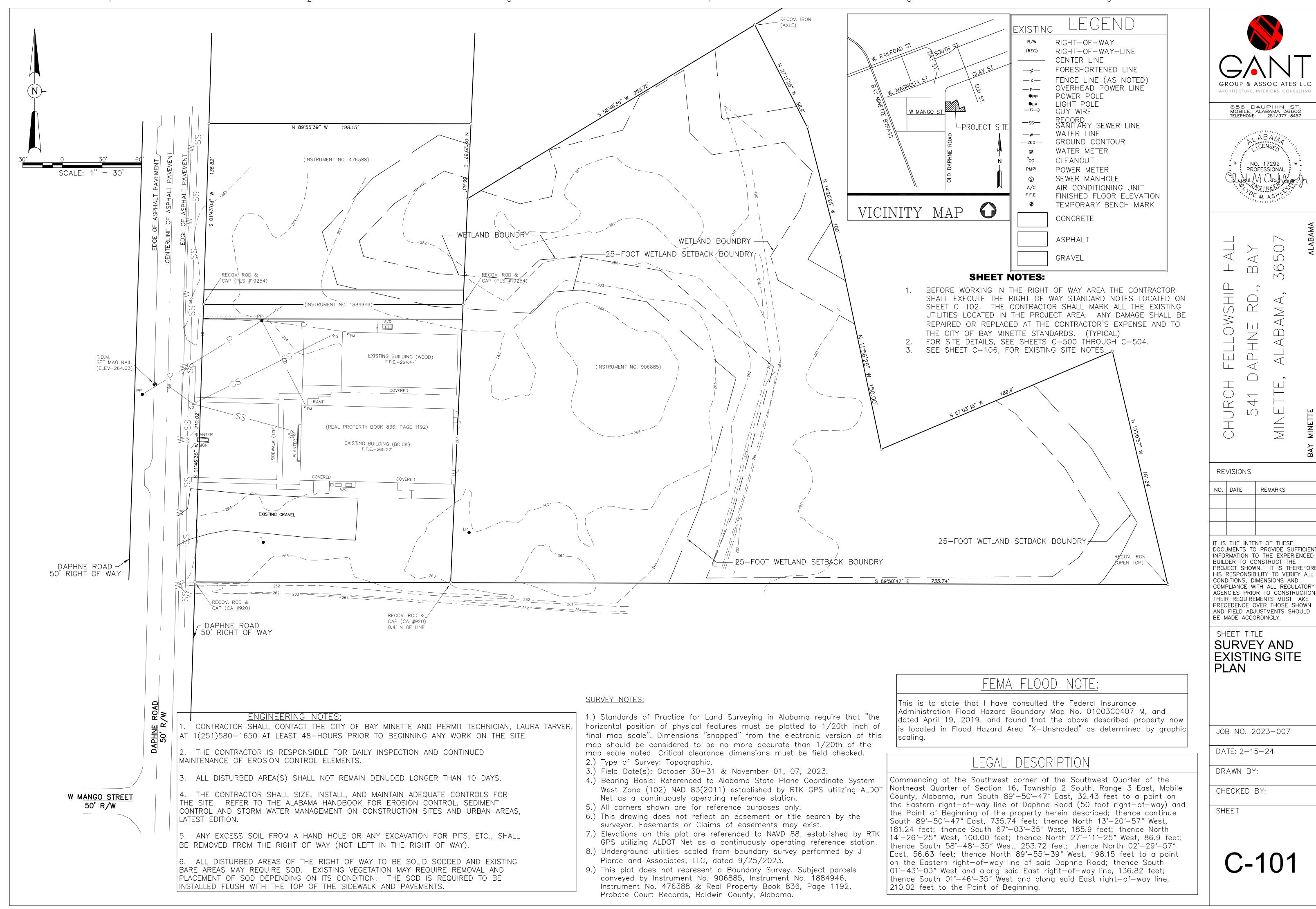
GRAPHIC SCALE:

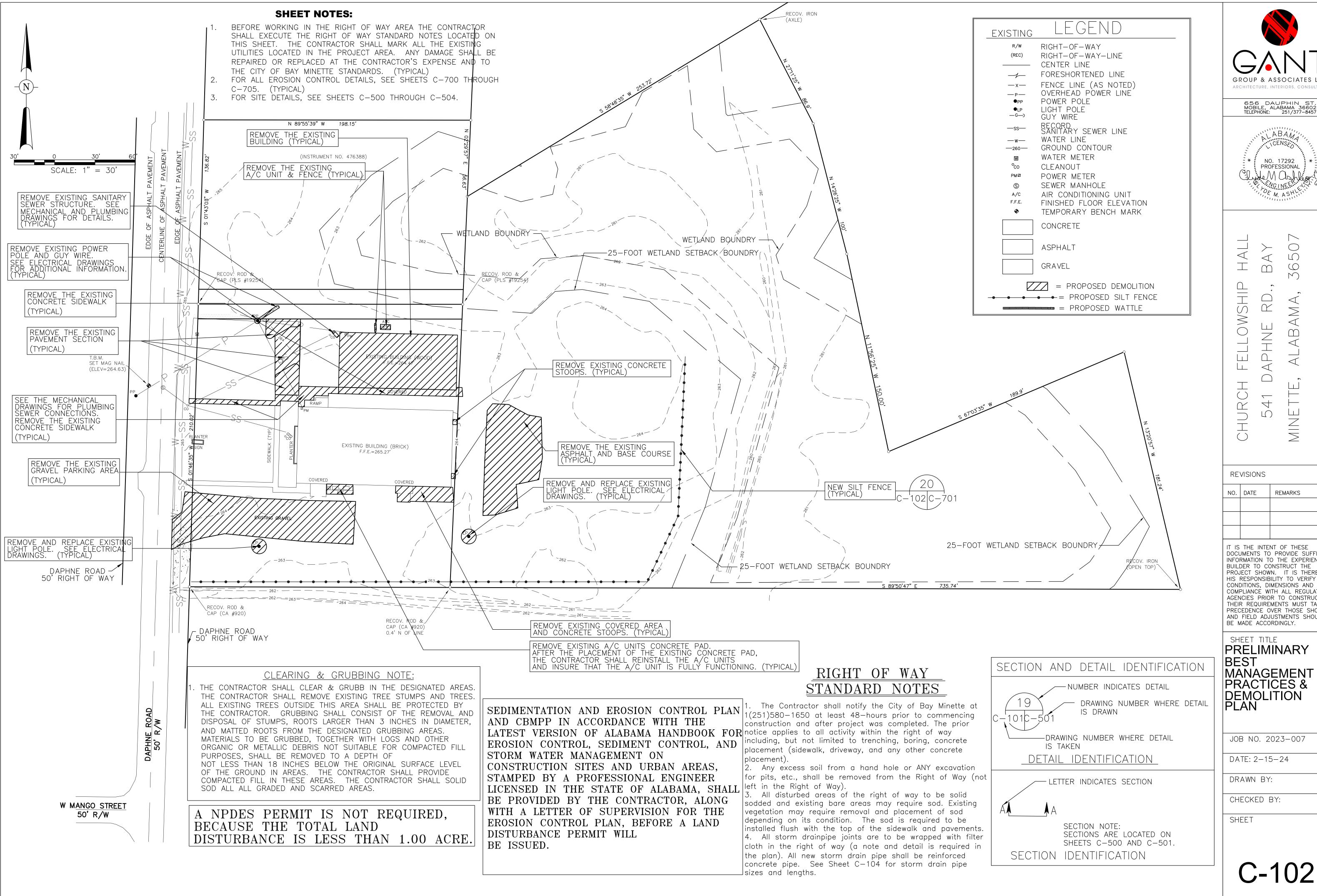
0 4' 8' 12'

SCALE: 3/16" = 1' - 0"





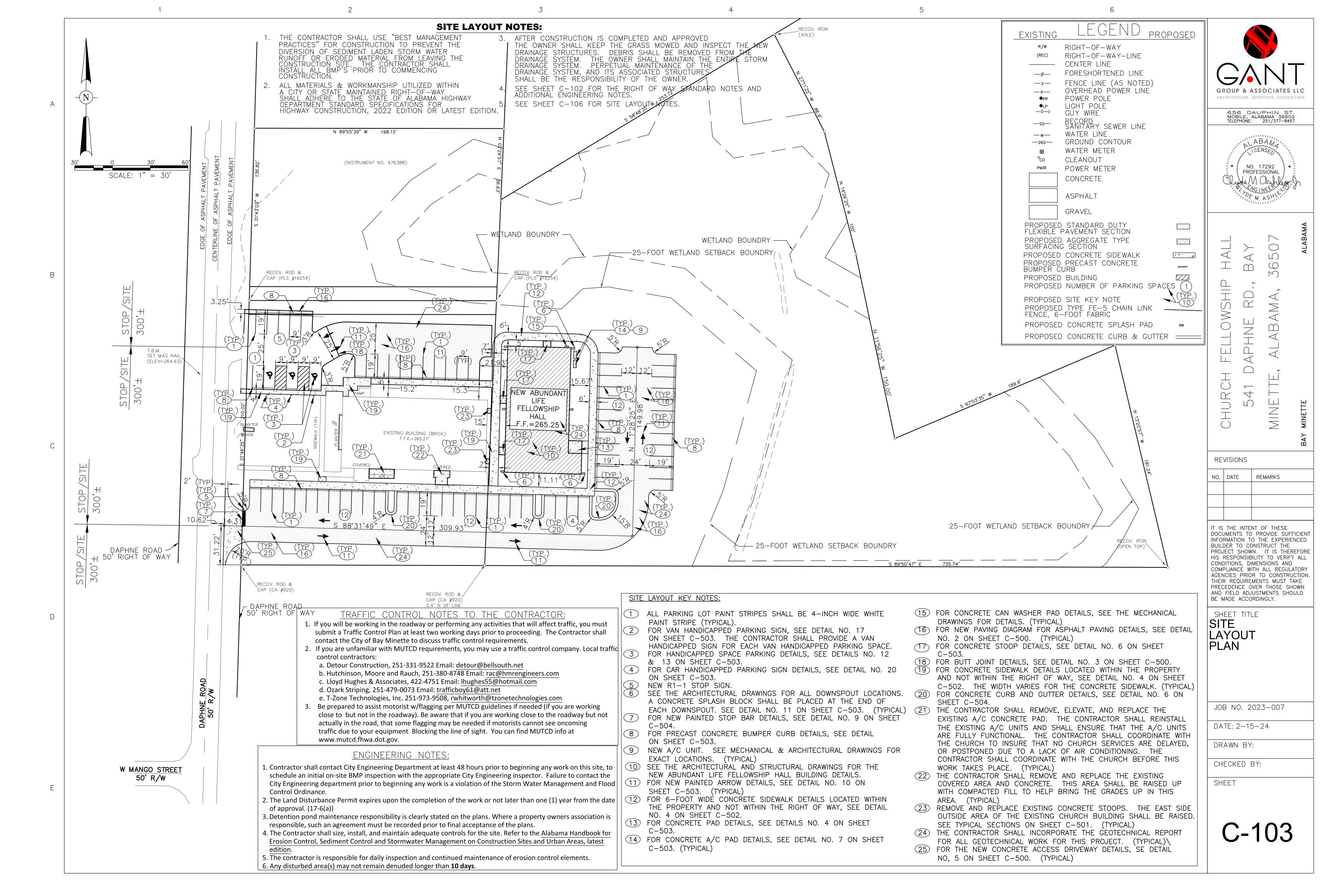


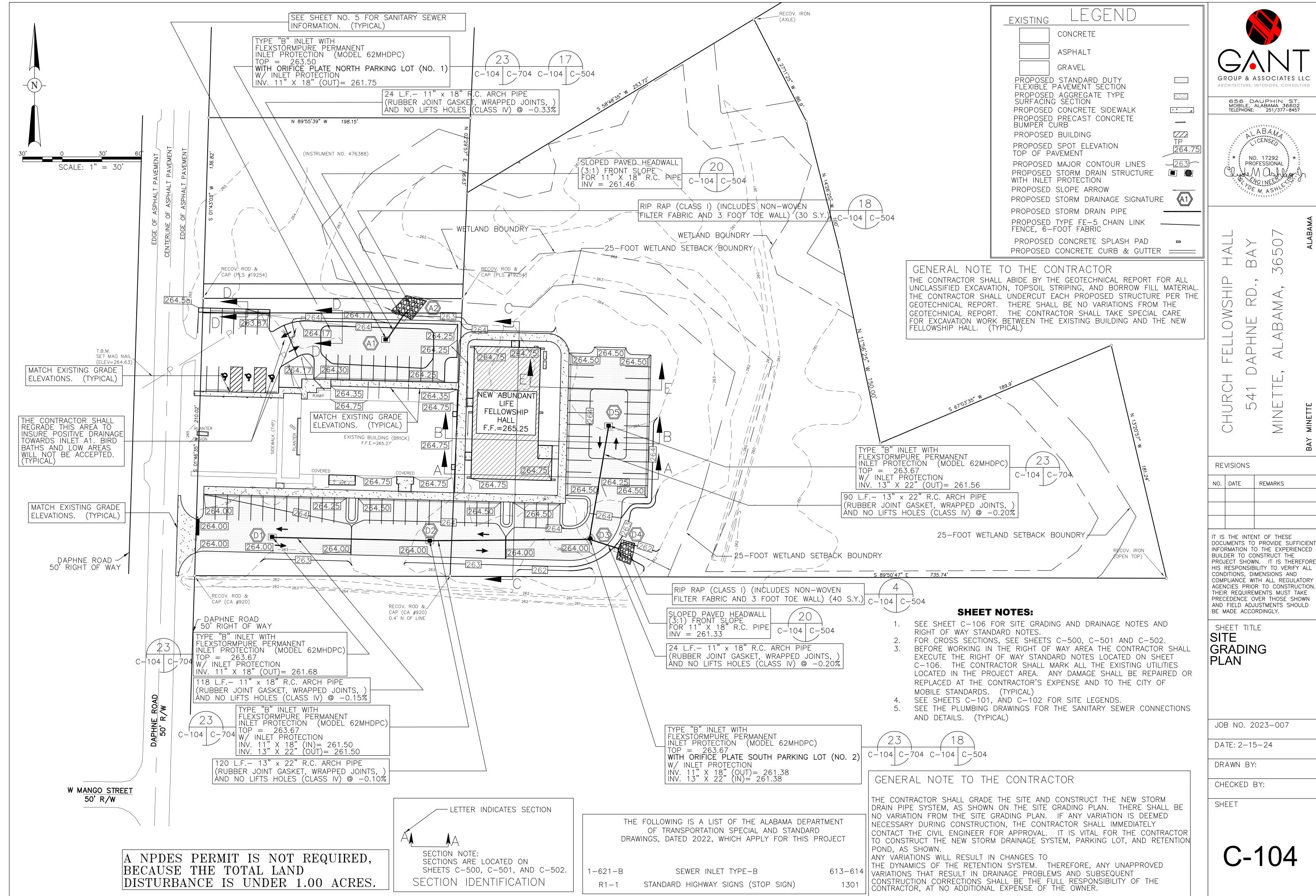


ARCHITECTURE, INTERIORS, CONSULTING

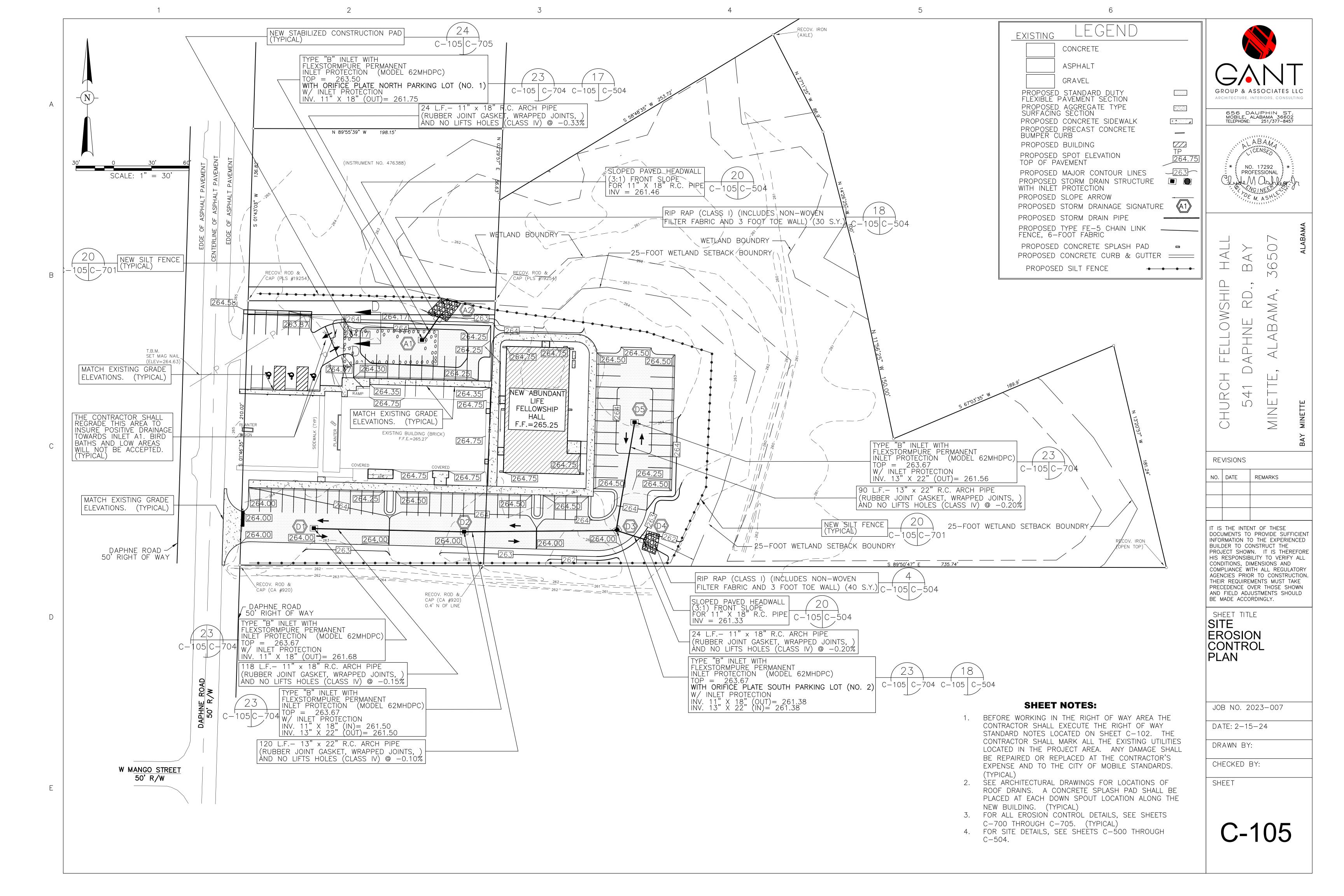


DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS SHOULD





REVISIONS		
NO.	DATE	REMARKS



ALL MATERIALS & WORKMANSHIP UTILIZED WITHIN A CITY OR STATE MAINTAINED RIGHT-OF-WAY SHALL ADHERE TO THE STATE OF ALABAMA HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2022 EDITION OR LATEST EDITION.

AFTER CONSTRUCTION IS COMPLETED AND APPROVED THE OWNER SHALL KEEP THE GRASS MOWED AND INSPECT THE NEW DRAINAGE STRUCTURES. DEBRIS SHALL BE REMOVED FROM THE DRAINAGE SYSTEM. THE OWNER SHALL MAINTAIN THE DRAINAGE SYSTEM. PERPETUAL MAINTENANCE OF THE SYSTEM. THE OWNER SHALL MAINTAIN THE ENTIRE STORM DRAINAGE SYSTEM, AND ITS ASSOCIATED STRUCTURES SHALL BE THE RESPONSIBILITY OF THE OWNER

4. NOT USED.

**EXPENSE** 

FOR SITE DETAILS, SEE SHEET C-500 THROUGH C-504 AND SHEETS C-700 THROUGH C-705.

SEE SHEET C-700 FOR THE BEST MANAGEMENT PRACTICES IMPLEMENTATION SCHEDULE

7. THE CONTRACTOR SHALL INSTALL ALL BMP'S BEFORE

START OF CONSTRUCTION. 8. THE ONSITE REPRESENTATIVE WILL HAVE ON HAND, AT ALL TIMES: APPROVED PERMIT AND PLANS, 2) TRAFFIC CONTROL PLAN, 3) EROSION CONTROL PLAN.

9. ALL PERMITTED WORK WILL MEET OR EXCEED ALDOT SPECIFICATIONS. THE CONTRACTOR SHALL CONSTRUCT ALL CONCRETE SIDEWALKS

AND CONCRETE DRIVEWAYS TO THE CITY OF BAY MINETTE STANDARDS 11. PAVEMENTS AND CONCRETE TO BE DEMOLISHED SHALL BE SAW CUT TO A CLEAN AND EVEN EDGE. NEW CONNECTIONS TO EXISTING ASPHALT OR CONCRETE PAVEMENTS SHALL BE ACCOMPLISHED BY SAW CUTTING THE ADJACENT EXISTING PAVEMENT.

12. THE CONTRACTOR SHALL MARK ALL ACTUAL LOCATIONS OF ALL UNDERGROUND UTILITIES (SEWER, GAS, WATER, ETC.) BEFORE THE START OF CONSTRUCTION. CAUTION SHALL BE TAKEN BY THE CONTRACTOR AROUND ANY UNDERGROUND UTILITIES OR ABOVE GROUND UTILITY. DAMAGE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S

SEE SHEET C-102 FOR RIGHT OF WAY STANDARD NOTES AND TRAFFIC CONTROL NOTES.

14. SEE THE LANDSCAPING PLANS FOR SODDING LIMITS.

15. ALL DIMENSIONS ARE TO THE EDGE OF THE ASPHALT PAVEMENT

16. THE CONTRACTOR SHALL CONSTRUCT ALL CONCRETE SIDEWALKS AND CONCRETE DRIVEWAYS TO THE CITY OF BAT MINETTE STANDARDS.

17. PAVEMENTS AND CONCRETE TO BE DEMOLISHED SHALL BE SAW CUT TO A CLEAN AND EVEN EDGE. NEW CONNECTIONS TO EXISTING ASPHALT OR CONCRETE PAVEMENTS SHALL BE ACCOMPLISHED BY SAW CUTTING THE ADJACENT EXISTING PAVEMENT.

SITE LAYOUT NOTES:

1. THE CONTRACTOR SHALL USE "BEST MANAGEMENT PRACTICES" FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIAL FROM LEAVING THE CONSTRUCTION SITE. THE CONTRACTOR SHALL INSTALL ALL BMP'S PRIOR TO COMMENCING CONSTRUCTION.

SEE THE LANDSCAPING PLANS FOR SODDING LIMITS. ALL GRADED AND SCARRED AREAS THAT AREN'T COVERED BY NEW CONSTRUCTION (PAVEMENTS, SIDEWALKS, BUILDINGS, AND LANDSCAPING) SHALL BE SOLID SODDED.

ALL MATERIALS & WORKMANSHIP UTILIZED WITHIN A CITY OR STATE MAINTAINED RIGHT-OF-WAY SHALL ADHERE TO THE STATE OF ALABAMA HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2022 EDITION OR LATEST EDITION.

AFTER CONSTRUCTION IS COMPLETED AND APPROVED THE OWNER SHALL KEEP THE GRASS MOWED AND INSPECT THE NEW DRAINAGE STRUCTURES. DEBRIS SHALL BE REMOVED FROM THE DRAINAGE SYSTEM. THE OWNER SHALL MAINTAIN THE ENTIRE STORM DRAINAGE SYSTEM. PERPETUAL MAINTENANCE OF THE DRAINAGE SYSTEM, SITE, AND ITS ASSOCIATED STRUCTURES SHALL BE THE RESPONSIBILITY OF THE OWNER.

FOR SITE DETAILS, SEE SHEETS C-500 THROUGH C-504 AND SHEETS C-700 THROUGH SHEET C-705.

ALL DIMENSIONS ARE TO THE EDGE OF THE ASPHALT PAVEMENT.

SEE SHEET C-700 FOR THE BEST MANAGEMENT PRACTICES IMPLEMENTATION SCHEDULE.

8. THE CONTRACTOR SHALL DEVELOP A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD GUIDELINES. THE CONTRACTOR SHALL REFERENCE FIGURE TA-6 (SHOULDER WORK WITH MINOR ENCROACHMENT), FROM THE LATEST EDITION OF THE MUTCD GUIDELINES. THE CONTRACTOR SHALL FIND ADDITIONAL MUTCD INFORMATION AT WWW.MUTCD.DOT.GOV.

9. ALL PARKING STRIPES SHALL BE 4-INCH WIDE WHITE PAINT

THE ONSITE REPRESENTATIVE WILL HAVE ON HAND, AT ALL TIMES: ) APPROVED PERMIT AND PLANS, ) TRAFFIC CONTROL PLAN, EROSION CONTROL PLAN.

11. ALL PERMITTED WORK WILL MEET OR EXCEED ALDOT SPECIFICATIONS

12. NO WORK IS TO PERFORMED IN THE CITY MAINTAINED RIGHT-OF-WAY WITHOUT FIRST CONTACTING CITY OF BAY MINETTE RIGHTS OF WAY DIVISION.

THE CONTRACTOR SHALL CONSTRUCT ALL CONCRETE SIDEWALKS, AND CONCRETE DRIVEWAYS TO THE CITY OF BAY MINETTE STANDARDS.

SEE SHEETS C-102 AND C-105 FOR SILT FENCE LOCATIONS.

THE DEVELOPMENT OF THE SITE SHALL BE UNDERTAKEN IN COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING ENDANGERED,

THREATENED OR OTHERWISE PROTECTED SPECIES. PAVEMENTS AND CONCRETE TO BE DEMOLISHED SHALL BE SAW CUT TO A CLEAN AND EVEN EDGE. NEW CONNECTIONS TO EXISTING ASPHALT OR CONCRETE PAVEMENTS SHALL BE

ACCOMPLISHED BY SAW CUTTING THE ADJACENT EXISTING PAVEMENT. 17. SEE THIS SHEET FOR THE RIGHT OF WAY STANDARD NOTES.

18. NO STRUCTURES SHALL BE BUILT IN ANY EASEMENT

SITE GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL USE "BEST MANAGEMENT PRACTICES" FOR CONSTRUCTION TO PREVENT THE DIVERSION OF SEDIMENT LADEN STORM WATER RUNOFF OR ERODED MATERIAL FROM LEAVING THE CONSTRUCTION SITE. THE CONTRACTOR SHALL INSTALL ALL BMP'S PRIOR TO COMMENCING CONSTRUCTION.

2. SEE THE LANDSCAPING PLANS FOR SODDING LIMITS. ALL GRADED AND SCARRED AREAS THAT AREN'T COVERED BY NEW CONSTRUCTION (PAVEMENTS, SIDEWALKS, BUILDINGS, AND LANDSCAPING) SHALL BE SOLID SODDEÒ.

3. ALL MATERIALS & WORKMANSHIP UTILIZED WITHIN A CITY OR STATE MAINTAINED RIGHT-OF-WAY
SHALL ADHERE TO THE STATE OF ALABAMA HIGHWAY
DEPARTMENT STANDARD SPECIFICATIONS FOR
HIGHWAY CONSTRUCTION, 2022 EDITION OR LATEST EDITION.

AFTER CONSTRUCTION IS COMPLETED AND APPROVED THE OWNER SHALL KEEP THE GRASS MOWED AND INSPECT THE NEW DRAINAGE STRUCTURES. DEBRIS SHALL BE REMOVED FROM THE DRAINAGE SYSTEM. THE OWNER SHALL MAINTAIN THE ENTIRE STORM
DRAINAGE SYSTEM AND RETENTION POND. PERPETUAL MAINTENANCE OF THE
DRAINAGE SYSTEM, SITE, AND ITS
ASSOCIATED STRUCTURES SHALL BE THE
RESPONSIBILITY OF THE OWNER.

5. NOT USED.

6. FOR SITE DETAILS, SEE SHEETS C-500 THROUGH C-504 AND SHEET C-700 THROUGH SHEET C-705

ALL DIMENSIONS ARE TO THE EDGE OF THE ASPHALT.

8. SEE SHEET C-700 FOR THE BEST MANAGEMENT PRACTICES IMPLEMENTATION SCHEDULE.

SATISFACTORY MATERIALS SHALL BE USED IN BRINGING FILLS AND BACKFILLS TO THE LINES AND GRADES INDICATED AND FOR REPLACING UNSATISFACTORY MATERIALS. SATISFACTORY MATERIALS SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS, OR 6 INCHES WHEN HAND-OPERATED COMPACTORS ARE USED. AFTER PLACING, EACH LAYER SHALL BE PLOWED, DISKED, OR OTHERWISE BROKEN UP, MOISTENED OR AERATED AS NECESSARY, THOROUGHLY MIXED AND COMPACTED AS SPECIFIED BACKFILLING SHALL NOT BEGIN UNTIL CONSTRUCTION BELOW FINISH GRADE HAS BEEN APPROVED, UNDERGROUND UTILITIES SYSTEMS HAVE BEEN INSPECTED, TESTED AND APPROVED, FORMS REMOVED, AND THE EXCAVATION CLEANED OF TRASH AND DEBRIS. BACKFILL SHALL BE BROUGHT TO INDICATED FINISH GRADE. BACKFILL SHALL NOT BE PLACED IN WET OR FROZEN AREAS. EACH LAYER OF FILL OR BACKFILL SHALL BE COMPACTED TO NOT LESS THAN THE PERCENTAGE OF MAXIMUM DENSITY SPECIFIED BELOW:

PERCENT LABORATORY MAXIMUM DENSITY

FILL, ENBANKMENT, AND BACKFILL COHESIVE MATERIAL UNDER STRUCTURES, BUILDINGS, STEPS, PAVED AREAS, AROUND FOOTINGS AND IN TRENCHES 95 UNDER SIDEWALKS AND GRASSED AREAS, 90 SUBGRADE UNDER STRUCTURES, TRAILERS, STEPS, PAVED AREAS, TOP 12-INCHES UNDER SIDEWALKS, TOP 6-INCHES,

10. BACKFILLING AND COMPACTION FOR UTILITIES SYSTEMS: BACKFILL MATERIAL SHALL CONSIST OF SATISFACTORY MATERIAL, SELECT GRANULAR MATERIAL, OR INITIAL BACKFILL MATERIAL AS REQUIRED. BACKFILL SHALL BE PLACED IN LAYERS NOT EXCEEDING 6-INCHES LOOSE THICKNESS FOR COMPACTION BY HANDOPERATED MACHINE, UNLESS OTHERWISE SPECIFIED. EACH LAYER SHALL BE COMPACTED TO AT LEAST 95 PERCENT MAXIMUM DENSITY FOR COHESIONLESS SOILS AND 90 PERCENT MAXIMUM DENSITY FOR COHESIVE SOILS, UNLESS OTHERWISE SPECIFIED.

GROUP & ASSOCIATES LLC ARCHITECTURE, INTERIORS, CONSULTING 656 DAUPHIN STREET MOBILE, ALABAMA 36602 TELEPHONE: 251/377-8457



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REVISIONS

	NO.	DATE	REMARKS

SHEET TITLE

SITE NOTES

JOB NO. 2023-0007

DATE: 12/11/2023

DRAWN BY:

CHECKED BY:

SHEET

#### RIGHT OF WAY STANDARD NOTES

1. The contractor shall notify the City of Bay Minette Construction Office a minimum of 48 hours prior to beginning any work within the ROW or Public Easement for assignment of the City of Bay Minette ROW inspector. Prior notice applies to all activity within the ROW including mobilization, trenching, boring, concrete placement, etc. Failure to contact the City of Bay Minette ROW Section prior to beginning any work is a violation of the City of Bay Minette ROW Ordinance and may invoke enforcement action in the form of a Municipal Offense Ticket.

2. The ROW Permit shall expire upon the completion of the work or if there is any suspension in the progression of work greater than or equal to six (6) months from the date of permit approval. The City may require a submission of a schedule/deadline for completion of work. Permitted work in the ROW not completed in a timely manner is a violation of the City of Bay Minette ROW Ordinance and may invoke enforcement action in the form of a Municipal Offense Ticket. 3. The contractor shall schedule and obtain an approved formwork inspection from the assigned City of Bay Minette ROW

inspector prior to placement of concrete to confirm minimum dimensional standards are met. 4. The permittee shall schedule and obtain an approved pipe inspection from the City of Bay Minette Construction Office inspector prior to placement of fill to confirm pipe joints are wrapped and no lifting holes are present.

5. The contractor shall immediately notify the City of Bay Minette of any incidental damage to any City of Bay Minette facilities in the ROW or Public Easements including sidewalks, driveways, ADA ramps, curb and gutter, drainage structures and pipes, etc. The contractor shall be responsible for the repair of any damaged facilities to the City of Bay Minette standards, in a timely manner, and at no cost to the City of Bay Minette.

6. All work within the City of Bay Minette ROW or Public Easements must comply with the "Bay Minette Construction Office." 7. All work in the ROW shall comply with the Stormwater Management and Flood Control Ordinance and Flood Plain Management Plan of the City of Bay Minette, Alabama, including but not limited to: a. Do not alter the natural drainage flow

pattern in the area of work. b. Do not divert storm water onto adjacent property or increase the amount of natural drainage flow onto an adjacent property owner or prevent the natural flow of water in the area of work. c. Do not fill wetlands without a permit from the US Army Corps of Engineers. d. Do not fill within or alter a Special Flood Hazard Area (floodplain) without an engineered flood study or violate any of the requirements in Division 2 of the Stormwater Management and Flood Control Ordinance specifically.

8. With the exception of major roadway rehabilitations/improvements, all restoration work associated with excavations within a public roadway including the placement and compaction of sub-base, base, and bituminous or concrete pavement shall comply with City of Bay Minette Standards.

9. The final resurfacing limits of any roadway restoration shall be at the discretion of the City Engineer, to be determined by a field inspection/site visit upon completion of the installation of all permitted infrastructure/facilities, prior to the contractor beginning paving.

10. All sidewalk construction in the ROW shall comply with City of Bay Minette Standards. 11. Sidewalks in the ROW shall not be obstructed, parked upon, or driven upon without explicit approval documented in writing or on the permitted plans. Failure to comply with this requirement may invoke enforcement action in the form of a Municipal

Offense Ticket. 12. On substantial development/redevelopment projects, any sidewalk panels in the ROW which are cracked, have been shoved creating a tripping hazard, or those which have been worn to the extent that they create a slipping hazard, shall be replaced. The determination of this condition is ultimately the decision of the City. 13. Not used.

14. All ADA ramps and landing construction in the ROW shall comply with City of Bay Minette Standards. 15. Wood shall not be used as expansion joint material. Expansion joints shall be required where any concrete structure abuts another concrete structure or non—yielding material. The spacing of control and expansion joints for various concrete structures shall be as follows: a. Sidewalks — Control joins shall be placed every 4 feet or equivalent with the width of the sidewalk (maximum 10 feet). Expansion joints shall be placed every 30 feet to 32 feet. b. Driveways and Curb and Gutter — Control joints shall be placed every 8 feet to 10 feet. Expansion joints shall be placed every 32 feet to 40 feet.

16. All storm drain pipe installed in the City of Bay Minette ROW, Public Easement, or carrying City of Bay Minette system stormwater shall have the joints wrapped with filter fabric, shall have no lifting holes (filling lifting holes is not allowed without explicit approval), shall be a minimum of 15 inch in diameter, and shall be Class III or stronger reinforced concrete pipe (RCP). The contractor needs to notify the pipe manufacturer ahead of time that the project is within the City of Bay Minette ROW to obtain pipe without lifting holes.

17. Storm drainage connections shall occur at the junction box or inlet. If there is not an existing inlet or junction box to connect to, then one shall be constructed in accordance with relevant ALDOT Standard and Special Drawings. 18. Any excess soil produced as a result from any excavation in the ROW shall be removed from the ROW.

19. No excavations in the ROW shall be left open overnight unless the excavation has been properly secured with appropriate safety equipment (e.g. steel plates, barricades, safety fencing/screening). Excavations in the ROW shall not be left open for excessive amounts of time regardless of safety equipment.

20. No excavations or jetting shall be done under the curbs and gutters, sidewalk, or driveways, or other hardscapes within the ROW without removal and replacement of the overlying structure. Boring, using a missile, or other methods which do not excavate and undermine the compaction of the underlying soil shall be permissible.

21. All disturbed areas in the neutral ground of the ROW shall be solid sodded or stabilized according to an approved landscaping plan. The sod shall be flush with the top of the sidewalk. If landscaping is present, the ROW shall be restored in kind. In some instances, at the discretion of the City, existing vegetation may require removal and restoration of existing bare areas may require placement of sod.

22. Installation of irrigation systems within the ROW shall require a separate ROW permit or shall be permitted by inclusion of an irrigation plan (including locations of meters, valves, sprinkler heads and spray direction/length) in the approved plans. The City reserves the right to remove irrigation in the ROW and assumes no liability for damages associated with irrigation

23. All utility pipes, conduits, and facilities and associated excavation shall maintain a minimum 36 inches of separation (vertically, horizontally, or combination thereof) from City of Bay MInette storm drainage pipes and structures. If a minimum of 36 inches of separation cannot be maintained due to dimensional constraints in the field, as a condition of approval, the City of Bay Minette may require additional precautionary measures to be taken such as limiting excavation efforts to hand trenching, presence of a ROW inspector while probing, locating, and excavating within 36 inches of the pipe/structure, or the provision of post construction storm drainage videos. Please refer to any site-specific notes on the plan/profile sheets

and/or cross—sections details as well as any conditions printed on the permit for any required work restrictions. 24. All utilities in the City of Bay Minette ROW shall be placed at a minimum depth of 36 inches and 48 inches outside and inside of roadways respectively.

ADDITIONAL ENGINEERING NOTES:

1. CONTRACTOR SHALL CONTACT THE CITY OF BAY MINETTE'S CONSTRUCTION OFFICE. AT LEAST 48-HOURS PRIOR TO BEGINNING ANY WORK ON THIS SITE TO COORDINATE AN INITIAL ON-SITE BMP INSPECTION.

2. THE CONTRACTOR IS RESPONSIBLE FOR DAILY INSPECTION AND CONTINUED MAINTENANCE OF EROSION CONTROL ELEMENTS.

3. ALL DISTURBED AREA(S) SHALL NOT REMAIN DENUDED LONGER

THAN 10 DAYS. 4. THE CONTRACTOR SHALL SIZE, INSTALL, AND MAINTAIN ADEQUATE

CONTROLS FOR THE SITE. REFER TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORM WATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS. LATEST EDITION.

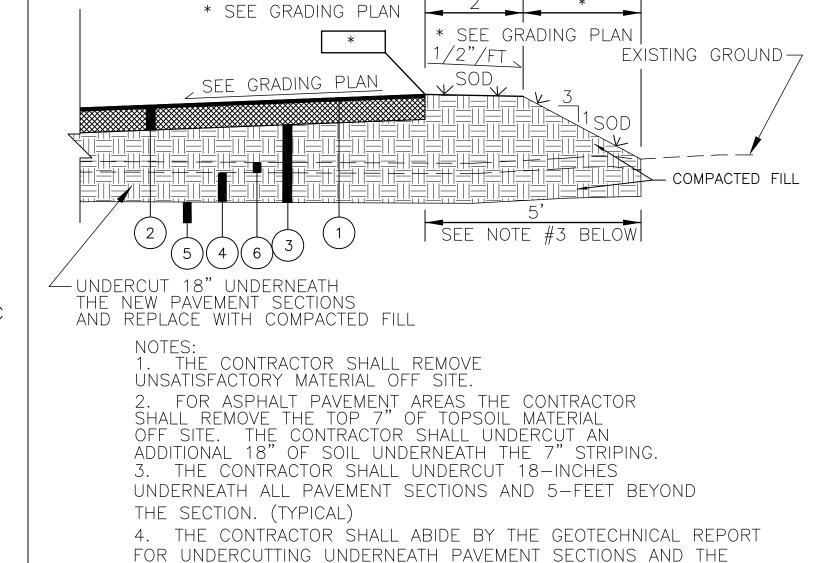
5. ANY DAMAGE TO ANY CITY OF BAY MINETTE FACILITY OR DRAINAGE STRUCTURE, DITCH, ETC. SHALL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR TO THE CITY OF BAY MINETTE STANDARDS AT NO COST TO THE CITY OF BAY MINETTE. IT IS THE RESPONSIBILITY OF THE PERMITTEE TO NOTIFY THE CITY OF BAY MINETTE IMMEDIATELY IF ANY DAMAGE OCCURS.

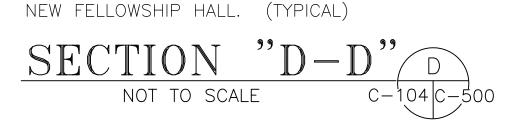
6. THE CITY OF BAY MINETTE REQUIRES A MINIMUM OF 36" SEPARATION BETWEEN ANY PIPE/STRUCTURE AND A STORM DRAIN PIPE. A CROSS-SECTION VIEW MUST BE SUBMITTED TO SHOW THE PROPOSED PIPES.

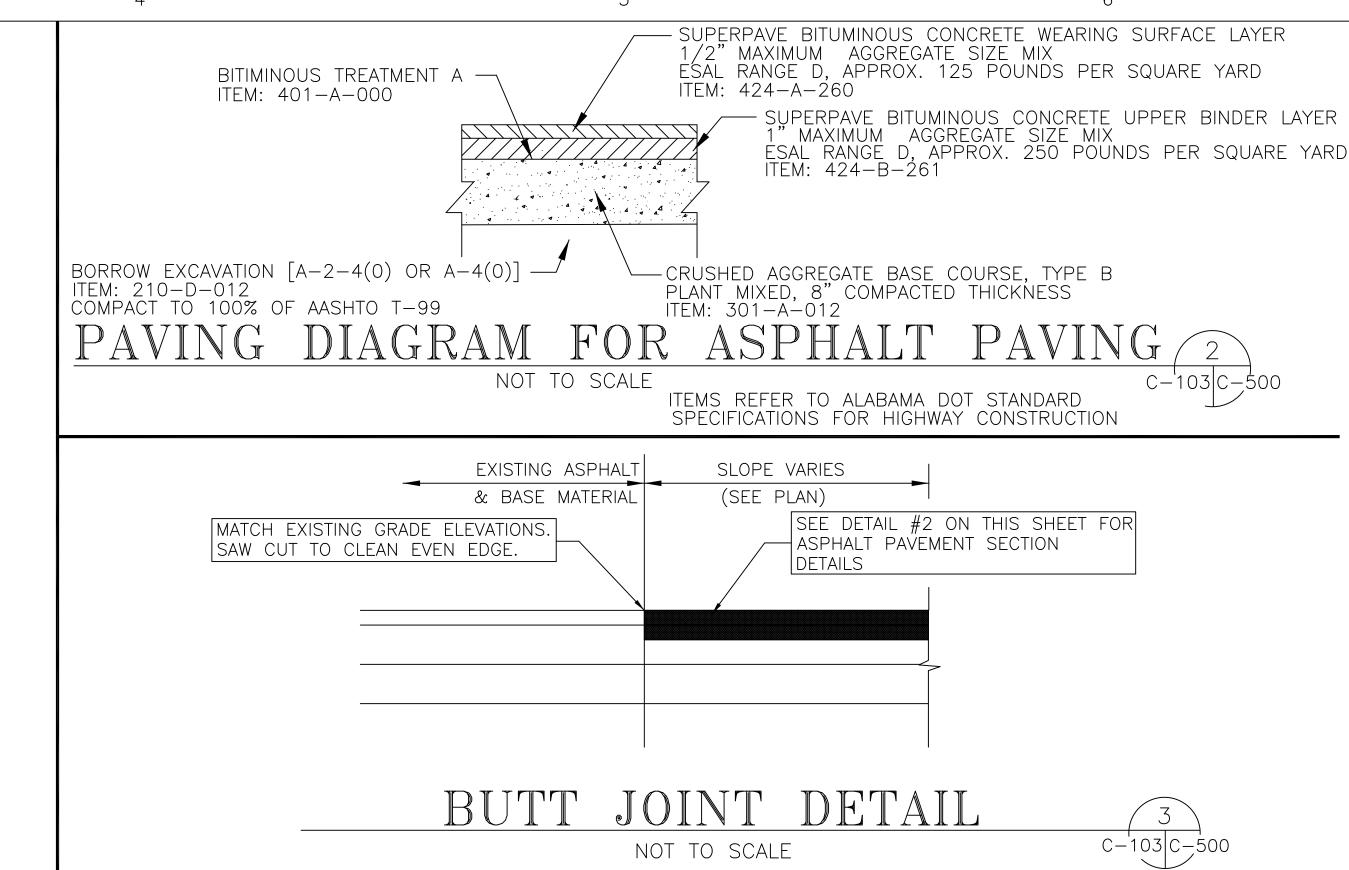
7. ANY EXCESS SOIL FROM A HAND HOLE OR ANY EXCAVATION FOR PITS, ETC., SHALL BE REMOVED FROM THE RIGHT OF WAY (NOT LEFT IN THE RIGHT OF WAY).

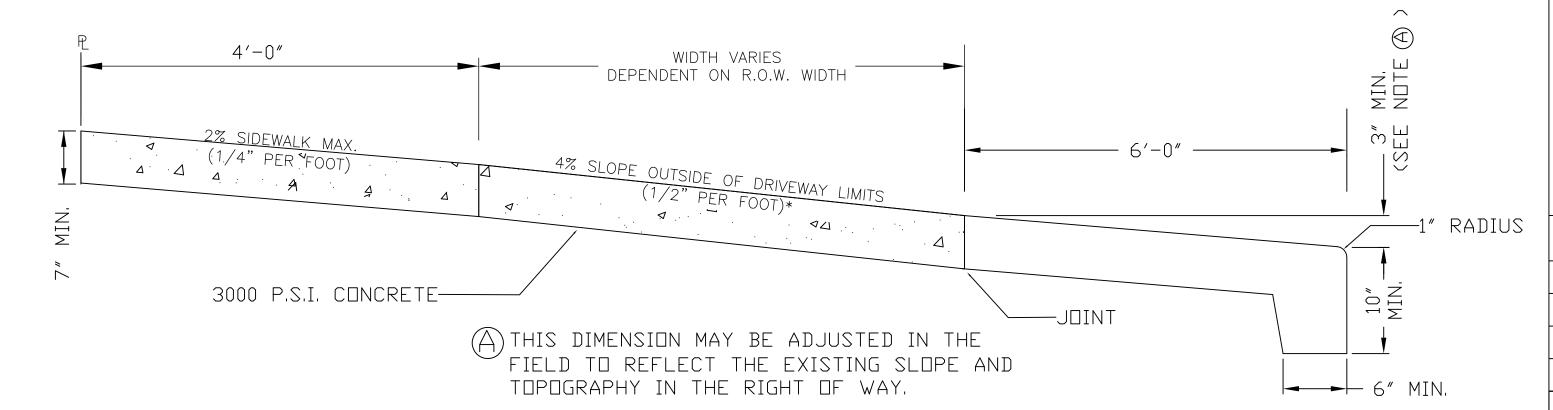
8. ALL DISTURBED AREAS OF THE RIGHT OF WAY TO BE SOLID SODDED AND EXISTING BARE AREAS MAY REQUIRE SOD. EXISTING VEGETATION MAY REQUIRE REMOVAL AND PLACEMENT OF SOD DEPENDING ON ITS CONDITION. THE SOD IS REQUIRED TO BE INSTALLED FLUSH WITH THE TOP OF THE SIDEWALK.

	'		
PRO	POSED FLEXIBLE PAVEMENT MATERIALS L	EGEND	
MATERIALS DESIGNATION	DESCRIPTON	THICKNESS REQ'D.	SEE DETAIL SHEET NO.
1	SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER 1/2" MAXIMUM AGGREGATE SIZE MIX ESAL RANGE D, APPROX. 167 POUNDS PER SQUARE YARD ITEM: 424-A-360	0.5 INCH	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
1	SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER  1" MAXIMUM AGGREGATE SIZE MIX ESAL RANGE D, APPROX. 330 POUNDS PER SQUARE YARD ITEM: 424-B-651	1 INCHES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
2	CRUSHED AGGREGATE BASE COURSE, TYPE B PLANT MIXED, 8" COMPACTED THICKNESS, 100% COMPACTION OF AASHTO T-180 ITEM: 301-A-020	8 INCHES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
3	BORROW EXCAVATION [A-2-4(0) OR A-4(0)] ITEM: 210-D-012 COMPACT TO 98% COMPACTION ASTM D698	VARIES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
4	UNDERCUT 18' UNDERNEATH ALL PAVEMENT SECTIONS	VARIES	
5	COMPACTED SUBGRADE	VARIES	
6	STRIPPING	7 INCHES	
11)	UNCLASSIFIED EXCAVATION	VARIES	
***TH	IESE SECTIONS ARE NOT FOR USE IN THE CITY OF BAY MINETT	E RIGHT OF WAY (F	ROW).

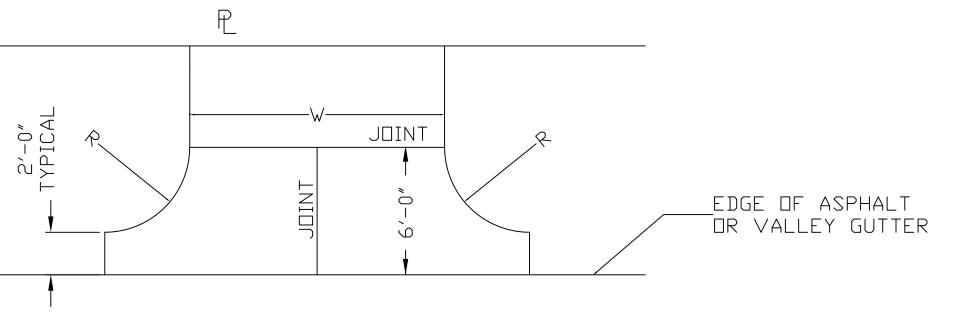








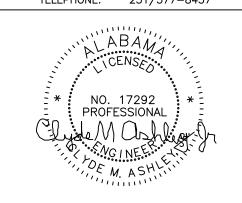
#### **PROFILE VIEW OF CONCRETE DRIVEWAY** NOT TO SCALE



	MINIMUM *	TYPE
R	20'	COMMERCIAL
R	4'	RESIDENTIAL
W	24'	COMMERCIAL
W	12'	RESIDENTIAL

\* IF SITE CONDITIONS PROHIBIT THE USE OF THESE STANDARDS, AN ALTERNATIVE MAY BE SUBMITTED FOR APPROVAL TO THE ENGINEERING GROUP & ASSOCIATES LLC

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IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCÉ WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS SHOULD BE MADE ACCORDINGLY.

SHEET TITLE

SITE DETAILS & SECTIONS

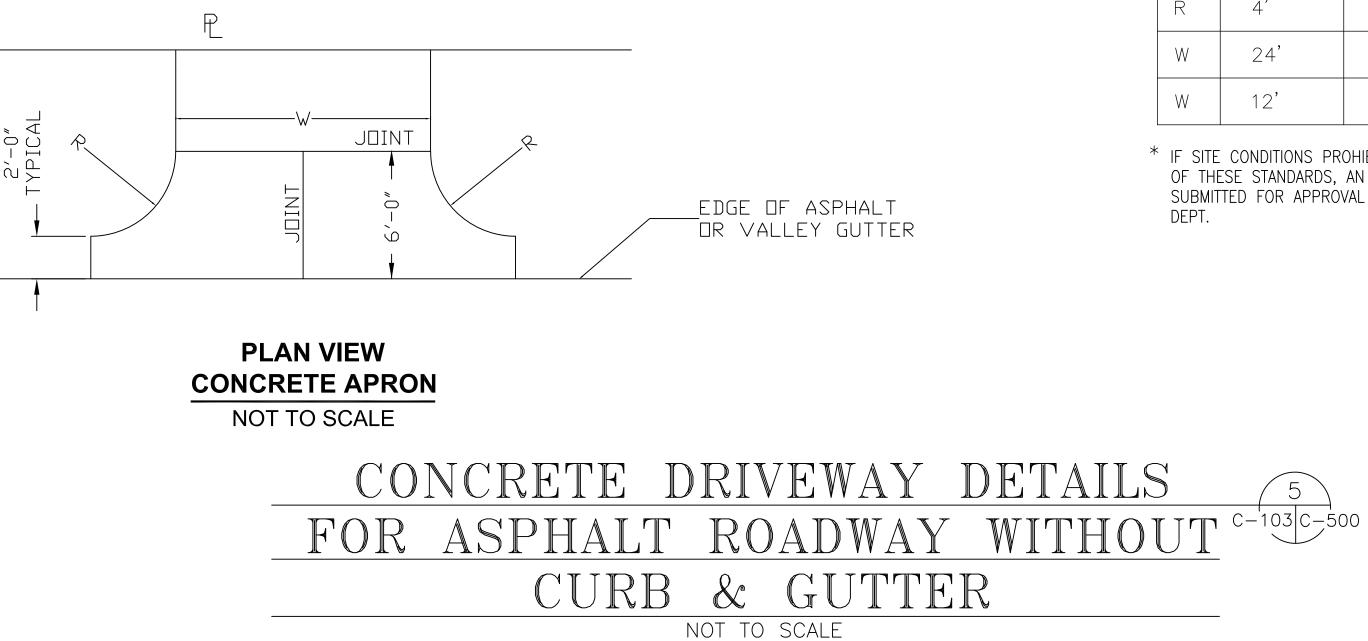
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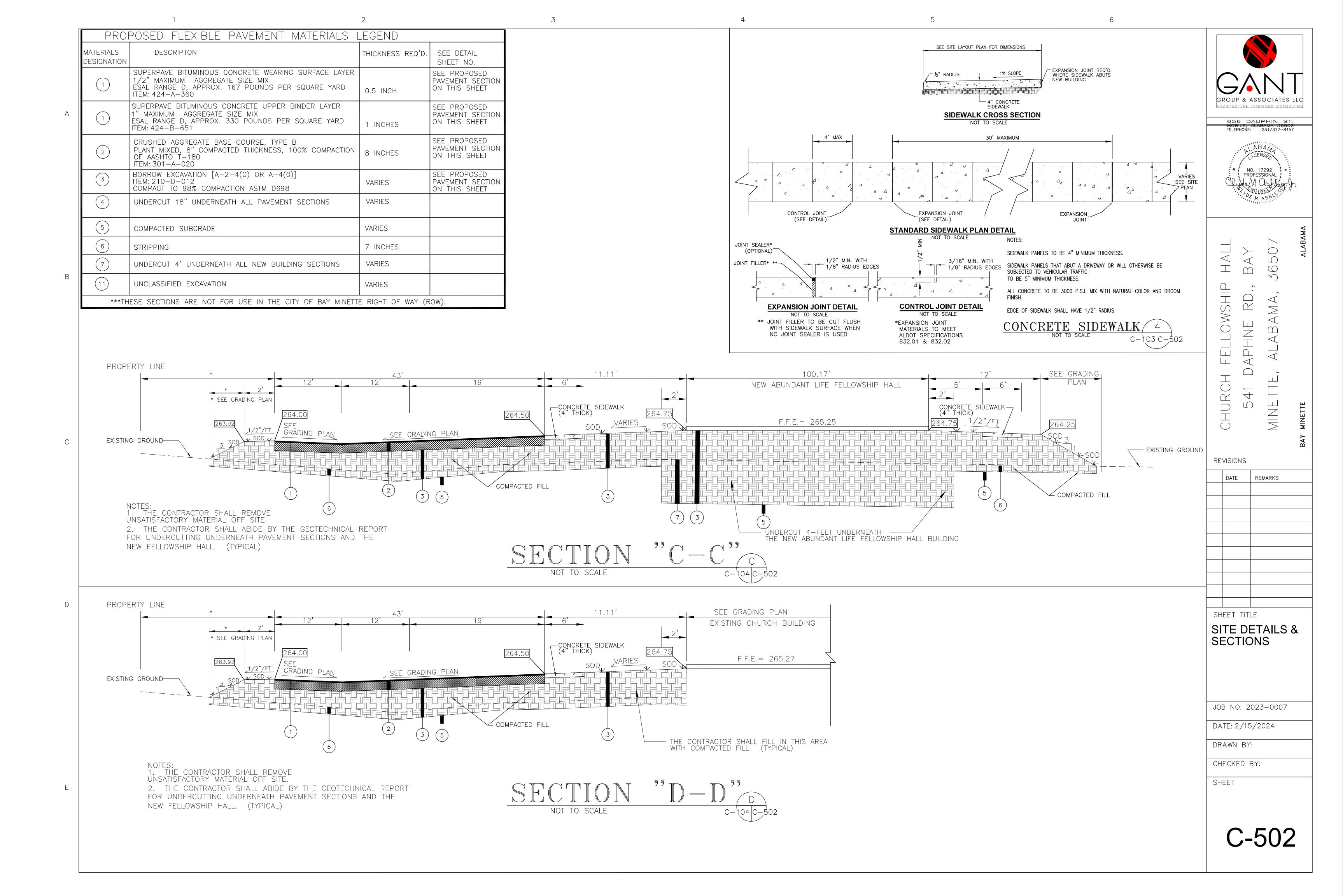
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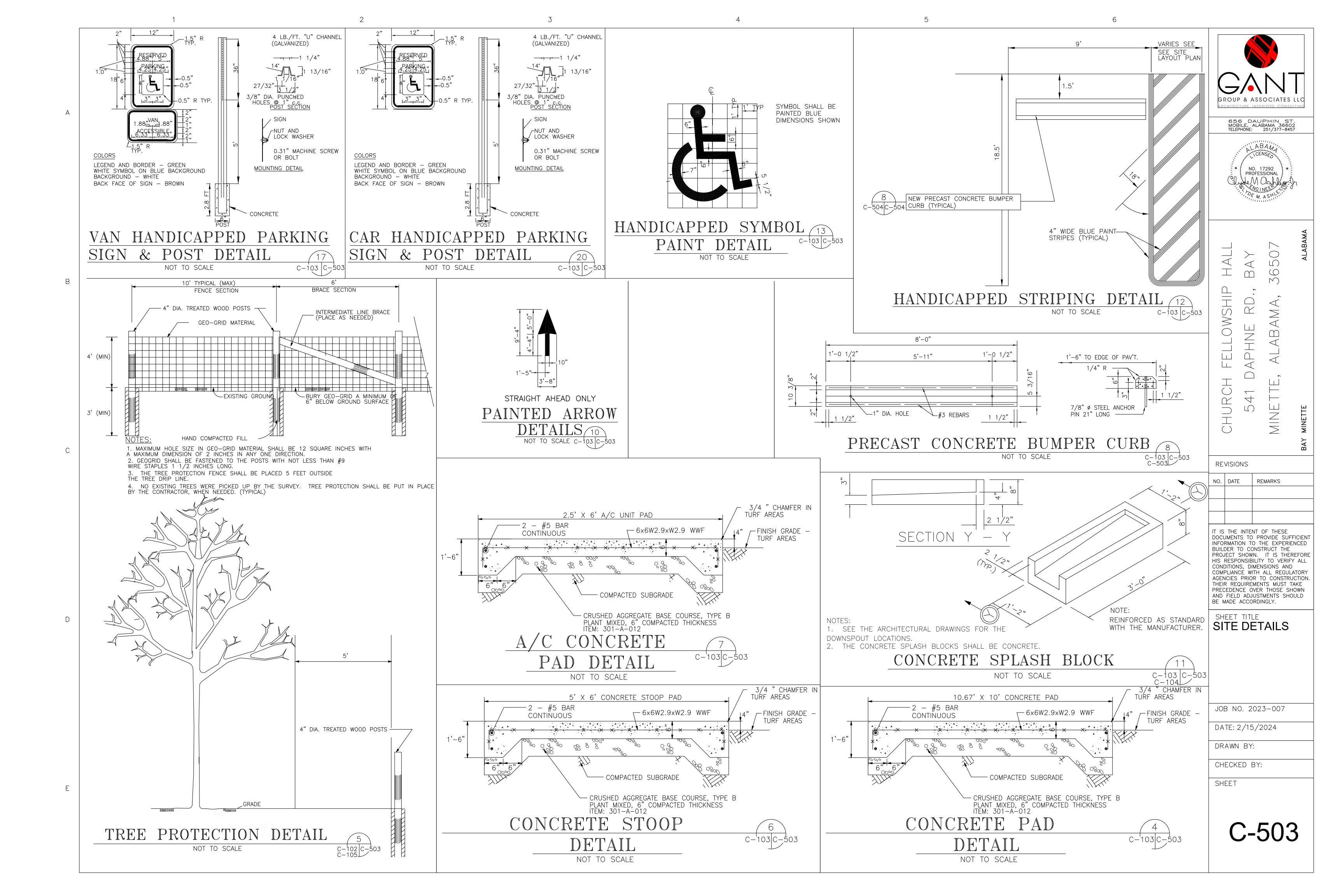
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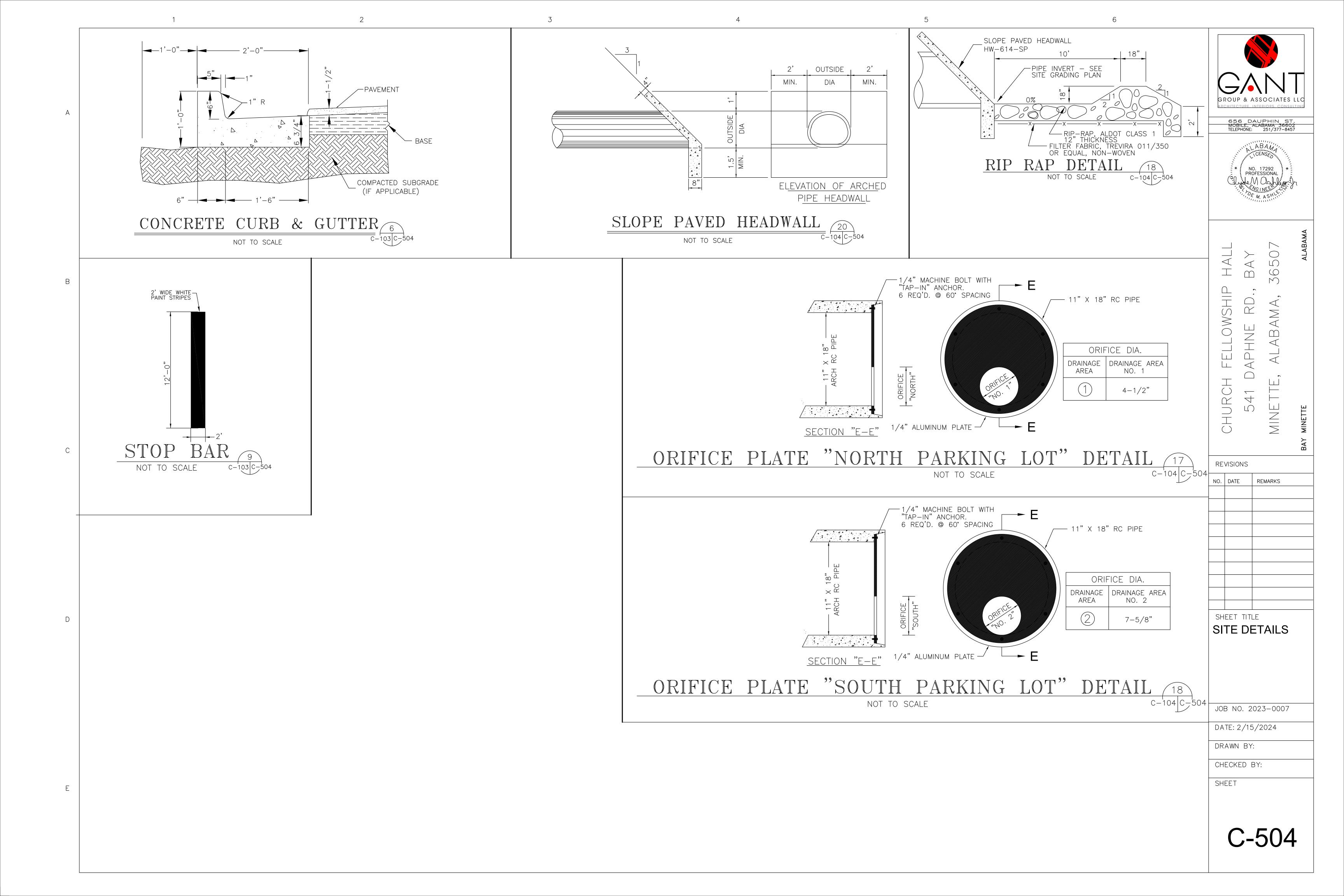
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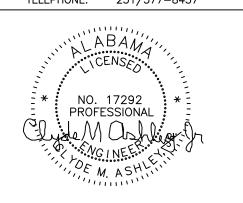




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GROUP & ASSOCIATES LLC

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#### SITE EROSION CONTROL DETAILS

JOB NO. 2023-007

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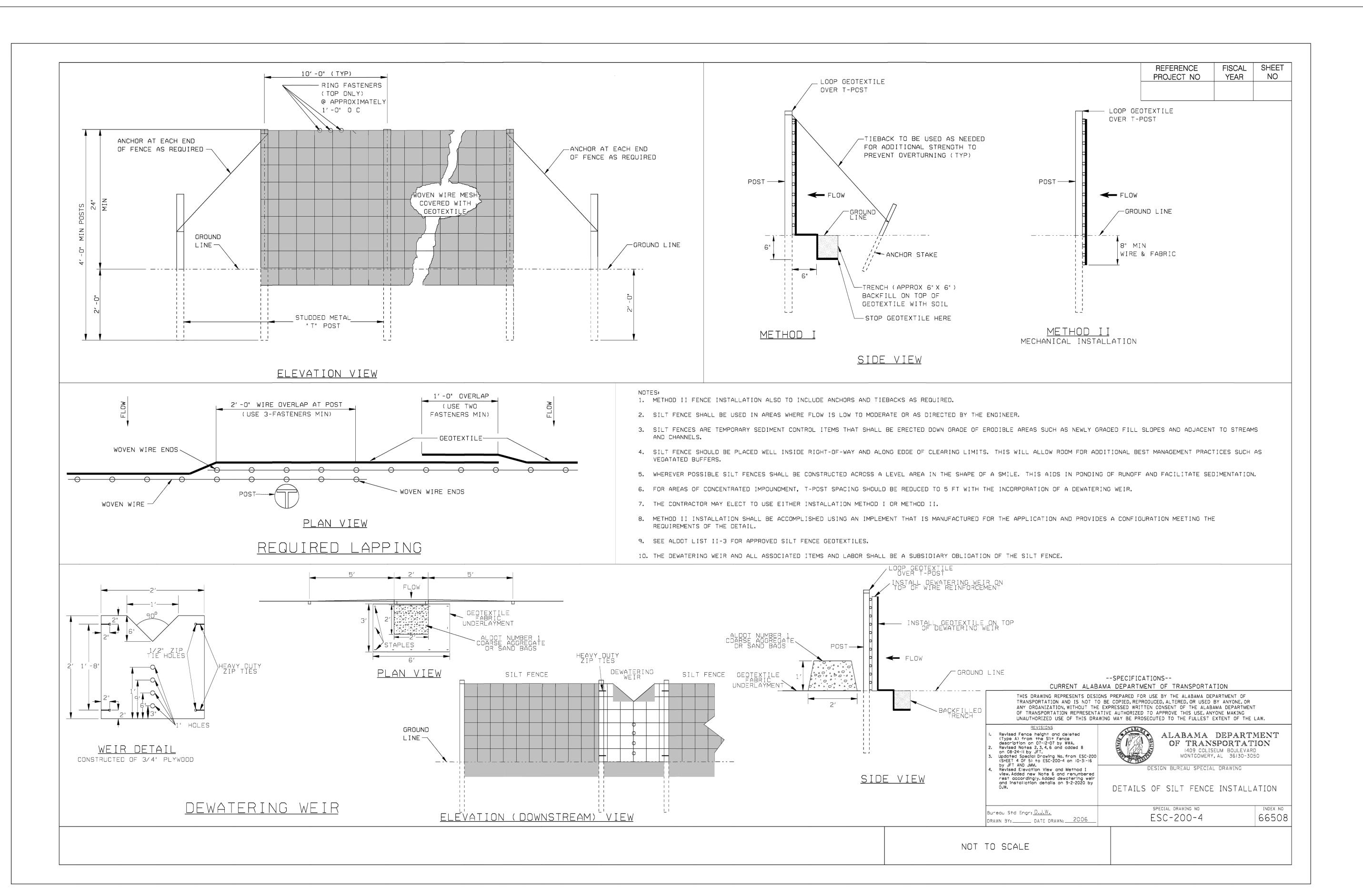
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### BEST MANAGEMENT PRACTICES IMPLEMENTATION SCHEDULE

CONSTRUCTION SCHEDULING AND BEST MAN	AGEMENT PRACTICES (BMP) IMPLEMENTATION
CONSTRUCTION ACTIVITY	B.M.P. CONSIDERATION
(1) CONSTRUCTION ACCESS. CONSTRUCTION ENTRANCE, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS.	INSTALL ALL CONTROL MEASURES PRIOR TO COMMENCING CONSTRUCTION WORK.
SEDIMENT BASINS, TRAPS, SEDIMENT FENCES, AND OUTLET PROTECTION.	CLEAR AND GRUB AREAS OF SITE OR WORK AREA SUFFICIENT TO INSTALL SEDIMENT BASINS, SILT FENCE, SITE BOUNDARY DITCHES (TEMPORARY AND PERMANENT) WHICH WILL DIRECT DRAINAGE TO BASINS. INSTALL OUTFLOW STRUCTURE AND OUTFLOW PIPE FOR PERMANENT BASIN. PROVIDE TEMPORARY OR PERMANENT SEEDING AS REQUIRED.
LAND CLEARING & GRUBBING, RUNOFF CONTROL, DIVERSIONS, PERIMETER DIKES, OUTLET PROTECTION	INSTALL KEY PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF—CONTROL MEASURES DURING GRADING.
RUNOFF CONVEYANCE SYSTEM. STABILIZE STREAMBANKS, STORM DRAINS, CHANNELS, INLET AND OUTLET PROTECTION, SLOPE DRAINS.	WHERE NECESSARY, STABILIZE STREAMBANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL RUNOFF CONVEYANCE SYSTEM WITH RUNOFF—CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
GRADING, SITE PREPARATION CUTTING, FILLING AND GRADING, SEDIMENT TRAPS, BARRIERS, DIVERSIONS, DRAIN, SURFACE ROUGHENING.	BEGIN GRADING AFTER PRINCIPAL SEDIMENT AND KEY RUNOFF— CONTROL MEASURES ARE INSTALLED. CLEAR BORROW AND DISPOSAL AREAS ONLY AS NEEDED. INSTALL ADDITIONAL CONTROL

MEASURES AS GRADING PROGRESSES.

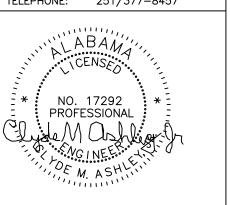
CONSTRUCTION SCHEDULING AND BEST MANA	AGEMENT PRACTICES (BMP) IMPLEMENTATION
CONSTRUCTION ACTIVITY	B.M.P. CONSIDERATION
SURFACE STABILIZATION. TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES  IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED  OR COMPLETE.
BUILDING CONSTRUCTION. BUILDINGS, UTILITIES, PAVING.	INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE.
LANDSCAPING AND FINAL STABILIZATION. TOPSOILING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	LAST CONSTRUCTION PHASE—STABILIZE ALL OPEN AREAS, INCLUDING BORROW AND SPOIL AREAS. REMOVE AND STABILIZE ALL TEMPORARY CONTROL MEASURES.
AINTENANCE, (1) MAINTENANCE INSPECTIONS SHOULD BE PERFORM AINTENANCE REPAIRS SHOULD BE MADE IMMEDIATELY. ONTRACTOR IS RESPONSIBLE FOR WATERING, FERTILIZING AND CUT	ED WEEKLY, AND (2) AFTER PERIODS OF RAINFALL,







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#### SITE EROSION CONTROL DETAILS

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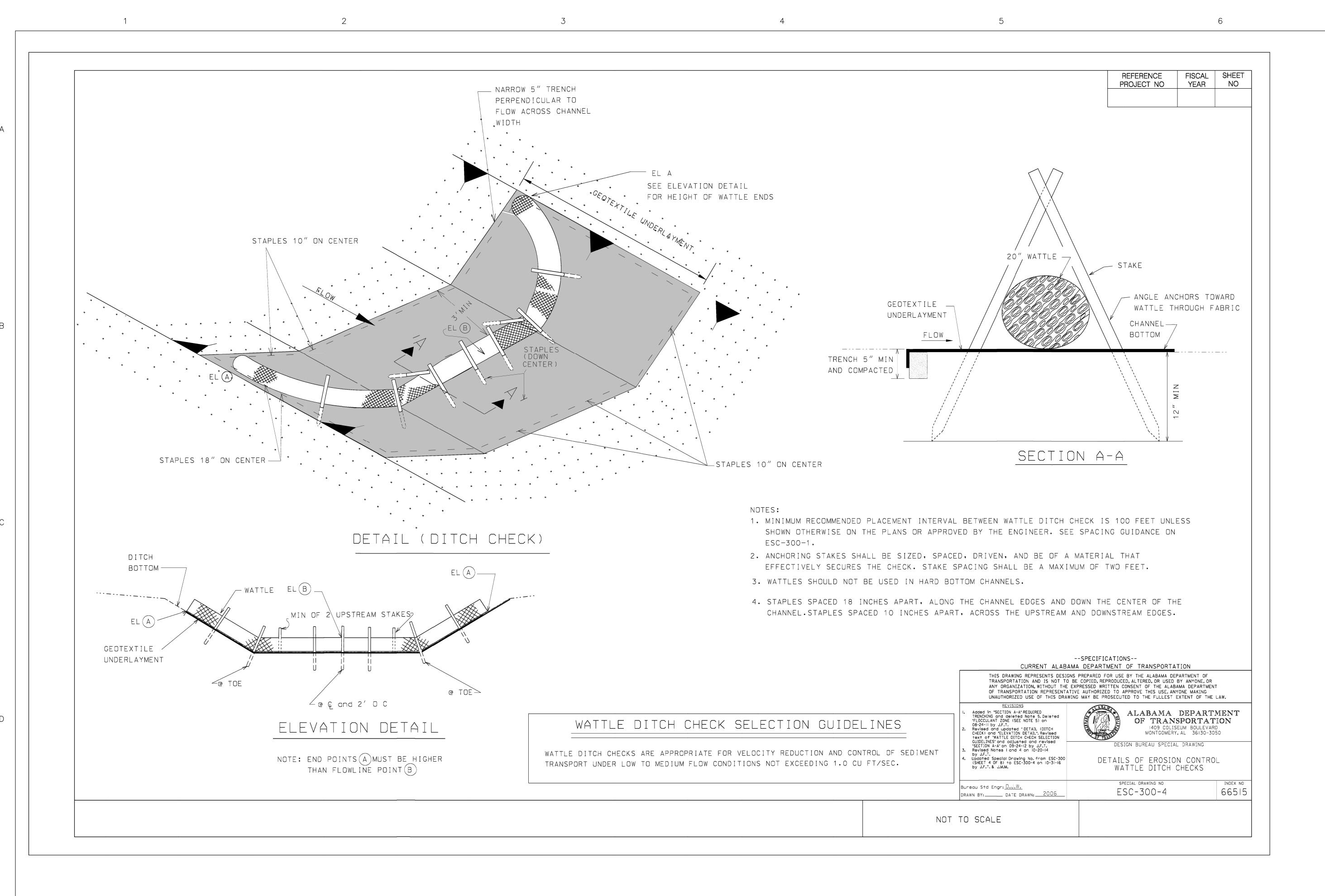
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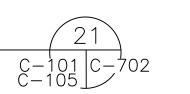
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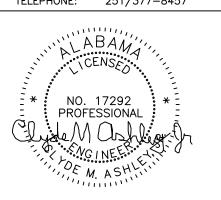


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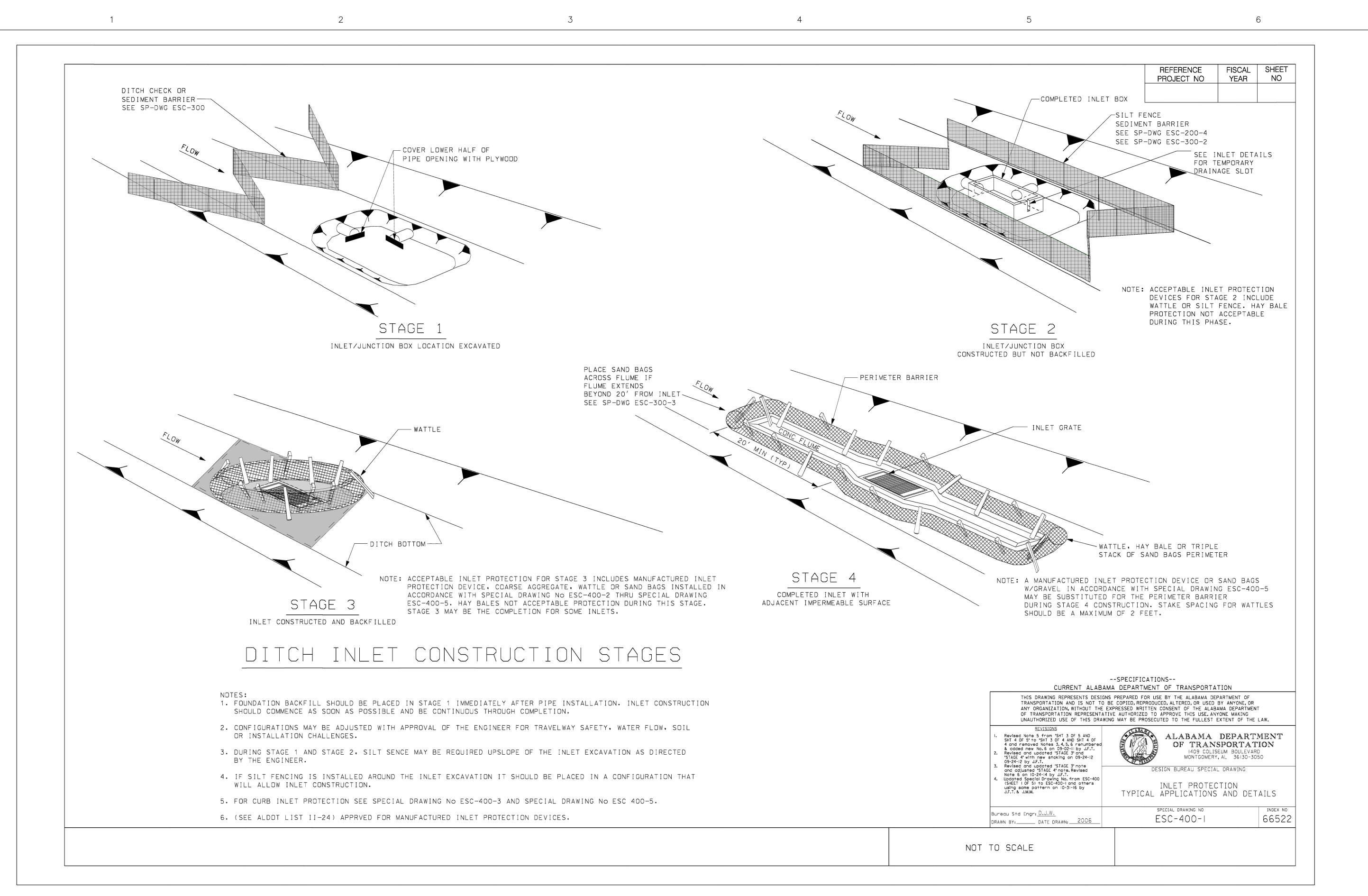
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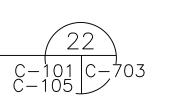
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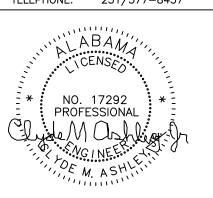
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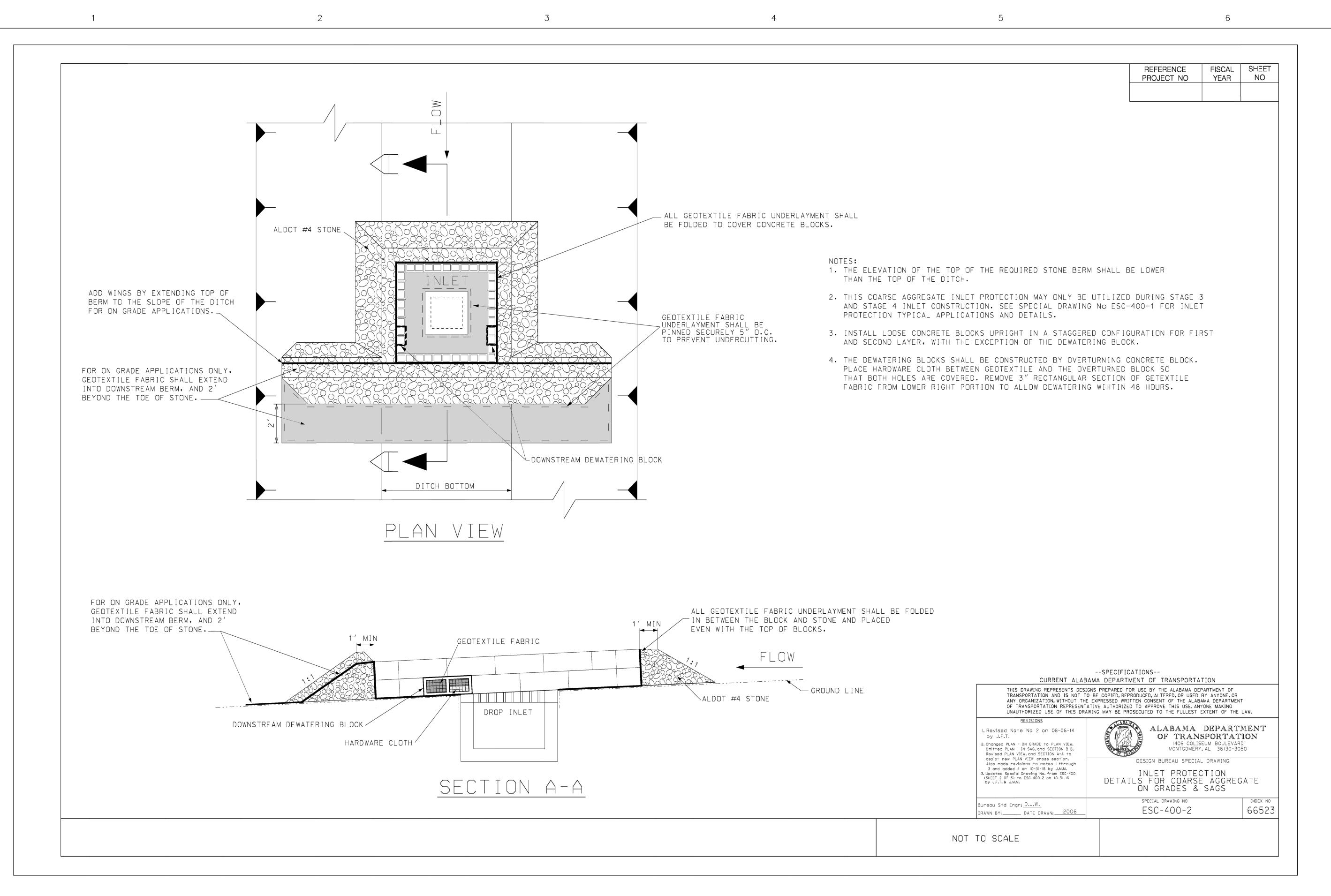
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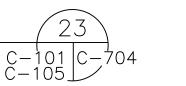
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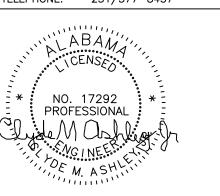
INLET PROTECTION DETAILS

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MINETTE, ALABAMA, 365

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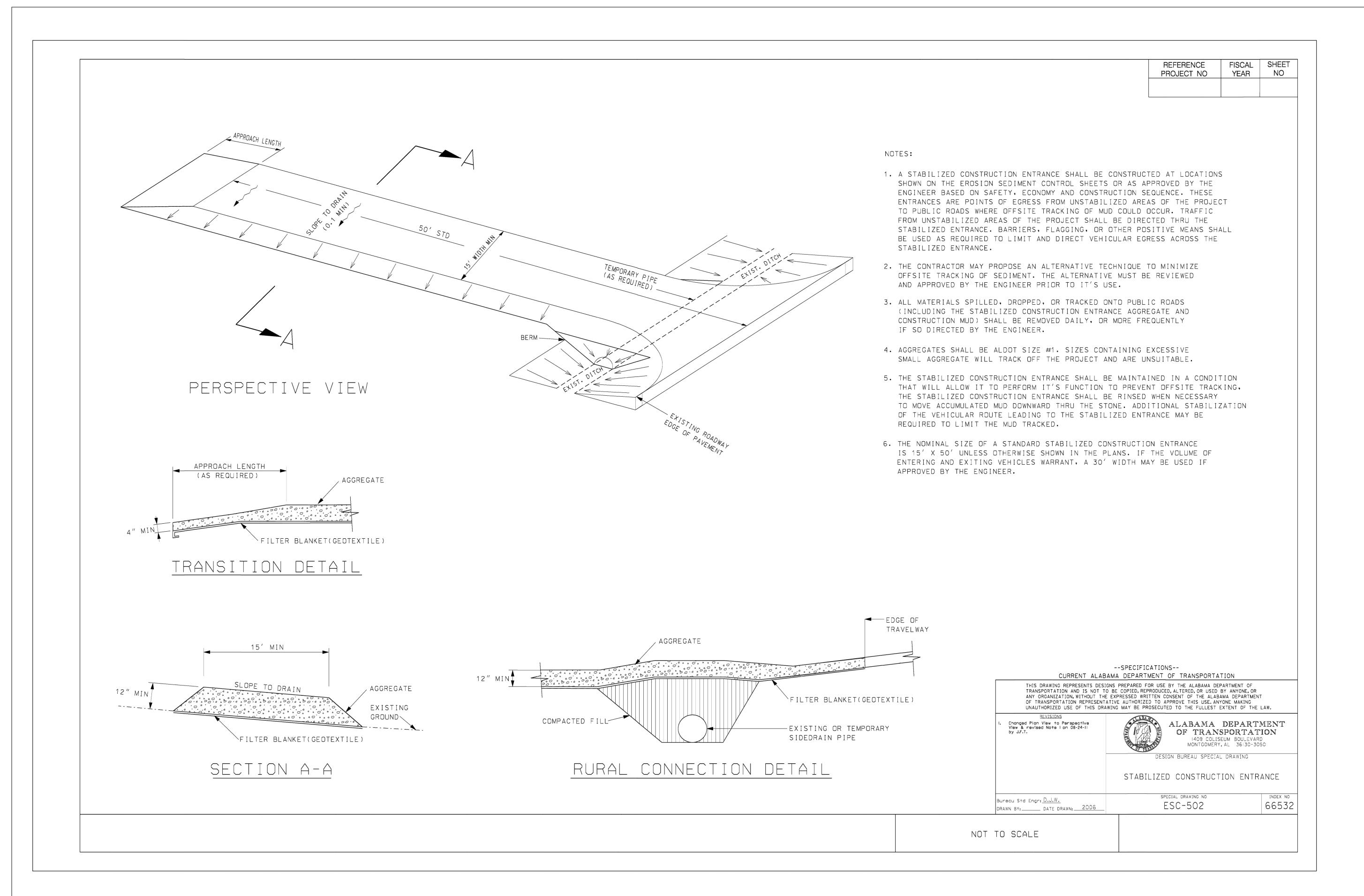
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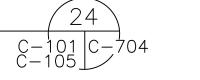
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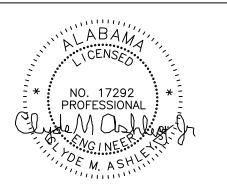
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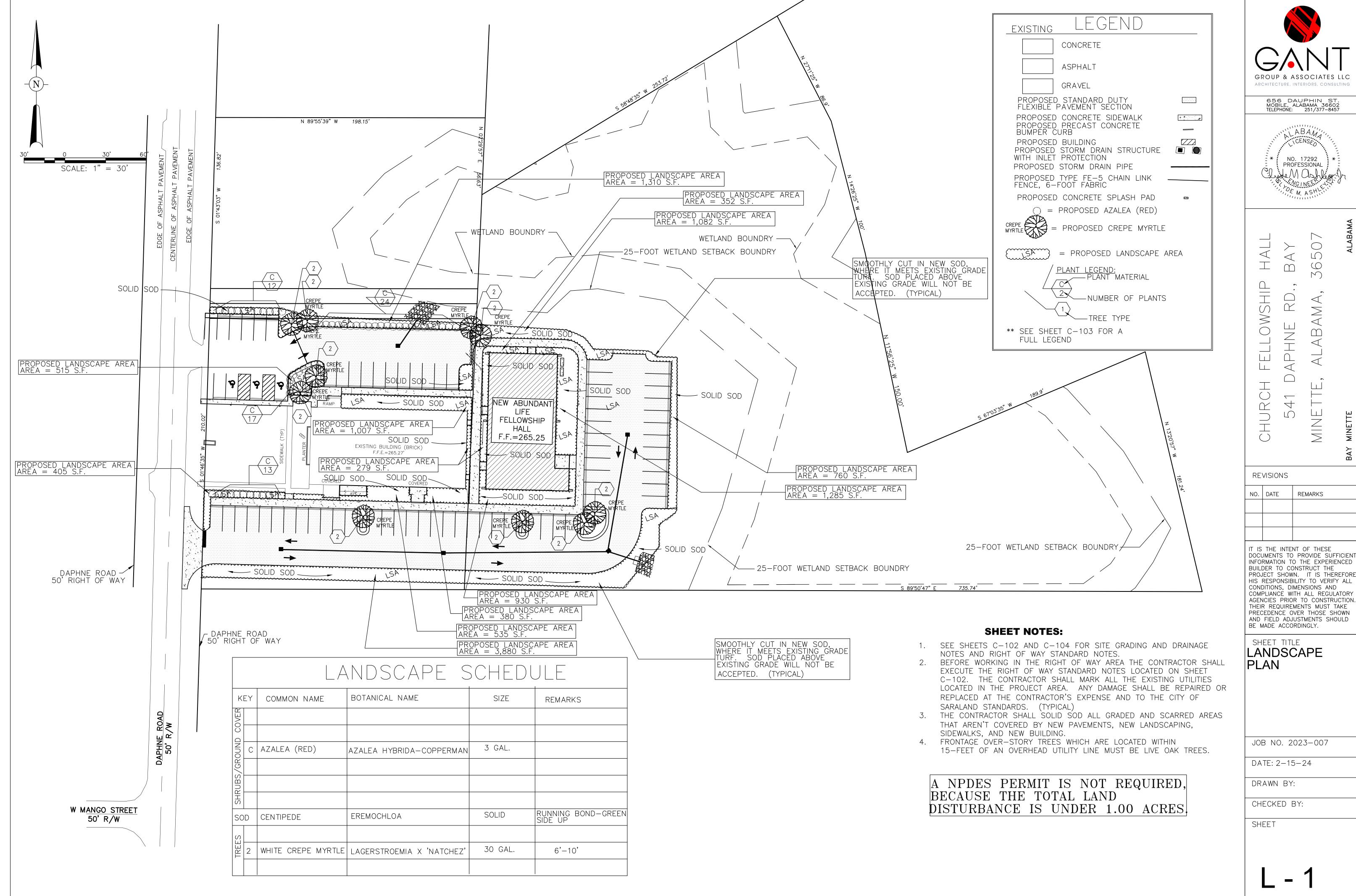
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- THE SITE WILL BE SERVED BY CURB SIDE SERVICE. THERE ARE NO PLANS AT THIS TIME FOR ANY CHANGES OR MODIFICATIONS.
- 2. SITE SHALL COMPLY WITH ARTICLE X OF THE GENERAL PROVISIONS OF THE CITY OF BAY MINETTE USE AND DEVELOPMENT ORDINANCE REGARDING ILLUMINATION OF USES AND ARRANGEMENT OF LIGHTS SO AS NOT TO SHINE DIRECTLY INTO TRAFFIC OR RESIDENTIAL PROPERTIES.
- 3. STORM WATER RETENTION SHALL BE PROVIDED IN THE STORM DRAIN PIPES AND ON TOP OF THE PAVEMENT SURFACES, AS SHOWN.
- 4. FRONTAGE OVER—STORY TREES WHICH ARE LOCATED WITHIN 15 FEET OF AN OVERHEAD UTILITY LINE MUST BE LIVE OAK TREES. THERE ARE NO PLANS FOR NEW WORK IN THE DAPHNE ROAD RIGHT OF WAY. NO TREES WILL BE ADDED.
- 5. FLOOD ZONES FROM ELEVATIONS AND THE FEDERAL INSURANCE ADMINISTRATION FIRM PANEL NUMBER 01003C0407 M DATED APRIL 19, 2019, THE PROPERTY HEREIN DESCRIBED IS LOCATED IN ZONE "X-UNSHADED".
- 6. ANY WORK PERFORMED IN THE EXISTING ROW (RIGHT-OF-WAY) SUCH AS DRIVEWAYS, SIDEWALKS, UTILITY CONNECTIONS, GRADING, DRAINAGE, IRRIGATION, OR LANDSCAPING WILL REQUIRE A ROW PERMIT FROM THE CITY OF BAY MINETTE ENGINEERING DEPARTMENT AND MUST COMPLY WITH THE CITY OF BAY MINETTE RIGHT-OF-WAY CONSTRUCTION AND ADMINISTRATION ORDINANCE.
- 7. ANY AND ALL PROPOSED LAND DISTURBING ACTIVITY WITHIN THE PROPERTY WILL NEED TO BE SUBMITTED FOR REVIEW AND BE IN CONFORMANCE WITH THE CITY OF BAY MINETTE LAND USE AND DEVELOPMENT ORDINANCES
- 8. THE APPROVAL OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL AGENCIES (INCLUDING ALL STORM WATER RUNOFF, WETLAND AND FLOODPLAIN REQUIREMENTS) WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ALL OF THE NECESSARY PERMITS AND APPROVALS. WETLAND LIMITS ARE LOCATED ON THE PROPERTY AND SITE/CIVIL DRAWINGS..
- 9. THE PROPOSED DEVELOPMENT MUST COMPLY WITH ALL ENGINEERING DEPARTMENT DESIGN REQUIREMENTS AND POLICY LETTERS.
- 10. DRIVEWAY NUMBER, SIZE, LOCATION AND DESIGN TO BE APPROVED BY TRAFFIC ENGINEERING AND CONFORM TO AASHTO STANDARDS. ANY REQUIRED ON—SITE PARKING, INCLUDING ADA HANDICAP SPACES, SHALL MEET THE MINIMUM STANDARDS AS DEFINED IN SITE SHALL COMPLY WITH ARTICLE XVI OF THE GENERAL PROVISIONS OF THE CITY OF BAY MINETTE USE AND DEVELOPMENT ORDINANCE. THE PROJECT IS THE DEVELOPMENT OF A FELLOWSHIP HALL AND PARKING. THERE ARE NO PLANS FOR WORK IN THE RIGHT OF WAY.
- 11. PROPERTY TO BE DEVELOPED IN COMPLIANCE WITH STATE AND LOCAL LAWS THAT PERTAIN TO TREE PRESERVATION AND PROTECTION ON BOTH CITY AND PRIVATE PROPERTIES (STATE ACTS 61-929).
- 12. ALL PROJECTS WITHIN THE CITY OF BAY MINETTE FIRE JURISDICTION MUST COMPLY WITH THE REQUIREMENTS OF THE 200 INTERNATIONAL FIRE CODE.

PERMITTED USES:

TOTAL SITE AREA: 203,186.23 SQ. FT. = 4.66 AC. SITE AREA WITHIN CONSTRUCTION LIMITS: 43,500 SQ.FT. = 0.99 AC.

BUILDING AREA COVERAGE: 5,200.73 SQ. FT. (LESS THAN 50%)

YARDS REQUIRED:

FRONT YARD: 25 FT.

SIDE YARD: 0 TO 5 FEET, OR 10 FEET WHERE ABUTTING RESIDENTIALLY ZONED PROPERTY.

REAR YARD: 0 TO 5 FEET, OR 10 FEET WHERE ABUTTING RESIDENTIALLY ZONED PROPERTY.

PARKING REQUIREMENTS:

EXISTING PARKING TO REMAIN AND NOT DECREASE.
SANCTUARY SIZE: NOT A PART OF THE PROJECT.
PEW SEATING CAPACITY: 270 SEATS/4 = 67.5 SPACES
PARKING REQUIRED: 68 SPACES

PARKING PROVIDED: 72 SPACES

ACCESSIBLE SPACES REQUIRED: 3 SPACES
ACCESSIBLE SPACES PROVIDED: (3 TOTAL) 2 CAR AND 1 VAN

GRAND TOTAL OF PARKING: 9 SPACES (INCLUDING 3 H/C SPACES) + 63 NEW PARKING SPACES FOR A TOTAL OF 72 PARKING SPACES (INCLUDING 1 VAN AND 2 CAR)

TREE REQUIREMENTS

FRONTAGE TREES

DAPHNE ROAD

FRONTAGE = THE SITE IS AN EXISTING SITE AND THEREFORE THE SITE WILL

BE GRANDFATHERED IN FOR THE ADDITION OF THE FELLOWSHIP HALL

TREES PROVIDED = 0

PERIMETER TREES

NON-FRONTAGE PERIMETER = 735.74 LF + 181.24 LF + 189.90 LF + 150.00 L.F + 100.00 L.F. + 86.90 L.F. + 253. 70 L.F. + + 56.63 L.F. + 198.15 L.F. =1,952.26 LF

PERIMETER TREES REQUIRED = 0
THE SITE IS AN EXISTING SITE WITH PLENTY OF TREES ON THE SITE
PERIMETER TREE CREDITS:
0 TREE CREDITS
TREES PROVIDED = 0

PARKING LOT TREES (UNDERSTORY TREES)

PARKING LOT TREES REQUIRED = 72 SPACES/20 = 3.6
PARKING LOT TREES PROVIDED = 10 CREPE MYRTLE

#### PARKING SPACE REQUIREMENTS

PARKING REQUIREMENTS:
EXISTING PARKING TO REMAIN AND NOT DECREASE.
SANCTUARY SIZE: NOT A PART OF THE PROJECT.
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DRIVE TURN-OUT NOTES

DAPHNE ROAD: EXISTING:

1 EXISTING DRIVE TURN-OUT

PROPOSED:

1 DRIVE TURN-OUT

LANDSCAPING AREA REQUIREMENTS total site area = 4.66 ac. = 203,186.23 s.f.

MINIMUM LANDSCAPE AREA (INTERIOR AREA REQUIREMENTS) 4.66 AC. = 203,186.23 S.F.  $\times$  5% = 10,159.35 S.F.

LANDSCAPE AREA PROVIDED = 1,310 S.F. + 352 S.F. + 1,082 S.F. + 279 S.F. + 760 S.F. + 1,285 S.F. + 930 S.F. + 380 S.F. + 535 S.F. + 3,850 S.F. + 1,007 S.F. + 405 S.F. + 515 S.F. = 12,690 S.F.

\*\*\* THE LARGE CLEAR SODDED AREA IN FRONT OF THE EXISTING CHURCH WAS NOT INCLUDED IN THE LANDSCAPE AREA TOTALS

SITE LANDSCAPE AREA PROVIDED = 12,690 S.F.

GROUP & ASSOCIATES LLC
ARCHITECTURE, INTERIORS, CONSULTING
656 DAUPHIN STREET
MOBILE, ALABAMA 36602
TELEPHONE: 251/377-8457



ALABAMA

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NO.	DATE	REMARKS

LANDSCAPE
CALCULATIONS &
DETAILS

JOB NO. 2023-0007

DATE: 2/15/2024

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PROVISIONS AS HEREIN SPECIFIED.

VEGETATION.

MATERIALS, LABOR, EQUIPMENT AND SERVICES, AS DESCRIBED HEREIN 23. ALL DISTURBED AREAS THAT AREN'T COVERED BY LANDSCAPING AND INDICATED ON THE DRAWINGS. ALSO, THE WORK SHALL INCLUDE OR NEW SITE WORK SHALL BE SOLID SODDED.

24. CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS UNTIL FINAL ACCEPTANCE BY THE OWNER AND ENGINEER/LANDSAPE ARCHITECT. UNLESS SPECIFIED OTHERWISE, MAINTENANCE INCLUDES 2. BEFORE BEGINNING WORK, THE CONTRACTOR SHALL THOROUGHLY MOWING, EDGING, WEEDING, BLOWING, PRUNING, WATERING, MULCHING,

> 25. BROWN OR DEFOLIATED PLANTS SHALL BE REMOVED AND REPLACED IMMEDIATELY.

26. ALL MATERIALS AND WORKMANSHIP FOR LANDSCAPING SHALL BE GUARANTEED FOR A MINIMUM ONE YEAR FROM THE FINAL ACCEPTANCE.

-CROWN MULCH NEAR

MANNER AS SHOWN

PREPARED

SUBGRADE—

LAWN-

EDGE IN A BERM-LIKE

OR TOP OF

GRADE-

CURB/PAVING

—SEE METAL EDGING DETAIL

-COMPACTED SUBGRADE

27. NO WORK SHALL BE PERFORMED IN ANY R.O.W. WITHOUT APPROVAL BY THE APPROPRIATE FEDERAL, STATE, COUNTY, OR CITY

-MULCH LAYER

7'-101/2"

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TRENCH EDGE TO BE LOCATED BETWEEN ALL

PLANTING BED AREAS AND ADJACENT TURF

AREAS, UNLESS NOTED OTHERWISE.

VARIES

—1" TILLED SUBGRADE—COMPACTED TO 95%

TRENCH EDGE

NOT TO SCALE

3" TENNESSEE RIVER-

BUILDING-

(00)

ROCK MULCH

CONTRACTOR IS MADE AWARE OF ACTIVE EXISTING UTILITIES. IS THE CONTRACTORS RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE LOCATION OF SAID UTILITIES AND OTHER OBSTRUCTIONS. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY, IN THE FIELD, THE EXISTENCE AND LOCATION OF ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CALLING APPROPRIATE LINE LOCATION SERVICE ALL DAMAGED UTILITIES SHALL BE REPLACED TO OWNERS SATISFACTION BY CONTRACTOR WITH NO ADDITIONAL CHARGE TO THE OWNER

LANDSCAPE PLANTS AND NON-PLANT MATERIALS COVERED BY THE

DRAWINGS AND THESE SPECIFICATIONS. THE WORK SHALL INCLUDE

ACCEPTANCE BY THE OWNER, AND FULFILLMENT OF ALL GUARANTEE

PROPOSED PLANS. THE INTENT IS TO PROVIDE A SMOOTH TRANSITION

BETWEEN EXISTING CONDITIONS THAT ARE TO REMAIN AND THE NEW

THE MAINTENANCE OF ALL PLANTS AND PLANTING AREAS UNTIL

ACQUAINT HIMSELF WITH THE EXISTING SITE CONDITIONS AND

SITE FEATURES WITH MINIMAL DAMAGE TO EXISTING TREES AND

4. DISCREPANCIES BETWEEN SITE CONDITIONS AND CONDITIONS ON PLANS SHALL BE CALL TO THE ATTENTION OF THE OWNER IMMEDIATELY.

EXISTING GRADES SHALL BE VERIFIED IN FIELD PRIOR TO BEGINNING ANY WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. LANDSCAPE CONTRACTOR SHALL PROVIDE FINE GRADING TO ENSURE POSITIVE DRAINAGE.

THE ENGINEER SHALL HAVE THE RIGHT TO REJECT ANY AND ALL WORK AND/OR MATERIALS AT ANY STAGE OF PROGRESS, WHICH IN HIS OPINION DO NOT MEET THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS. SUCH REJECTED MATERIAL SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND REPLACED WITH ACCEPTABLE MATERIALS.

7. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL STATE AND LOCAL PERMITS AND LICENSES REQUIRED TO PERFORM THIS WORK.

LANDSCAPE CONTRACTOR SHALL ABIDE BY ALL STATE AND LOCAL LAWS AND ORDINANCES. CONTRACTOR SHALL ALSO CONFORM TO POA OR ARB GUIDELINES IF APPLICABLE.

9. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE STANDARD BUILDING CODE PUBLISHED BY THE SOUTHERN BUILDING CODE CONGRESS INTERNATIONAL, INC.

10. TOPSOIL SHALL BE SANDY/LOAM NATURAL, FRIABLE, AND FERTILE WITH A PH OF 5.5 TO 6.5. TOPSOIL SHALL BE FREE FROM ROOTS, STONES, DEBRIS, NOXIOUS WEEDS, OR ANY SUBSTANCE HARMFUL TO PLANT GROWTH. QUALITY OF TOPSOIL TO BE APPROVED BY THE ENGINEER OR LANDSCAPE ARCHITECT.

11. ONCE DELIVERED ON THE SITE, THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION, INCLUDING THEFT, OF ALL MATERIALS.

12. THE LANDSCAPE PLAN IS TO SERVE AS A GUIDE FOR INSTALLATION. FIELD ADJUSTMENT AND CHANGES TO LAYOUT MAY BE MADE BY THE LANDSCAPE ARCHITECT OR ENGINEER.

13. CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL PER PLANTING PLANS AND SCHEDULE A SITE MEETING WITH THE ENGINEER OR LANDSCAPE ARCHITECT FOR APPROVAL WITH A MINIMUM OF 48 HOURS NOTICE.

14. ALL GROUNDCOVER & FLOWER BEDS SHALL RECEIVE 3" MINIMUM OF PLANTING MIX CONSISTING OF DECOMPOSED PINEBARK OR MUSHROOM COMPOST AND BLENDED INTO THE TOP 6" OF EXISTING SOIL. RAKE BEDS SMOOTH AND TOP DRESS WITH 2" MINIMUM OF GROUND PINEBARK PRIOR TO PLANTING.

15. ALL TREE AND SHRUB PLANTING PITS SHALL BE BACKFILLED WITH 75% EXCAVATED SOIL & 25% PLANTING MIX CONSISTING OF DECOMPOSED PINEBARK OR MUSHROOM COMPOST.

16. ALL TREES SHRUBS AND GROUNDCOVERS SHALL BE PLANTED WITH WOODACE FERTILIZER TABS AT RATES PER MANUFACTURES RECOMMENDATIONS. ALL PLANTING BEDS SHALL ALSO BE TOP DRESSED WITH A SLOW RELEASE OSMOCOTE FERTILIZER OR EQUAL PER MANUFACTURES RECOMMENDATIONS PRIOR TO MULCHING.

17. ALL BEDS SHALL RECEIVE FREEHAND PRE-EMERGENT HERBICIDE OR EQUAL.

18. UNLESS OTHERWISE NOTED, ALL BEDS SHALL RECEIVE 3" COMPACTED DEPTH OF FRESH LONG LEAF PINE STRAW FREE FROM STICKS AND PINE CONES. GROUNDCOVER AREAS WITH 4" PLANTS OR PLUGS SHALL BE MULCHED WITH PULVERIZED PINEBARK MULCH, UNLESS OTHERWISE NOTED.

19. ALL BED LINES SHALL HAVE 3" V-SHAPED TRENCHES. SEE DETAILS.

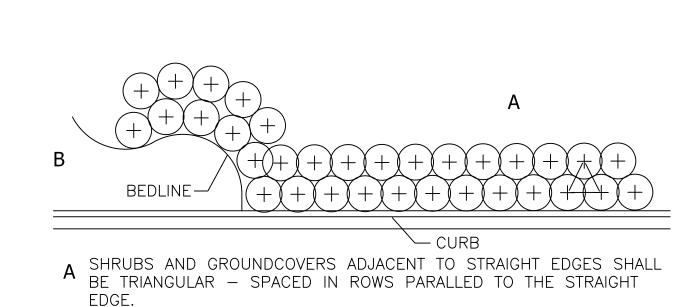
20. ALL PLANT MATERIAL SHALL MEET OR EXCEED FEDERAL, STATE, AND COUNTY LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.

21. ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AND MEET THE LATEST STANDARDS OF THE "AMERICAN STANDARDS FOR NUSERY STOCK".

SET ROOTBALL CROWN FORM 3" " HIGHER CONTINUOUS THAN SURROUNDING SAUCER AROUND FINISHED GRADE. PLANTING PIT-SLOPE FINISHED GRADE AT BACKFILL AWAY FROM ROOTBALL. MULCH TO DEPTH AT WATER WELL. FINISHED GRADE. ROOTBALL PLANTING TABLETS. AGRIFORM OR EQUAL, PER MANUF. RECOMMENDATIONS. BACKFILL WITH A 2 X ROOTBALL MIXTURE OF PLANTING PIT SPOIL AND PREPARED PLANTING SOIL, PER

# SHRUB PLANTING

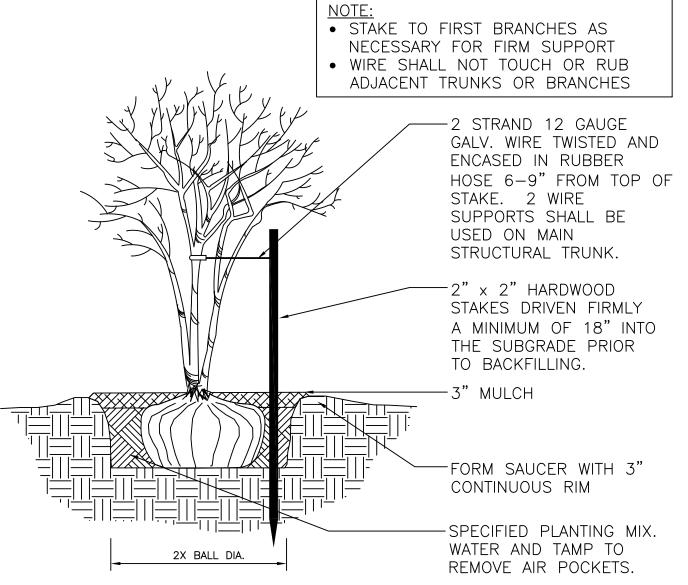
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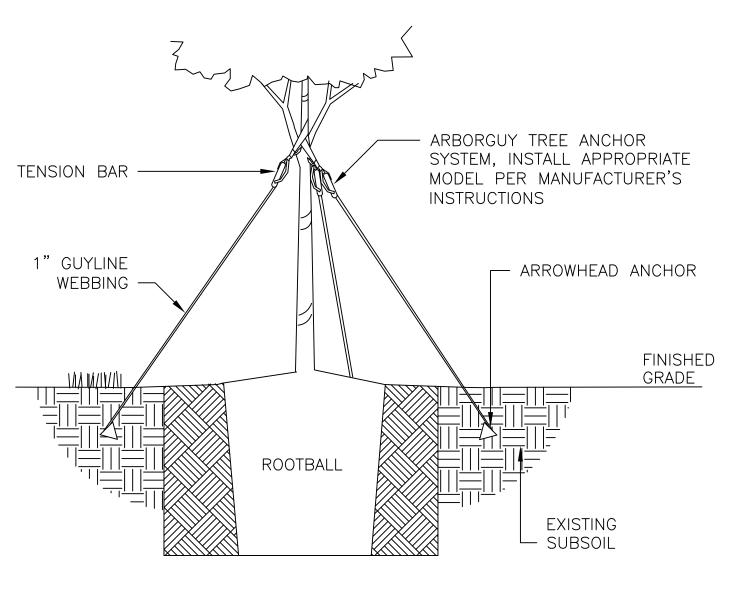
B SHRUBS AND GROUNDCOVERS ADJACENT TO CURVED EDGES SHALL BE PLANTED IN ROWS PARALLEL TO THE CURVED EDGES. CURVED EDGES TO BE VERY SMOOTH RADII.

# TYPICAL PLANT SPACING

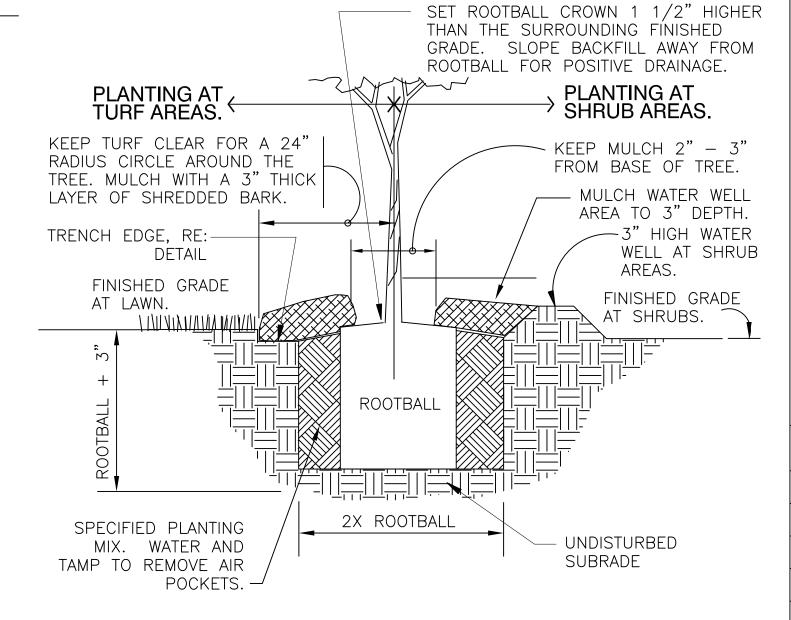
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# MULTI-TRUNK TREE STAKING



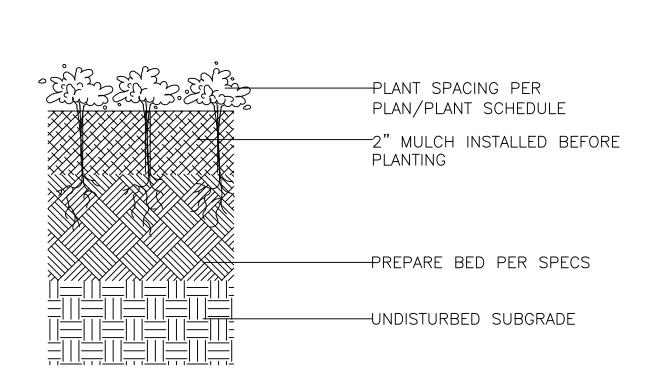
#### STAKING DETAIL



#### PLANT PIT DETAIL

# TREE PLANTING - GUY STRAP

329343.26-02



## **GROUNDCOVER PLANTING**

NOT TO SCALE





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REVISIONS

NO. DATE REMARKS

SHEET TITLE

LANDSCAPE **DETAILS** 

JOB NO. 2023-0007 DATE: 2/15/2024 DRAWN BY: CHECKED BY:

SHEET

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MAINTENANCE STRIP NOT TO SCALE

NOT TO SCALE