



# City of Bay Minette

## Site Plan Review Application

301 D'Olive Street • Bay Minette, Alabama 36507  
Phone (251) 580-1650 • COBM\_Planning@cityofbayminetteal.gov

### Office Use Only

Case No.: SP-2409

Fee: \$500.00

Paid: ☐ Cash ☐ Check

☐ Credit Card

Are you the property owner? ☒ Yes ☐ No

(If you are not the property owner, you must submit an Agent Authorization Form signed by the property owner)

Applicant Name: Abundant Life Church, Inc

Date: December 14, 2023

Mailing Address: P. O. Box 1523

City: Bay Minette

State: Alabama

Zip Code: 36507

Phone Number: (251) 937-2677

Email: Abundantlife3@att.net

### Site Information

Property Address: 541 Old Daphne Road, Bay Minette 36507

or Property Location: \_\_\_\_\_

\*Parcel No.: \_\_\_\_\_

\*PPIN No.: 222248

*\*Parcel or PPIN information must be completed*

Request: To build a new Fellowship Hall.

I, the undersigned, do hereby request the City of Bay Minette Planning Commission to grant a Site Plan Review for the location to determine if it meets the regulations of the **Zoning Ordinance** for the reason(s) stated above. I understand and authorize City Staff to conduct site visits, as needed in relation to this request.

Bruce D. Hooks Sr.

Signature of Applicant (Owner of Property of Authorized Agent)

12/14/2023

Date

### Submittal Requirements

☒ Application

☒ Fee paid in full

☒ Agent Authorization Form (if applicant is not the owner)

☒ Complete Legal Description of Property

☒ Plot Plan or Survey – indicating any existing structures, proposed structures, and setbacks from property lines

☒ Submittal Requirements listed in 8.9 Site Plan, as applicable

*Received 1/9/24 @ Pre-Application Meeting*



Site Location  
Road Centerlines  
BC Revenue Parcels

Locator Map  
SP-24001 Abundant Life Church  
Site Plan Approval to Relocate & Rebuild Fellowship





General Notes

1. It is the intent of the floor plan and related detail drawings to show approximate location and size of equipment and fixtures specified. The rough-in drawings are derived from the floor plan and indicate approximate outlet locations, connection position, and load requirements. While all of the drawings were prepared and drawn as accurately as possible, it is the responsibility of the kitchen equipment contractor to verify all of the above conditions prior to submittal of detailed floor plan, shop drawings, and dimensioned rough-in plans.
2. Prior to commencing work the mechanical contractors shall request dimensioned rough-in plans from the Kitchen Equipment Contractor.
3. All sizes given for food services equipment and fixtures on drawings and in written specifications are approximate. The Kitchen Equipment contractor shall verify all measurements at the job site prior to issuance of purchase orders for equipment.
4. Any changes or relocations of equipment, plumbing, electrical or mechanical services due to structural considerations shall be submitted to jimmy's store for review and approval before proceeding with work.
5. All debris associated with food service contractor responsibility of general contractor.

GENERAL NOTES:

1. PROVIDE BLOCKING IN GALVANIZED METAL STUD WALLS WITH GALVANIZED METAL STUD FURRING TO SUPPORT WALL MOUNTED EQUIPMENT AND CASEWORK.
2. SEE STRUCTURAL FOR COLUMN GRID SPACING.
3. SEAL ALL WALL PENETRATIONS. SEAL MATERIAL SHALL MATCH COLOR AND FIRE RATING OF WALL.
4. COORDINATE WITH STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, FOR ASSOCIATED WORK UNLESS NOTED OTHERWISE.
5. REFER TO SHEETS A601 FOR STOREFRONT & WINDOW DIMENSIONS
6. ALL INTERIOR DOOR OPENINGS SHALL BE 4" OFF ADJACENT STUD WALLS ON THE HINGE SIDE OF DOOR UNLESS NOTED OTHERWISE.
7. EXTERIOR INSULATED METAL WALL "R" VALUE = R-14.
8. SEE OWNER FOR INTERIOR COLORS, SIGNAGES, FURNITURE, FINISHES, AND EQUIPMENT TO BE PROVIDED.
9. DIMENSIONS ARE FROM FACE OF MASONRY OR STUD WALLS UNLESS OTHERWISE NOTED.
10. REFER TO A600 FOR PARTITION TYPES
11. COLUMN LINES ARE TO BE COORDINATED WITH STRUCTURAL AND METAL BUILDING MANUFACTURER

SYMBOLS LEGEND

- WALL TYPES
- WINDOW TYPES
- ROOM NUMBER
- DOOR NUMBER



656 DAUPHIN ST.  
MOBILE, ALABAMA 36602  
TELEPHONE: 251/377-8457



CHURCH FELLOWSHIP HALL  
541 DAPHNE RD., BAY  
MINETTE, ALABAMA, 36507

ALABAMA  
BAY MINETTE

REVISIONS

NO.	DATE	REMARKS

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION. THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS SHOULD BE MADE ACCORDINGLY.

SHEET TITLE  
FLOOR PLANS

JOB NO. 2022-007

DATE: 10-11-22

DRAWN BY:  
C. GANT

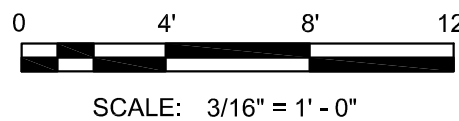
CHECKED BY:

SHEET

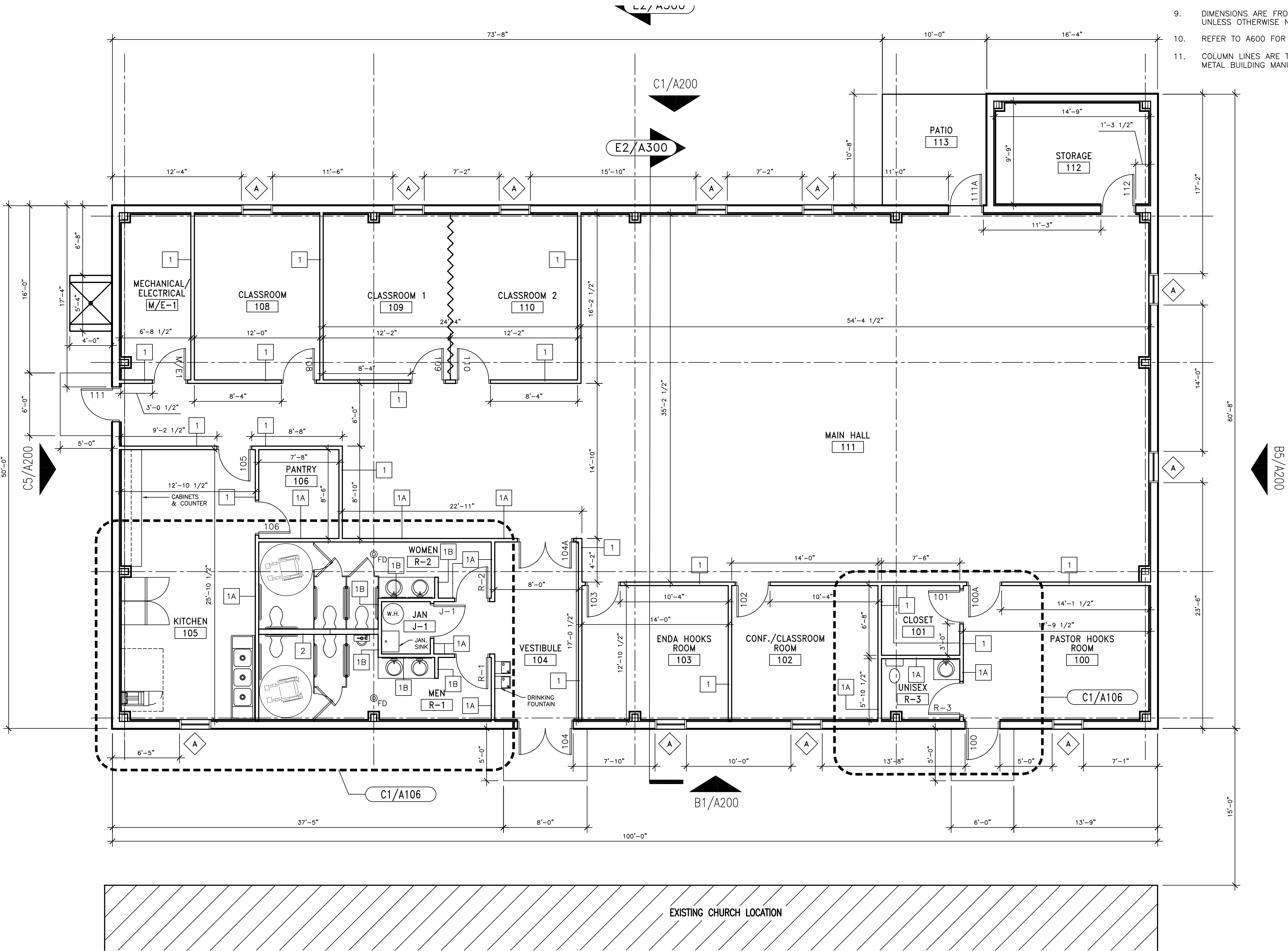
A101

FIRST FLOOR GROSS SF = 5174 SF  
COVERED OVERHANG @ 1/2 SF = 53.5 SF  
TOTAL BUILDING GROSS SF= 5227.5 SF

GRAPHIC SCALE:



E3 FLOOR PLAN  
3/16\"/>



A

B

C

D

E

1

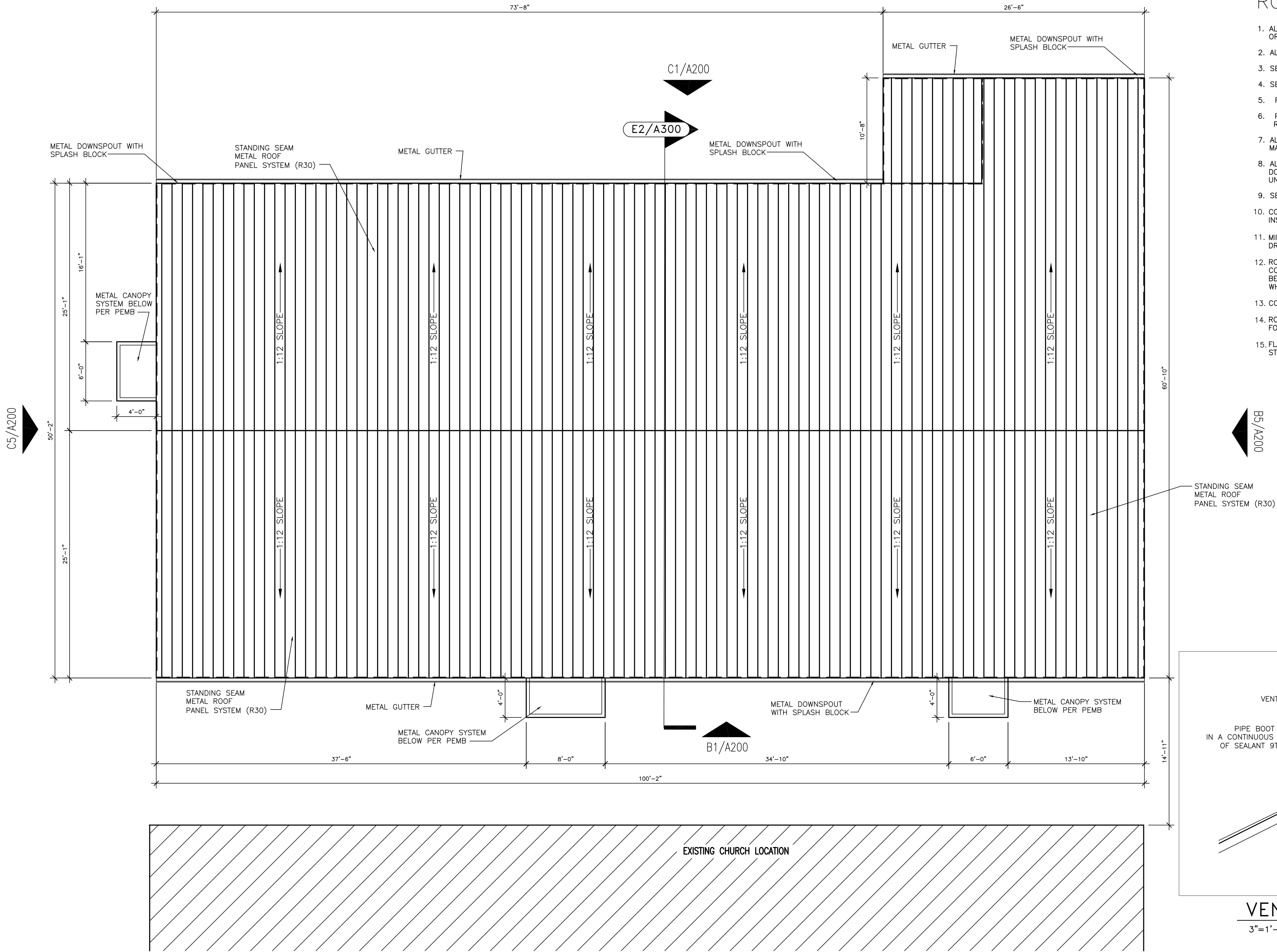
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3

4

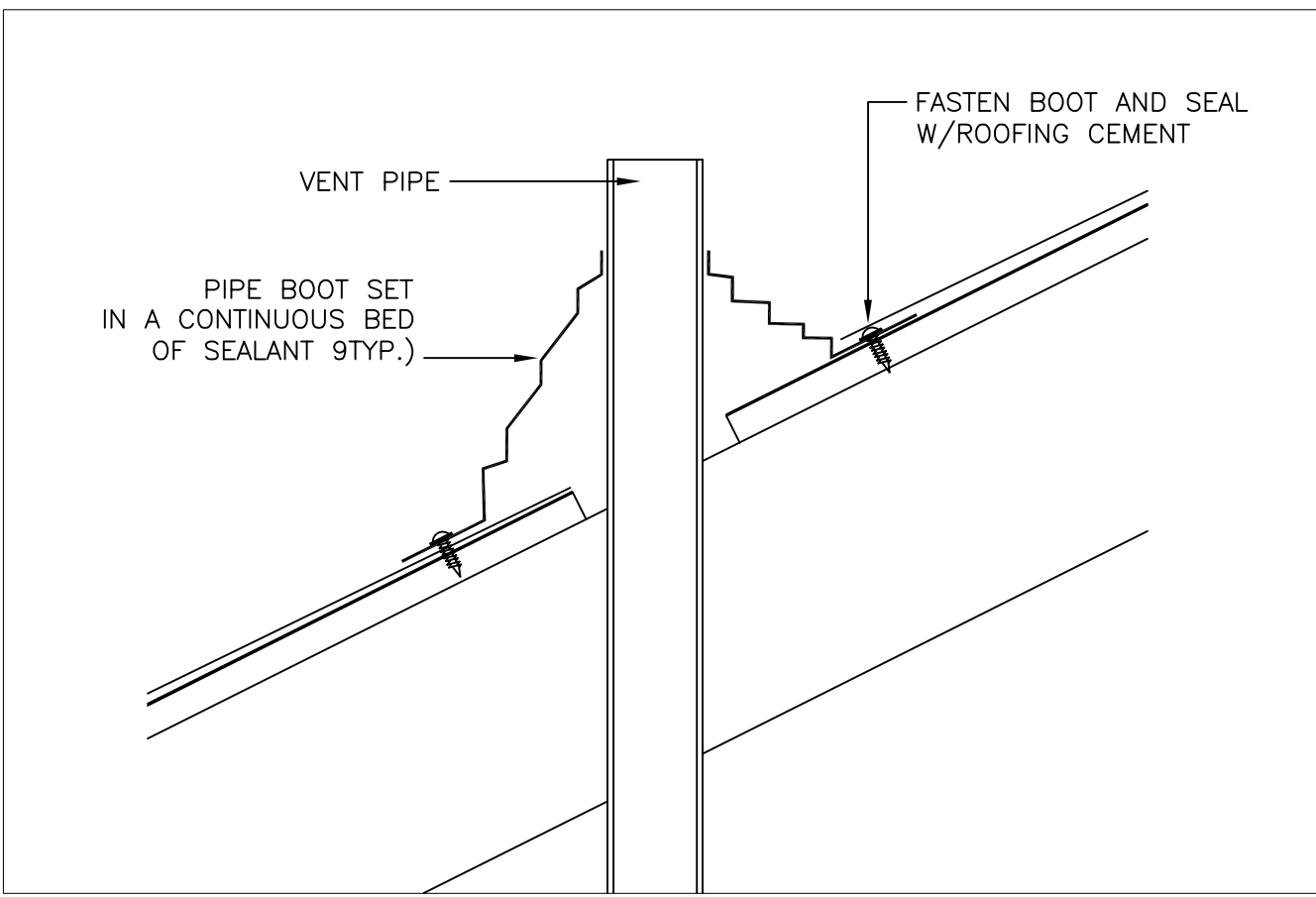
5

6



ROOF NOTES:

1. ALL DIMENSIONS ARE FROM EDGE OF ROOF TO EDGE OF ROOF, OR WHERE APPLICABLE, COLUMN GRIDLINE.
2. ALL ROOF SLOPES ARE 3/12, UNLESS NOTED OTHERWISE.
3. SEE STRUCTURAL FOR COLUMN GRID SPACING.
4. SEAL ALL ROOF PENETRATIONS.
5. ROOF "R" VALUE = R-30.
6. PROVIDE MANUFACTURERS STANDARD PREFINISHED TRIM, FASCIA, RIDGE CAPS AND PREFINISHED FLASHING. COLOR SHALL MATCH ROOF.
7. ALL METAL GUTTER SIZE SHALL BE 6" X 6" METAL GUTTER PER MANUFACTURER.
8. ALL METAL DOWNSPOUTS SIZE SHALL BE 4" X 6" METAL DOWNSPOUTS PER MANUFACTURER. TIE DOWNSPOUTS INTO UNDERGROUND SYSTEM PER CIVIL DRAWINGS.
9. SEE SHEET A-103 AND A-300 FOR TYPICAL DETAIL OR SECTION.
10. CONTRACTOR WILL VERIFY CONDITIONS AND DIMENSIONS BEFORE INSTALLATION.
11. MINIMUM 16" OVERHANGS TYPICAL. REF. TO STRUCTURAL DRAWINGS.
12. ROOF PENETRATIONS AND VENTILATION TO BE DETERMINED BY CONTRACTOR AND RESPECTIVE SUB-CONTRACTORS. ALL ARE TO BE IN CODE COMPLIANCE. LOCATE AWAY FROM STREET VIEW WHERE POSSIBLE.
13. CONTRACTOR TO PROVIDE A SEALED ROOF.
14. ROOFING MATERIAL SHALL BE WIND RATED BY MANUFACTURER FOR SLOPE AND WIND SPEEDS INDICATED IN THE DRAWINGS.
15. FLASH ALL ROOF PENETRATIONS AND PLATFORMS PER SMACNA STANDARDS.

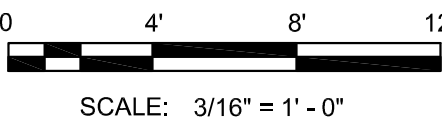


VENT THRU ROOF DETAIL

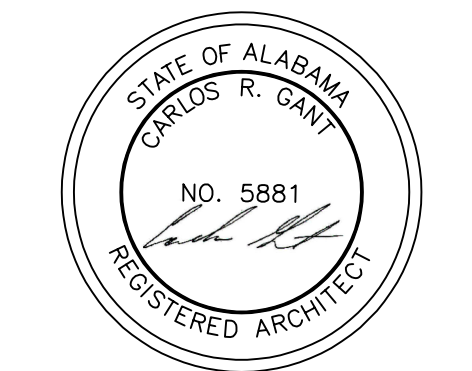
3"=1'-0"

E2 NEW WORK ROOF PLAN  
3/16"=1'-0"

GRAPHIC SCALE:



656 DAUPHIN ST.  
MOBILE, ALABAMA 36602  
TELEPHONE: 251/377-8457



CHURCH FELLOWSHIP HALL  
541 DAPHNE RD., BAY  
MINETTE, ALABAMA, 36507  
ALABAMA  
BAY MINETTE

REVISIONS

NO.	DATE	REMARKS

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SHEET TITLE  
NEW WORK  
ROOF PLAN

JOB NO. 2022-007

DATE: 10-11-22

DRAWN BY: T. WALLACE

CHECKED BY:

SHEET

A103



1

2

3

4

5

6

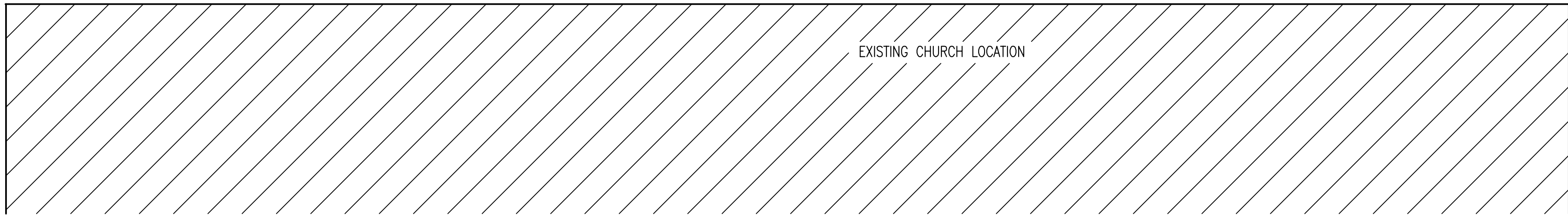
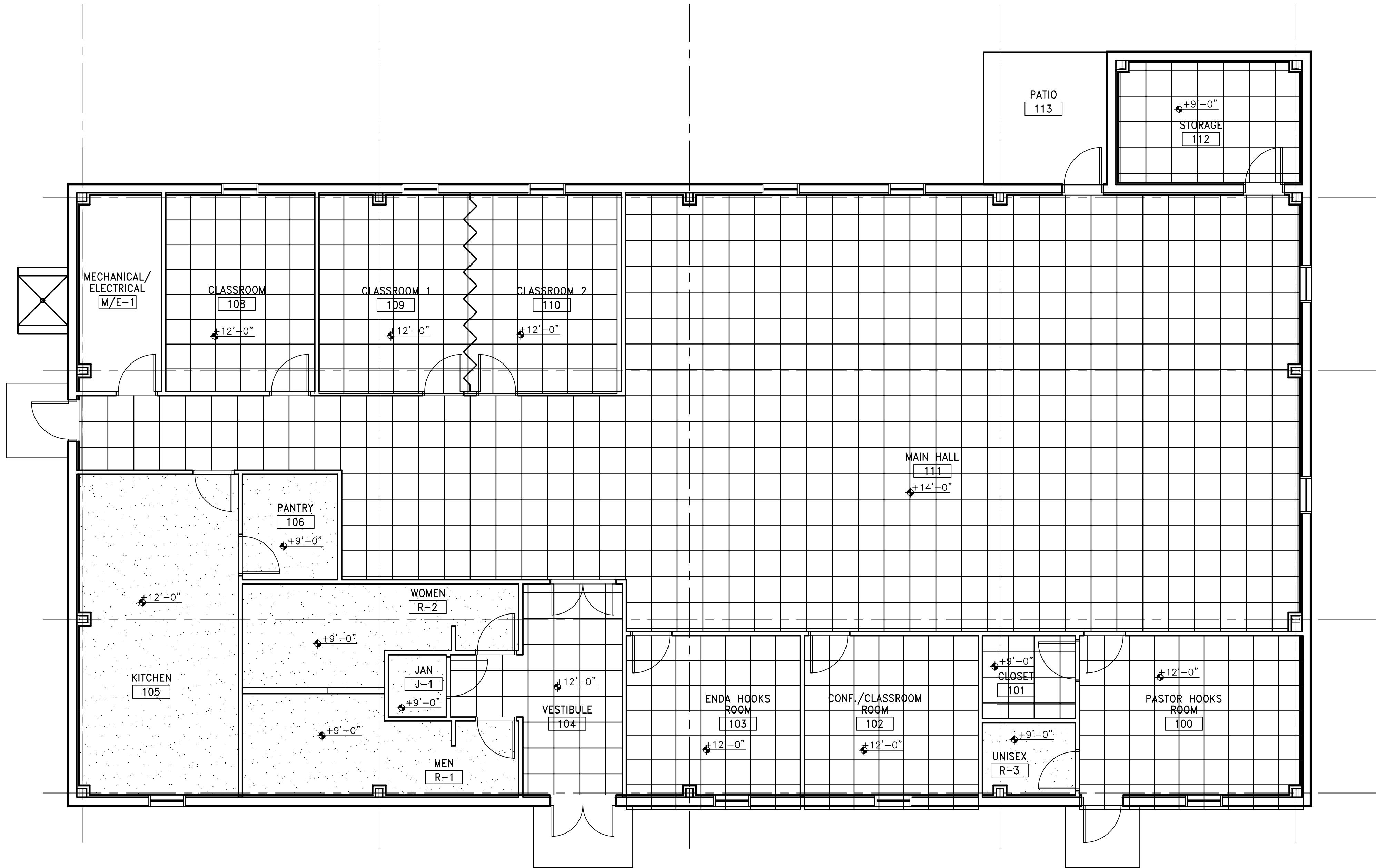
A

B

C

D

E



C2 NEW WORK CEILING PLAN  
3/16"=1'-0"

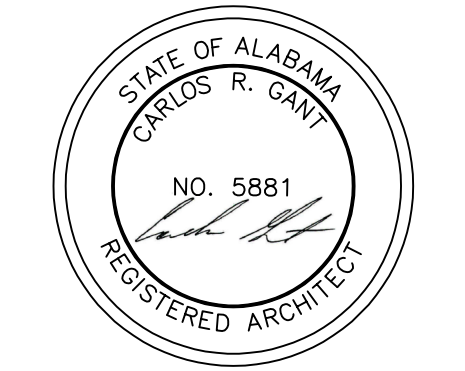
- UTILITY NOTES:
- SEE SHEET G002 FOR BASIC GENERAL ELECTRICAL AND MECHANICAL NOTES
  - HVAC PER MECHANICAL DRAWINGS.
  - NEW CABLE AND T.V. OUTLETS TO BE LOCATED BY THE ELECTRICAL CONTRACTOR WITH INPUT FROM THE OWNER. COST RELATED TO FAILURE TO DO SO ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  - NEW LIGHTING FIXTURES TO BE DETERMINED BY OWNER.
  - NEW EXTERIOR EMERGENCY LIGHTING IS TO BE PROVIDED AT LOCATIONS AS DETERMINED BY OWNER.
  - PROVIDE BLOCKING IN CEILINGS TO SUPPORT CEILING MOUNTED EQUIPMENT.
  - SEE STRUCTURAL FOR COLUMN GRID SPACING.
  - SEAL ALL PENETRATIONS.
  - ALL CEILING HEIGHTS ARE 10'-8" A.F.F., UNLESS NOTED OTHERWISE.
  - PROVIDE METAL SUPPORTS AROUND ALL OPENINGS FOR MECHANICAL, STRUCTURAL, OR OTHER PENETRATIONS.

LEGEND

- CEILING MOUNTED LIGHTING
- WALL MOUNTED LIGHTING
- LIGHT KIT
- ILLUMINATED EXIT SIGN
- RECESSED CAN FIXTURE
- PENDANT LIGHTING
- DIFFUSER
- RETURN
- 2'-0" x 2'-0" ACT
- GWB CEILING
- ETS-EXPOSED STRUCTURE (PAINTED)



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ALABAMA

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SHEET TITLE  
NEW WORK  
CEILING  
PLAN

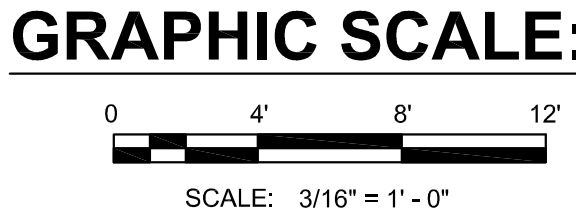
JOB NO. 2022-007

DATE: 10-11-22

DRAWN BY:  
T. WALLACE

CHECKED BY:

SHEET



A104



TOILET ACCESSORY LEGEND:

(EHD)	ELECTRIC HAND DRYER	(SCR)	SHOWER CURTAIN ROD
(GR-1)	GRAB BAR - 42"	(SD)	SOAP DISPENSER (N.I.C.)
(GR-2)	GRAB BAR - 36"	(SH)	SOAP HOLDER, PROVIDE TWO PER SHOWER
(GR-3)	GRAB BAR - 18"	(TB)	TOWEL BAR
(GR-4)	ADA SHOWER GRAB BAR	(TPH)	TOWEL PIN HOOK
(DL)	DOUBLE TIER LOCKERS	(CP)	COAT PIN
(TTDJ)	TOILET TISSUE DISPENSER	(TP)	TOILET PARTITION
(MG)	MIRROR, GLASS	(UR)	UTILITY RACK
(MT)	MIRROR, TILT GLASS (2 POSITION)	(URS)	URINAL SCREEN
(PTWR)	COMB, PAPER TOWEL DISPENSER/ WASTE RECEPTACLE	(B)	BENCH
(SND)	SANITARY NAPKIN DISPENSER	(LC)	LOCKERS
(SC)	SHOWER CURTAIN	(SCD)	TOILET SEAT COVER DISPENSER
(SS)	SHOWER SEAT		
(SRS)	TILED SURFACE SURROUND SHOWER		
(ADAS)	ADA COMPLIANT SHOWER WITH SEAT AND GRAB BARS		

GENERAL NOTES:

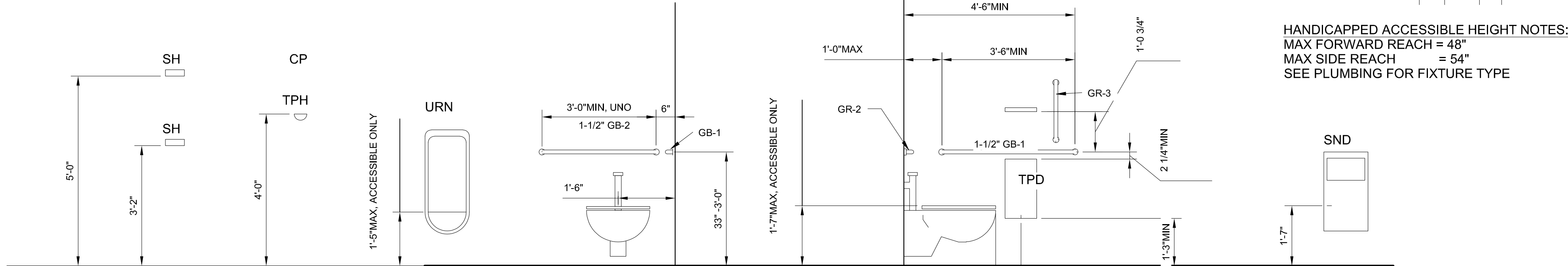
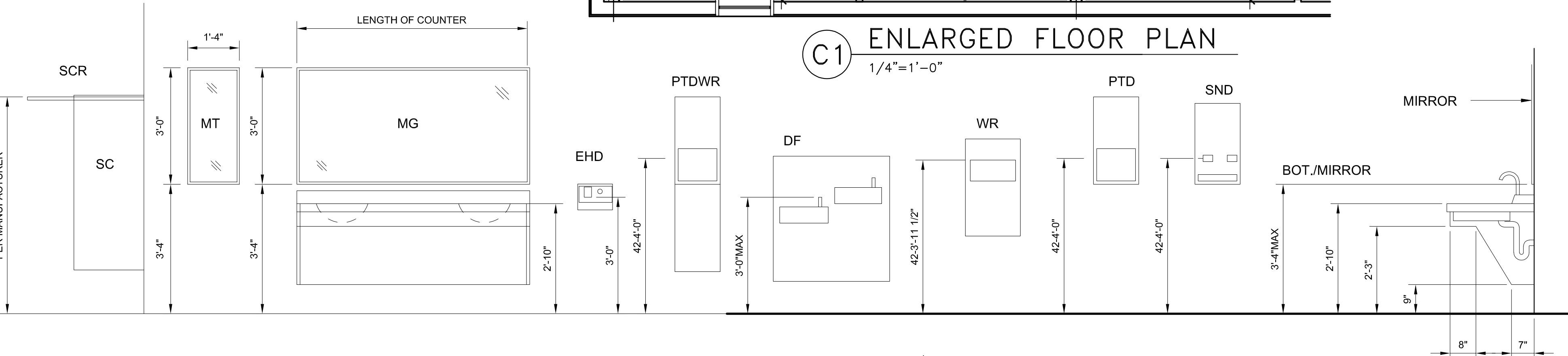
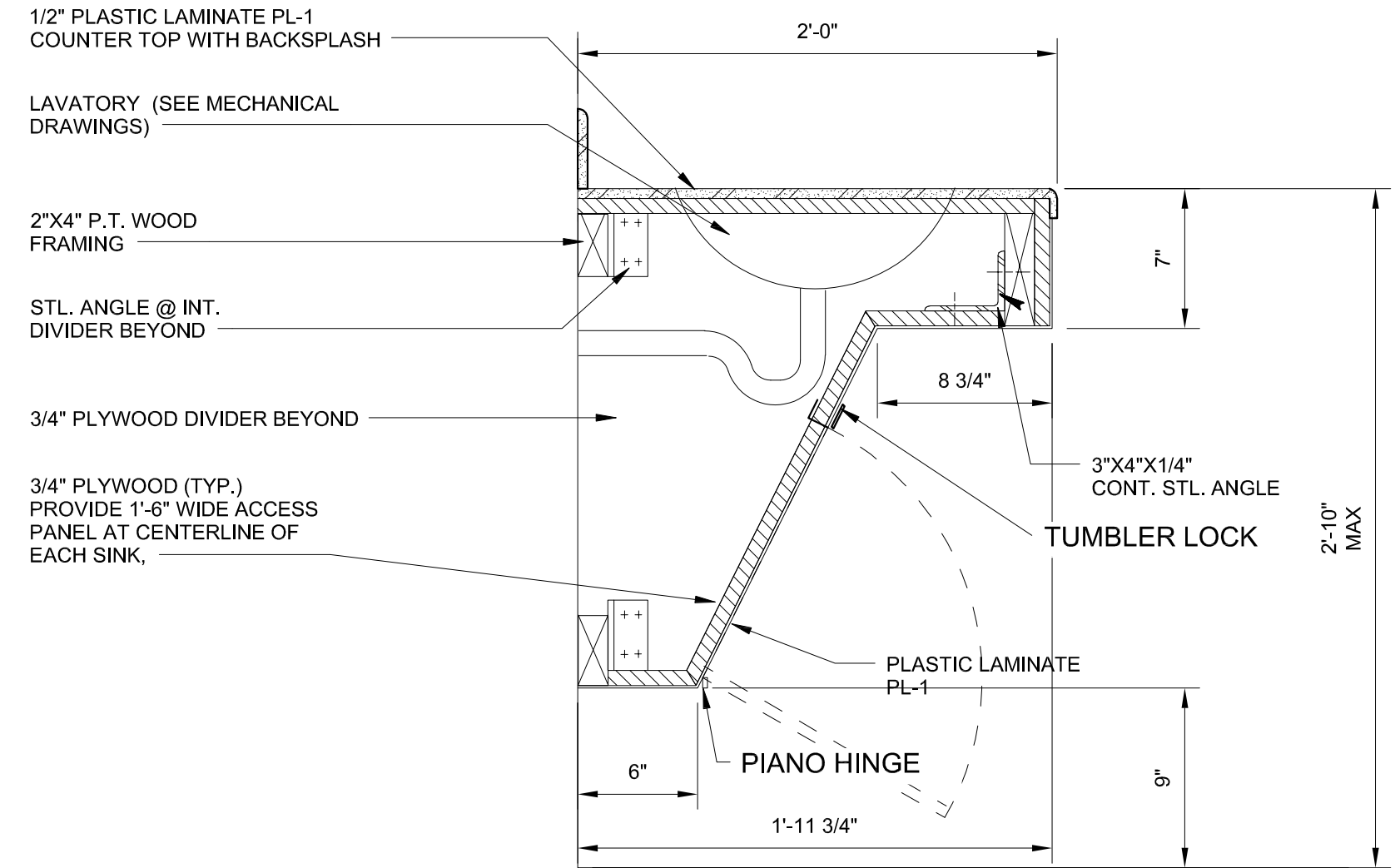
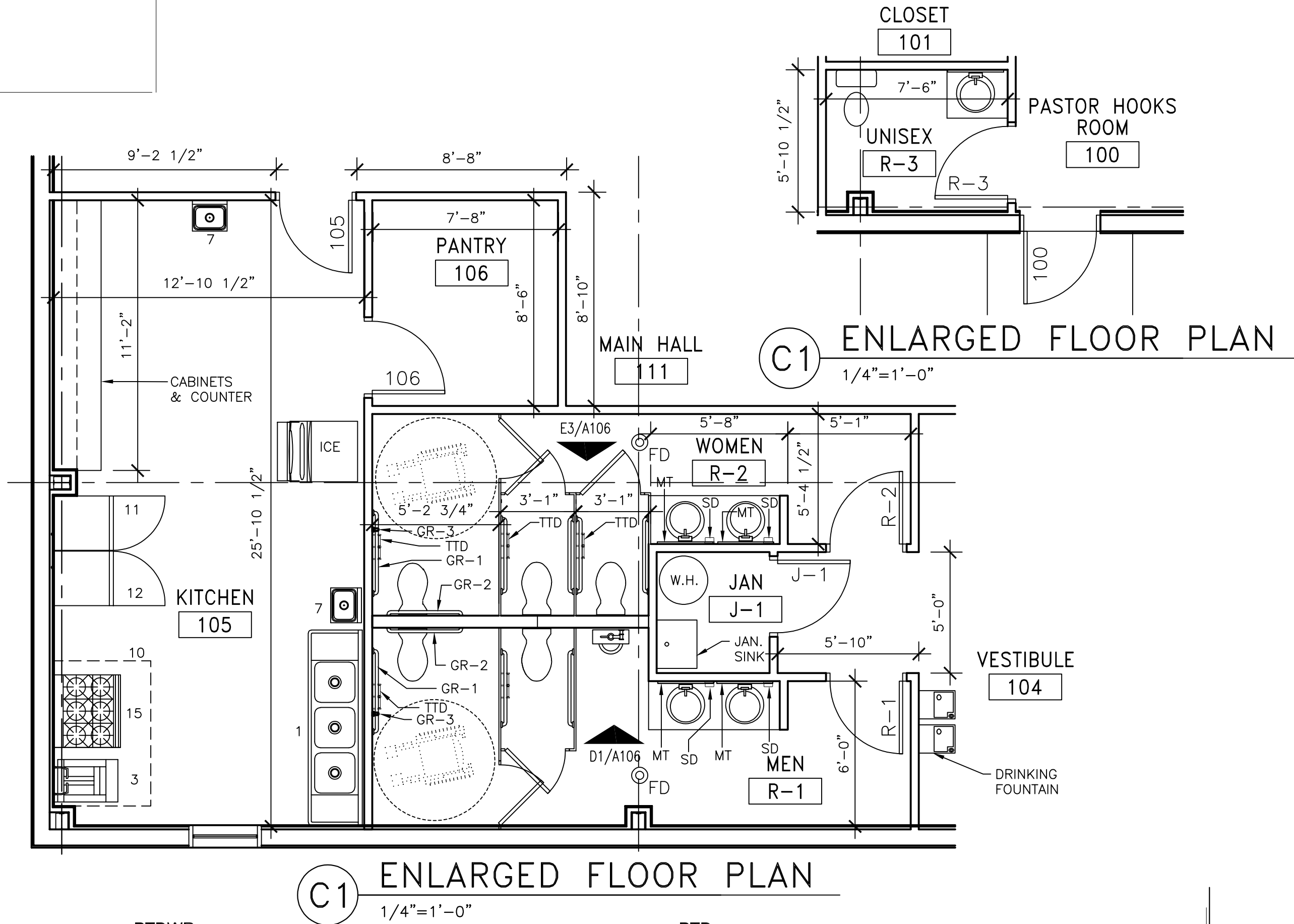
1. APPLY A CONTINUOUS BEAD OF SEALANT AROUND ALL FIXTURES WHERE FIXTURE INTERFACES WITH THE FLOOR OR WALL
2. CONTRACTOR SHALL PROVIDE BLOCKING FOR MOUNTING / INSTALLING OF ACCESSORIES, MATCH FRAMING MEMBER SIZE.
3. ENSURE SUPPORT MEETS FIXTURE MANUFACTURER REQUIREMENTS.
4. CONTRACTOR SHALL INSTALL ADEQUAE BLOCKING TO SUPPORT ALL FIXTURES, AND REFER FOR EQUIPMENT MOUNTING HEIGHTS AND DIMENSIONS

NOTES:

1. DRAWINGS ARE FOR GENERAL INFORMATION. THE ACTUAL CABINETS, APPLIANCES, AND FIXTURES ETC., ARE TO BE SELECTED/ COORDINATED BY THE OWNER.
2. BATHROOM ELEVATIONS SHOW THE GENERAL RELATIONSHIPS OF THE FIXTURES AND CABINETRY.
3. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.

FOOD SERVICE EQUIPMENT SCHEDULE

Item No	Qty	Equipment Category
1	1	3-Comp Sink
12	1	Single Door Freezer
11	1	Single Door Cooler
3	1	Small Fryer
-	-	-
7	2	Hand Sink
15	1	2 Burner Gas Range/Stove
10	-	Exhaust Hood-sized to width necessary with intergal fire suppression
-	-	-



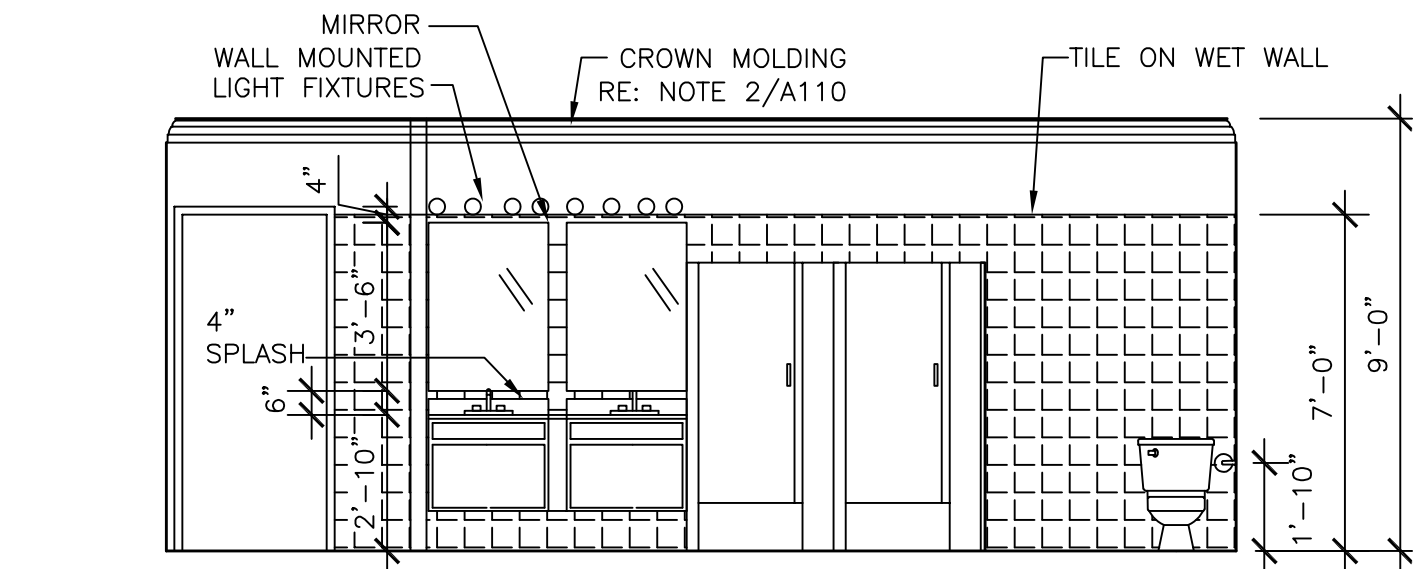
E1 BATHROOM FIXTURE MOUNTING HEIGHT  
1/2" = 1'-0"

BATHROOM COUNTER DETAIL

1 1/2" = 1'-0"

MEN - ELEVATION

1/4" = 1'-0"



WOMEN - ELEVATION

1/4" = 1'-0"

E3 WOMEN - ELEVATION  
1/4" = 1'-0"



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SHEET TITLE  
TOILET LEGEND  
PLAN, & CASEWORK  
NOTES

JOB NO. 2022-007

DATE: 10-11-22

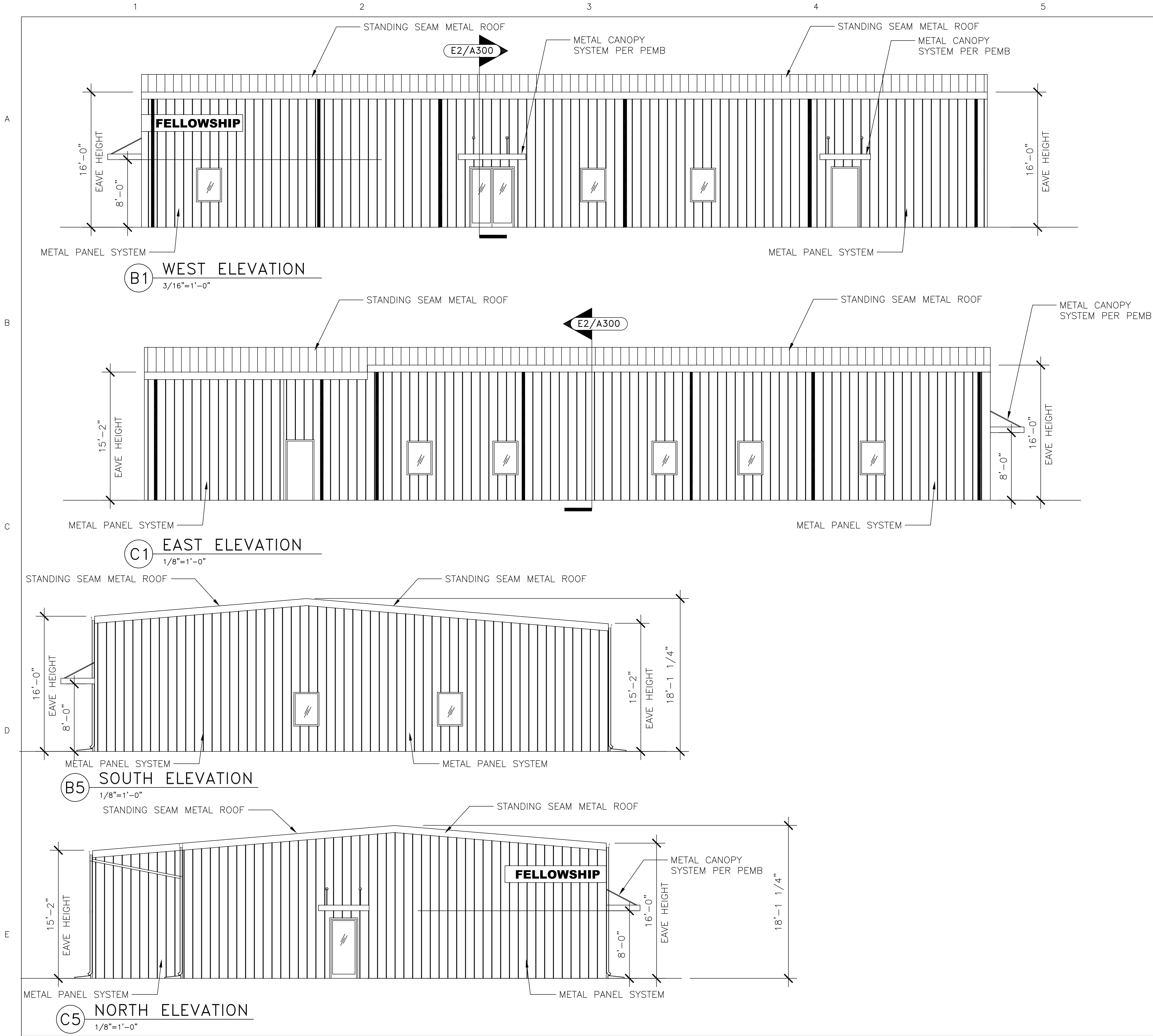
DRAWN BY:  
C. GANT

CHECKED BY:

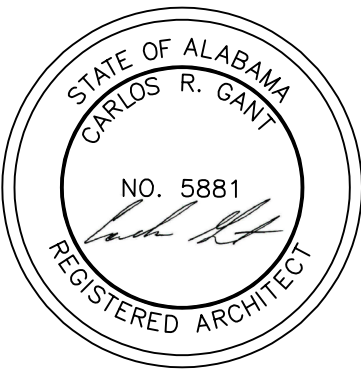
SHEET

A106





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TELEPHONE: 251/377-8457



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SHEET TITLE  
ELEVATIONS

JOB NO. 2022-007

DATE: 10-11-22

DRAWN BY:  
T. WALLACE

CHECKED BY:

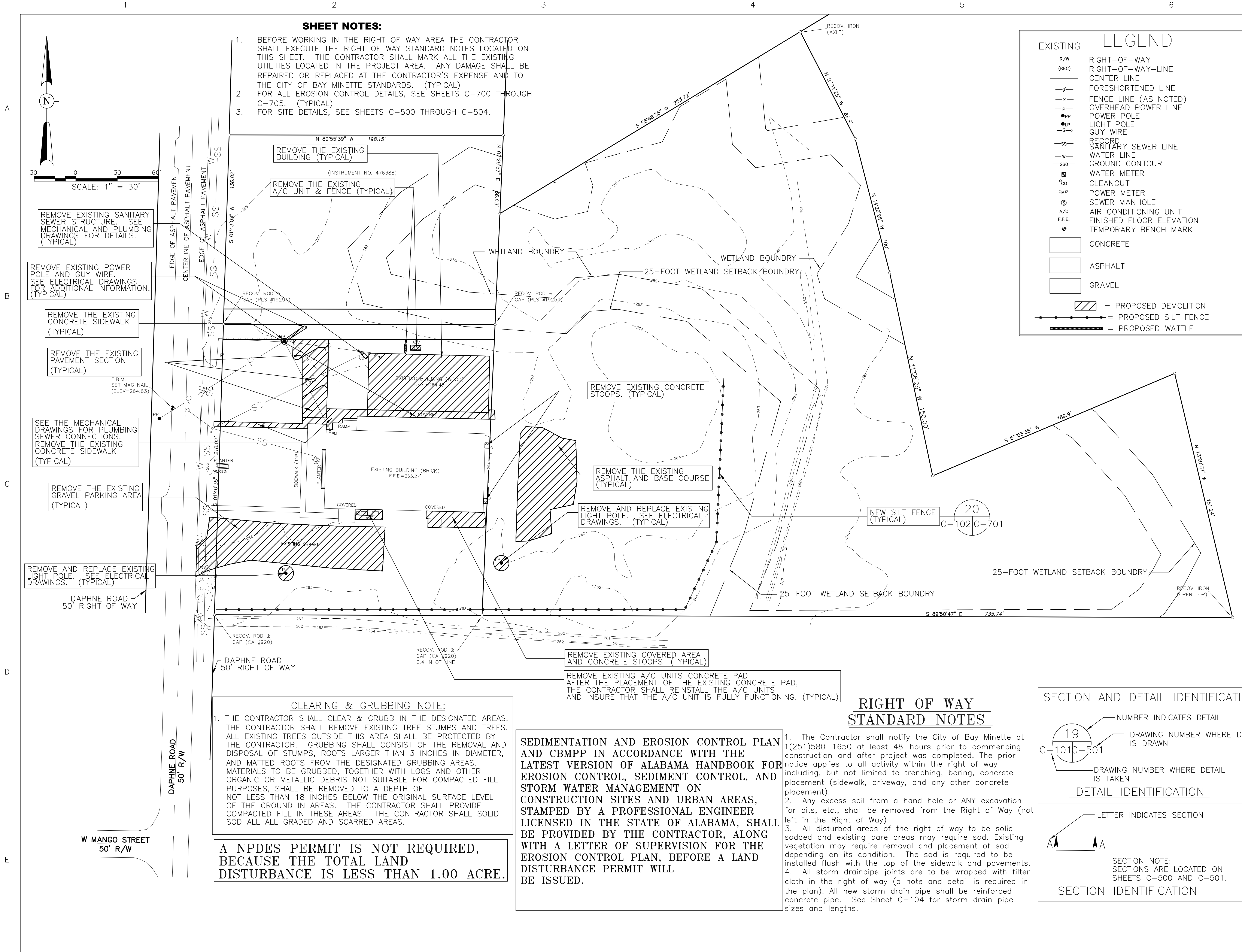
SHEET

A200









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SHEET TITLE  
**PRELIMINARY  
BEST  
MANAGEMENT  
PRACTICES &  
DEMOLITION  
PLAN**

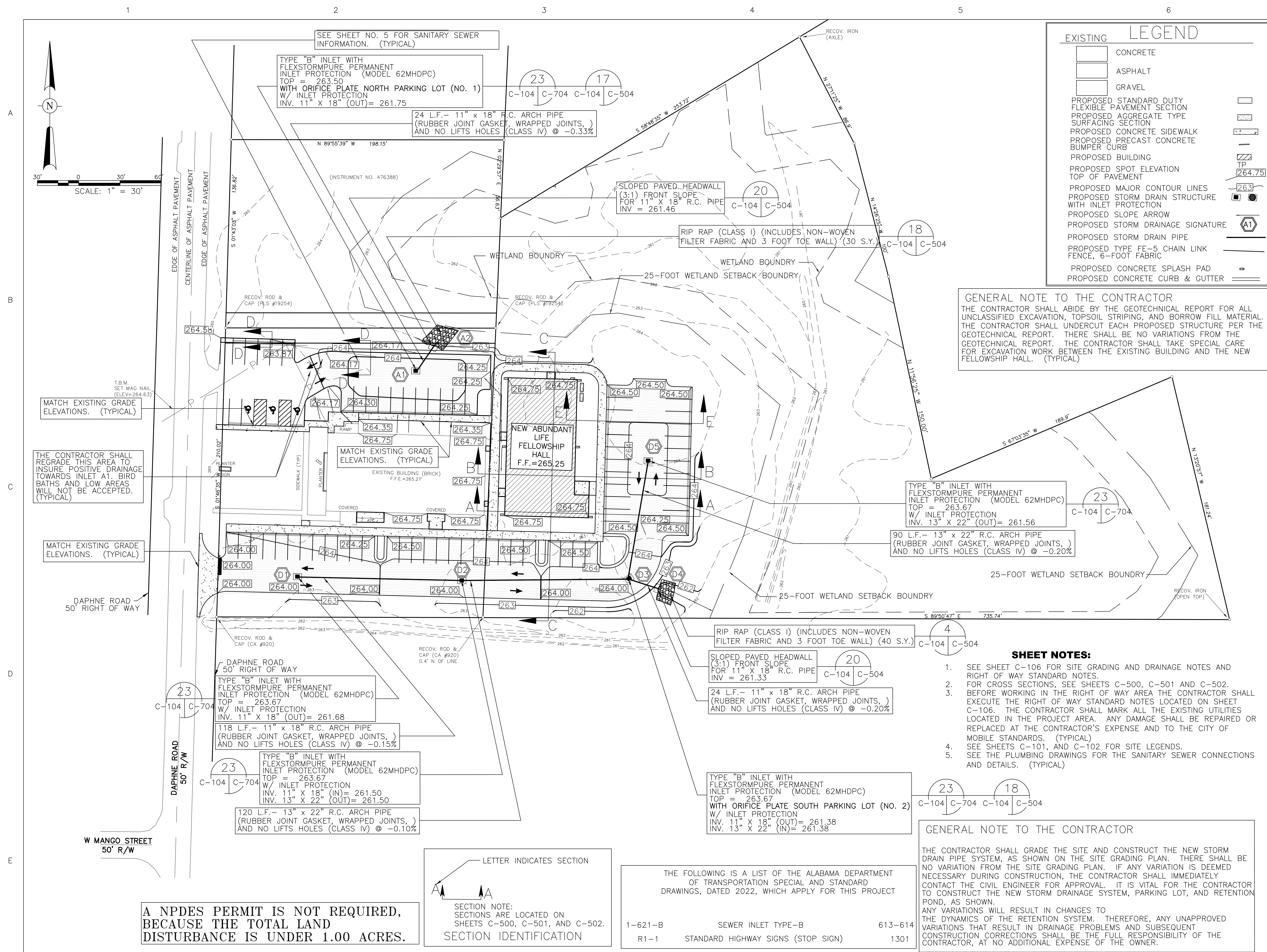
JOB NO. 2023-007
DATE: 2-15-24
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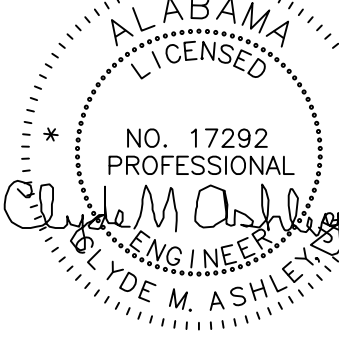
**C-102**









<div style="text-align: center;"> <b>GANT</b> GROUP &amp; ASSOCIATES LLC ARCHITECTURE, INTERIORS, CONSULTING</div>		
656 DAUPHIN ST. MOBILE, ALABAMA 36602 TELEPHONE: 251/377-8457		
<div style="text-align: center;"></div>		
CHURCH FELLOWSHIP HALL 541 DAPHNE RD., BAY MINETTE, ALABAMA, 36507		ALABAMA  BAY MINETTE
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SHEET TITLE <b>SITE GRADING PLAN</b>		
JOB NO. 2023-007		
DATE: 2-15-24		
DRAWN BY:		
CHECKED BY:		
SHEET		
<b>C-104</b>		







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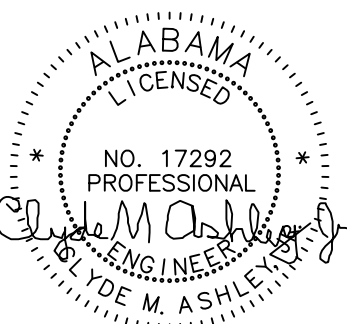
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D

## E



# CONCRETE DRIVEWAY DETAILS FOR ASPHALT ROADWAY WITHOUT



CHURCH FELLOWSHIP HALL  
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MINETTE, ALABAMA, 36507

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SHEET TITLE

**SITE DETAILS &  
SECTIONS**

JOB NO. 2023-007

DATE: 2-15-2024

DRAWN BY:

CHECKED BY:

SHEET

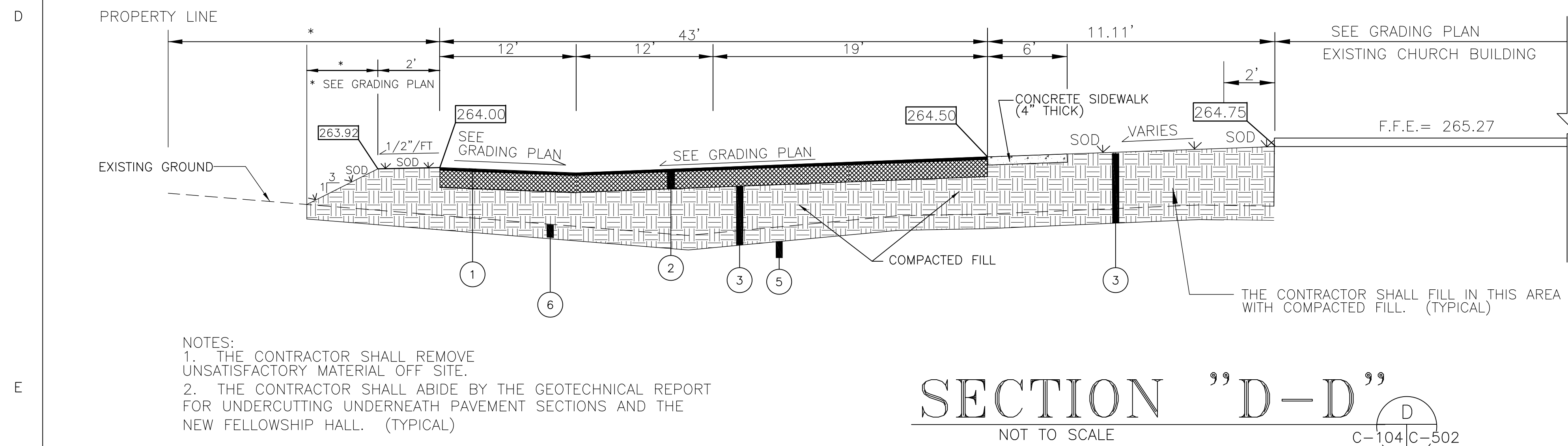
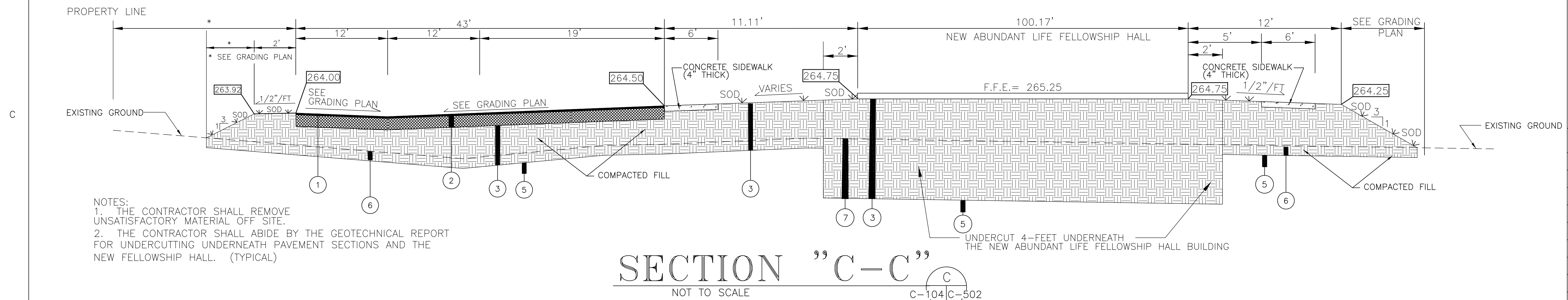
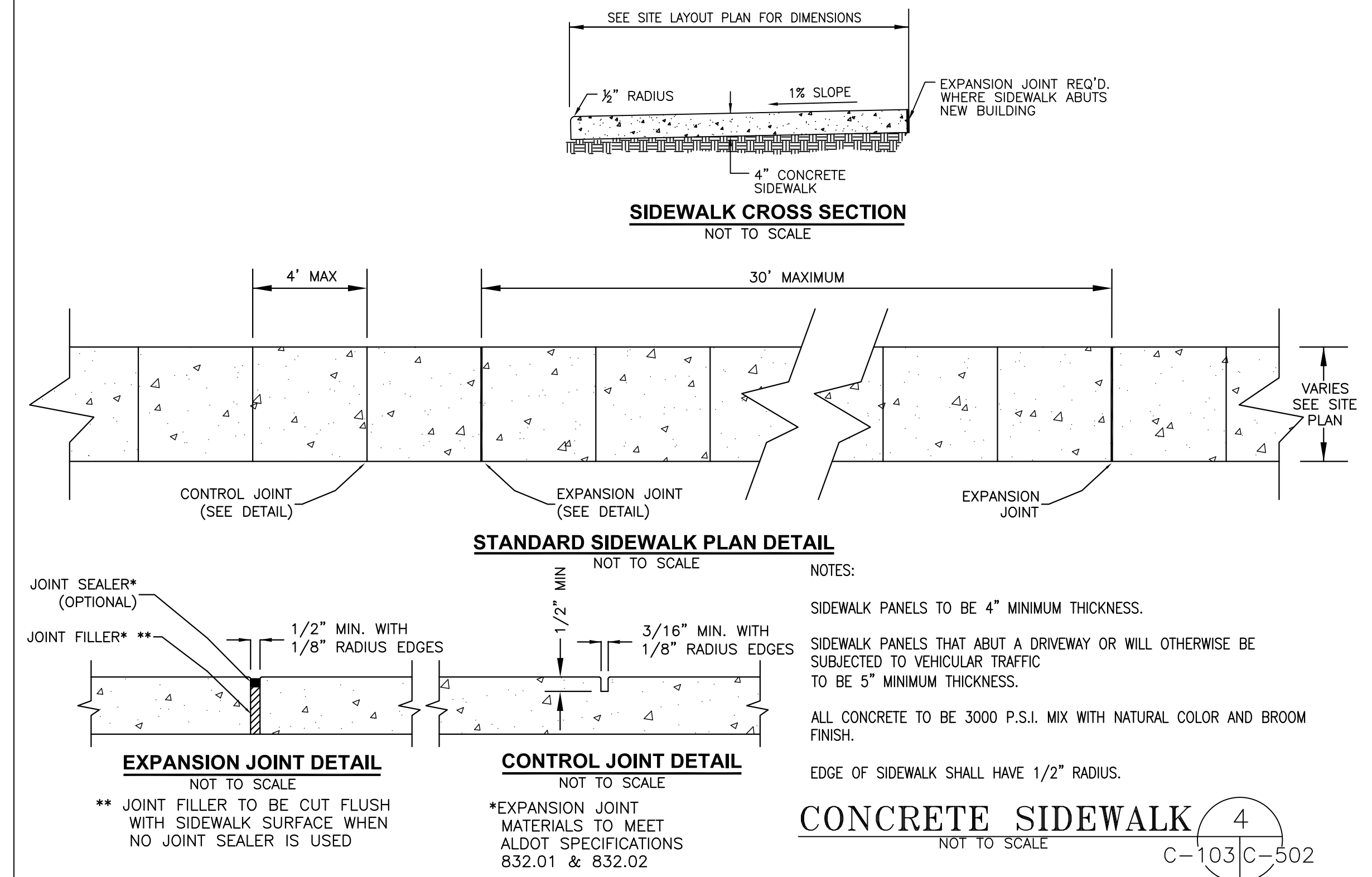
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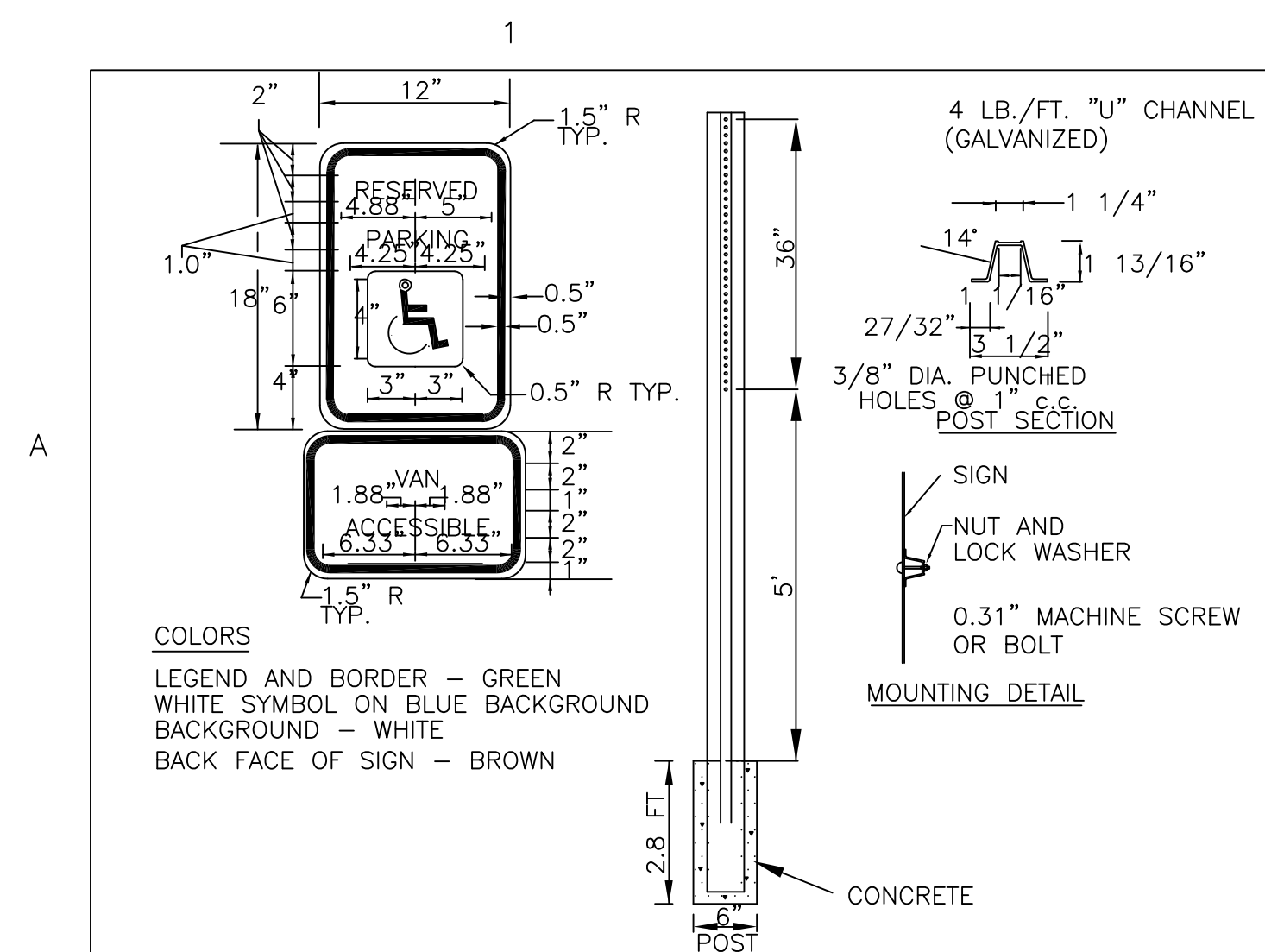




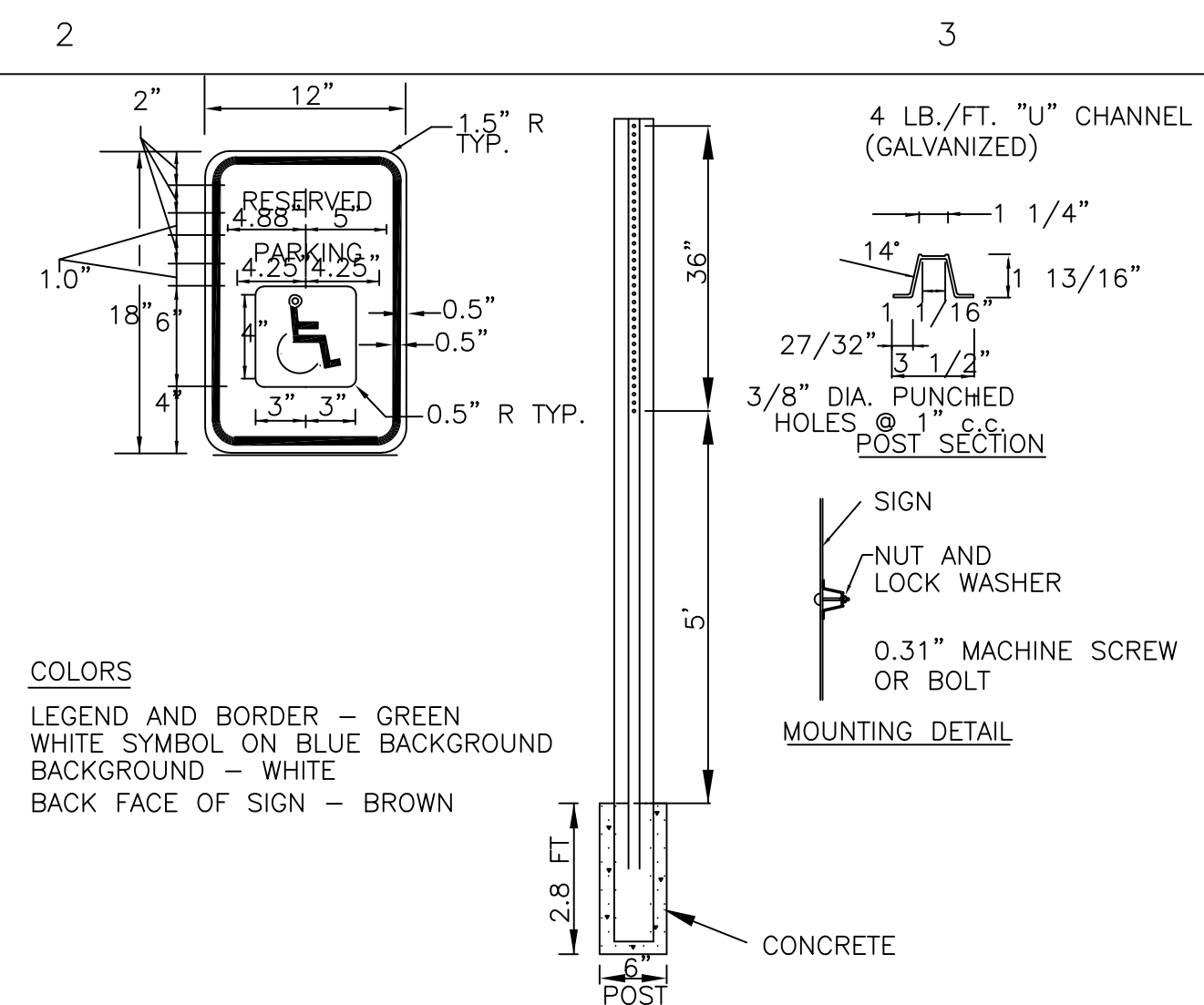
PROPOSED FLEXIBLE PAVEMENT MATERIALS LEGEND			
MATERIALS DESIGNATION	DESCRIPTION	THICKNESS REQ'D.	SEE DETAIL SHEET NO.
①	SUPERPAVE BITUMINOUS CONCRETE WEARING SURFACE LAYER 1/2" MAXIMUM AGGREGATE SIZE MIX ESAL RANGE D, APPROX. 167 POUNDS PER SQUARE YARD ITEM: 424-A-360	0.5 INCH	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
①	SUPERPAVE BITUMINOUS CONCRETE UPPER BINDER LAYER 1" MAXIMUM AGGREGATE SIZE MIX ESAL RANGE D, APPROX. 330 POUNDS PER SQUARE YARD ITEM: 424-B-651	1 INCHES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
②	CRUSHED AGGREGATE BASE COURSE, TYPE B PLANT MIXED, 8" COMPACTED THICKNESS, 100% COMPACTION OF AASHTO T-180 ITEM: 301-A-020	8 INCHES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
③	BORROW EXCAVATION [A-2-4(0) OR A-4(0)] ITEM: 210-D-012 COMPACT TO 98% COMPACTION ASTM D698	VARIES	SEE PROPOSED PAVEMENT SECTION ON THIS SHEET
④	UNDERCUT 18" UNDERNEATH ALL PAVEMENT SECTIONS	VARIES	
⑤	COMPACTED SUBGRADE	VARIES	
⑥	STRIPPING	7 INCHES	
⑦	UNDERCUT 4' UNDERNEATH ALL NEW BUILDING SECTIONS	VARIES	
⑪	UNCLASSIFIED EXCAVATION	VARIES	
***THESE SECTIONS ARE NOT FOR USE IN THE CITY OF BAY MINETTE RIGHT OF WAY (ROW).			



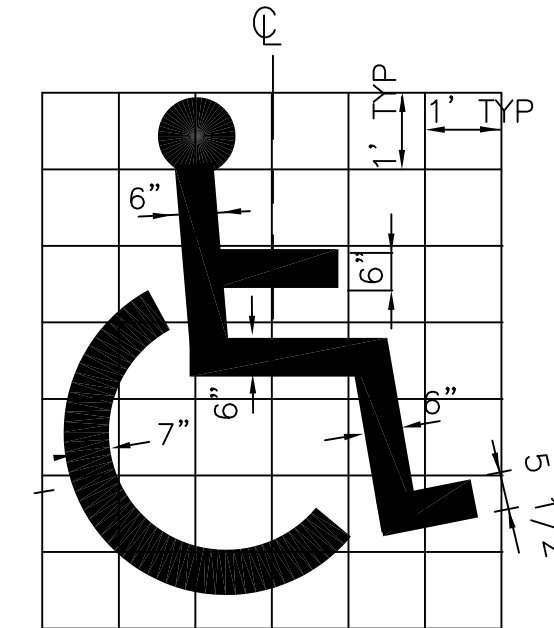




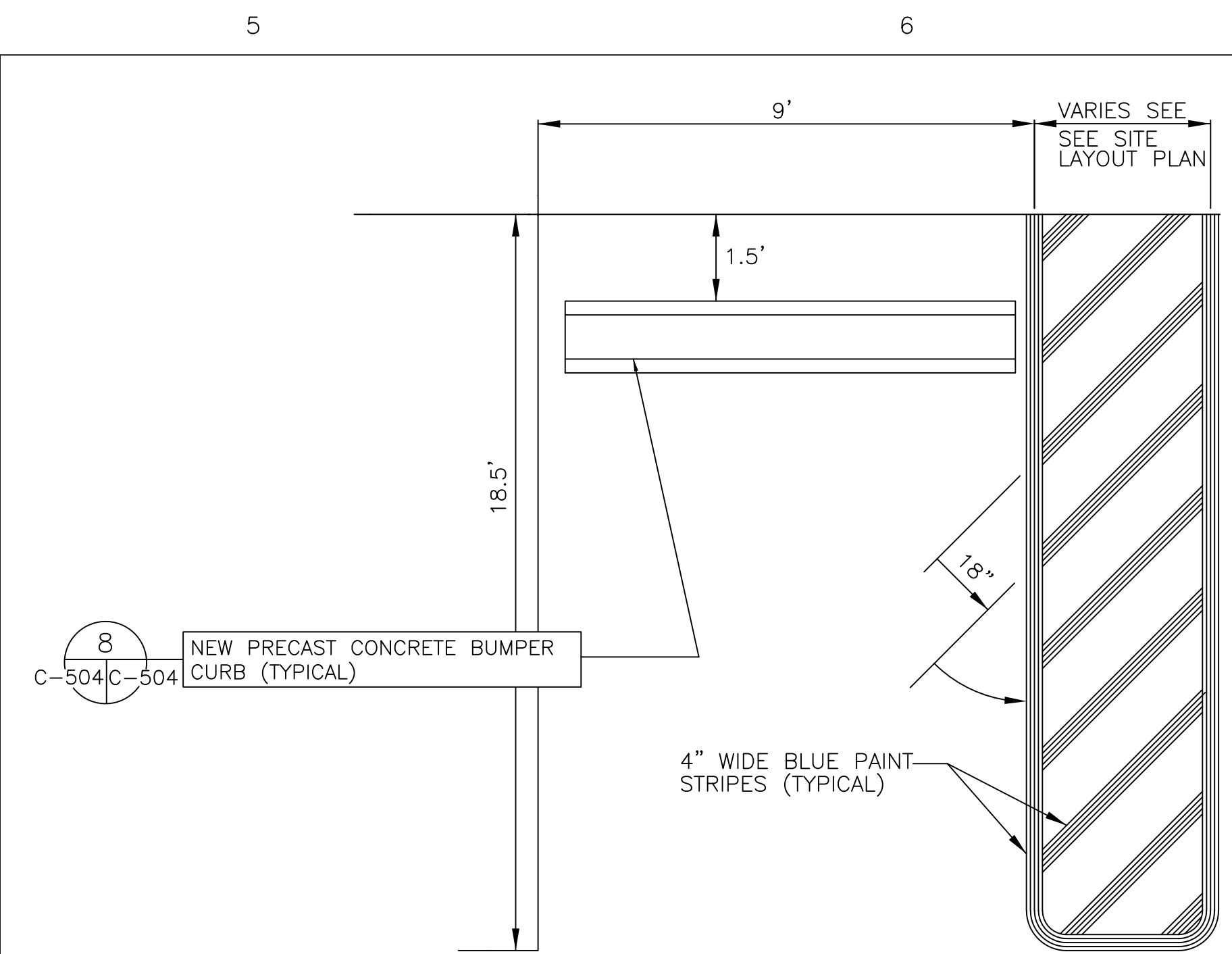
VAN HANDICAPPED PARKING  
SIGN & POST DETAIL (17)



## CAR HANDICAPPED PARKING SIGN & POST DETAIL



HANDICAPPED SYMBOL  
PAINT DETAIL  
NOT TO SCALE

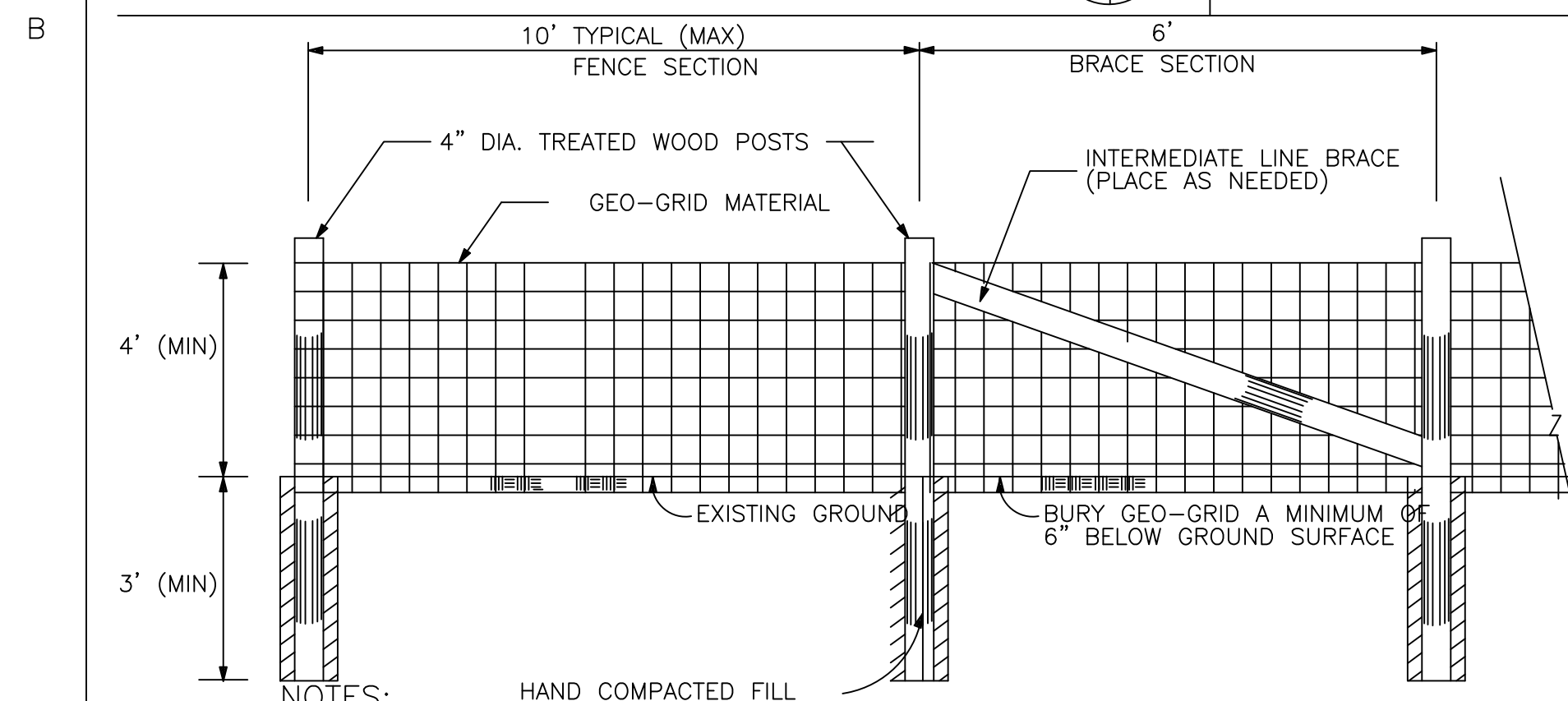


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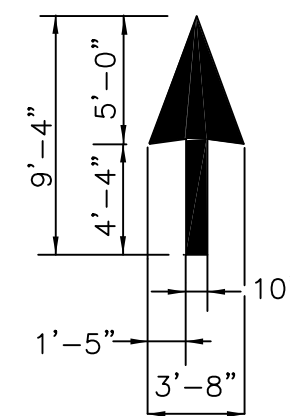
NOT TO SCALE

12

C-103 | C-503



- NOTES: HAND COMPACTED FILL
1. MAXIMUM HOLE SIZE IN GEO-GRID MATERIAL SHALL BE 12 SQUARE INCHES WITH A MAXIMUM DIMENSION OF 2 INCHES IN ANY ONE DIRECTION.
  2. GEOGRID SHALL BE FASTENED TO THE POSTS WITH NOT LESS THAN #9 WIRE STAPLES 1 1/2 INCHES LONG.
  3. THE TREE PROTECTION FENCE SHALL BE PLACED 5 FEET OUTSIDE THE TREE DRIP LINE.
  4. NO EXISTING TREES WERE PICKED UP BY THE SURVEY. TREE PROTECTION SHALL BE PUT IN PLACE BY THE CONTRACTOR, WHEN NEEDED. (TYPICAL)

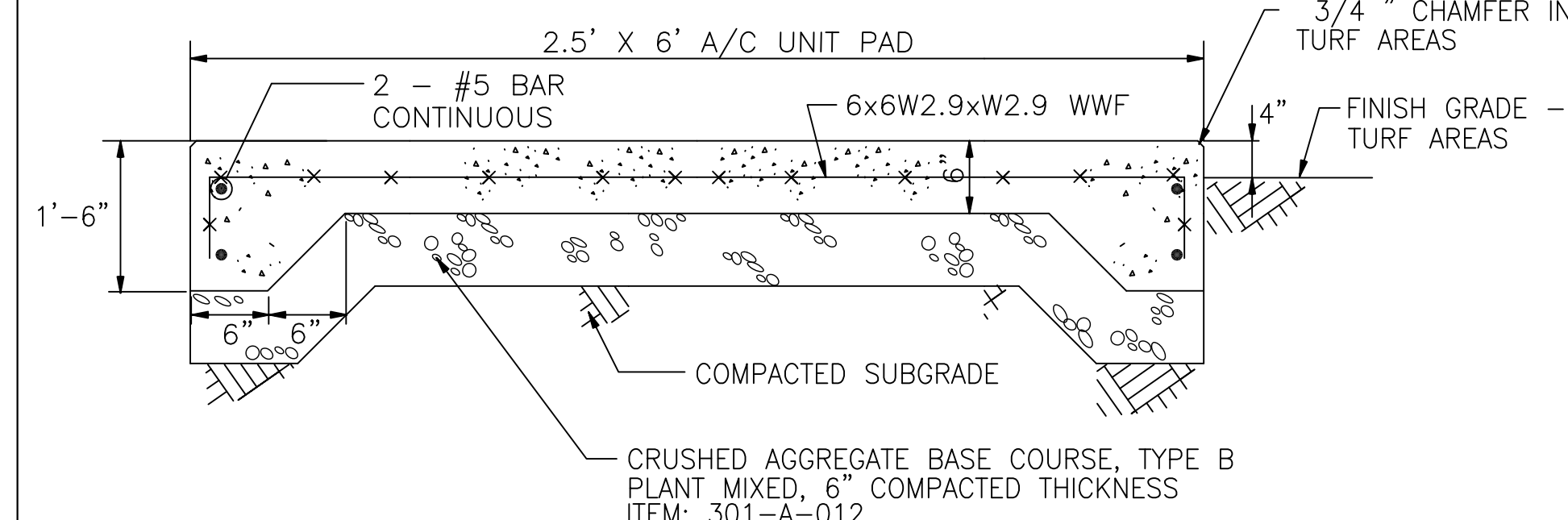


STRAIGHT AHEAD ONLY

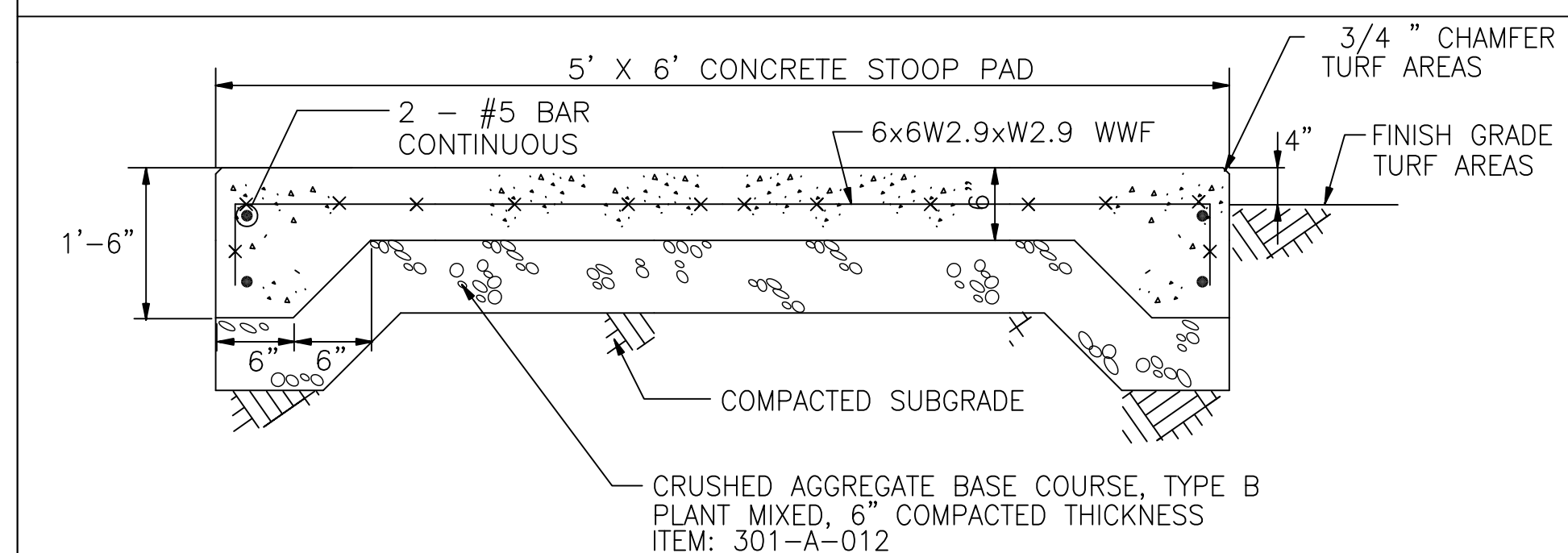
**PAINTED ARROW**

**DETAILS**

NOT TO SCALE C-103 C-503



A/C CONCRETE  
PAD DETAIL  
NOT TO SCALE



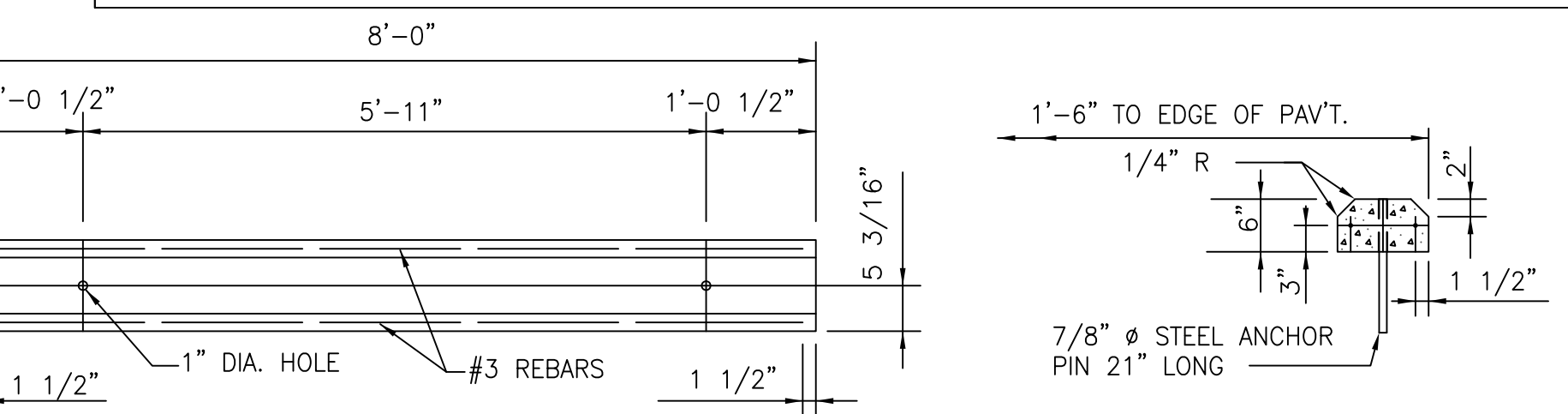
ITEM: 501-A-012

CONCRETE STOOP

DETAIL

NOT TO SCALE

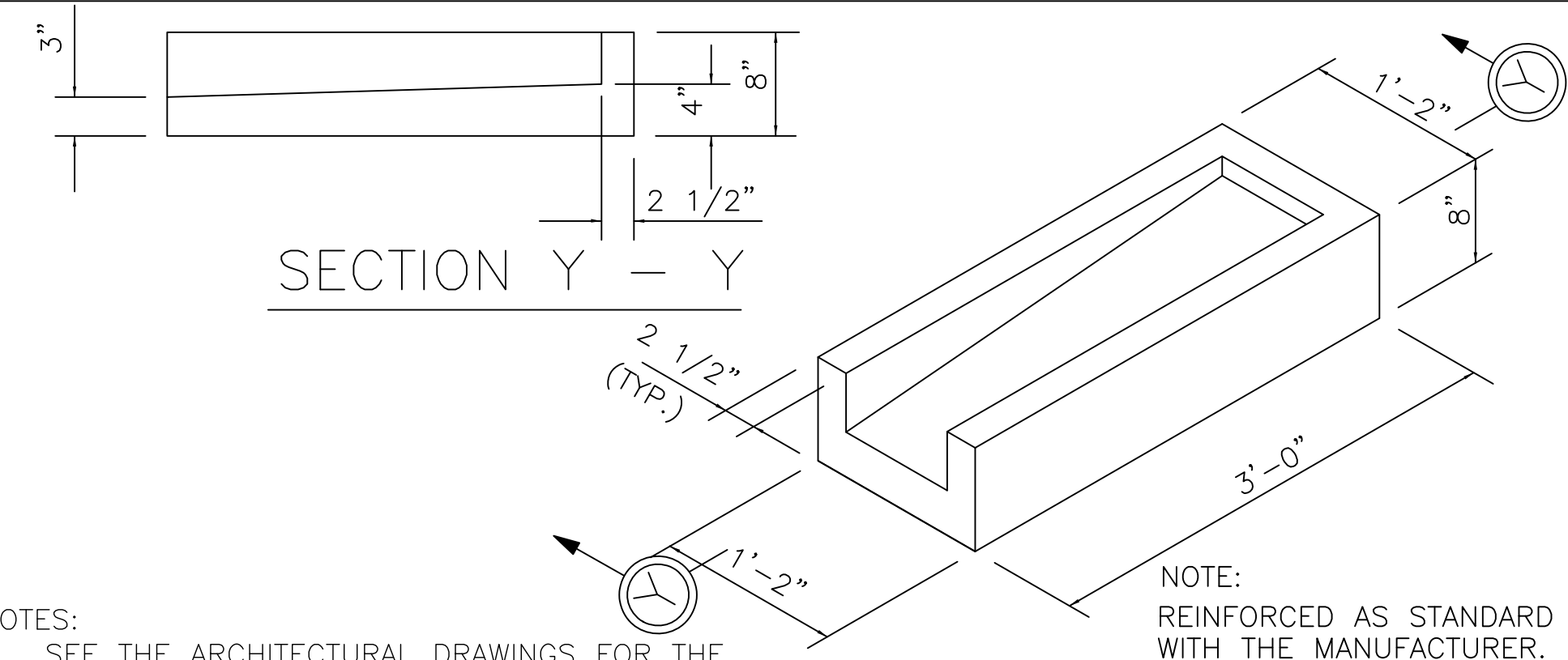
C-103 C-503



PRECAST CONCRETE BUMPER CURB

NOT TO SCALE

8  
C-103 C-503

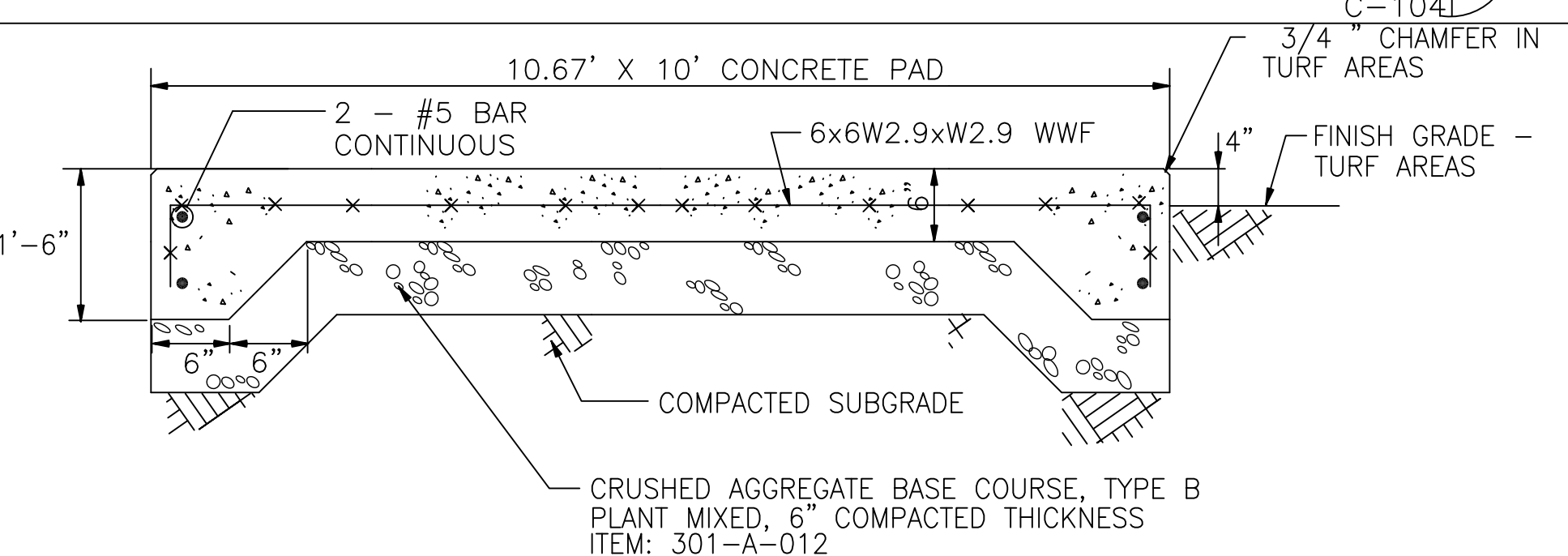


CONCRETE SPLASH BLOCK

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NOT TO SCALE

11  
C-103 | C-503




ITEM: S01-A-012

CONCRETE PAD

DETAIL

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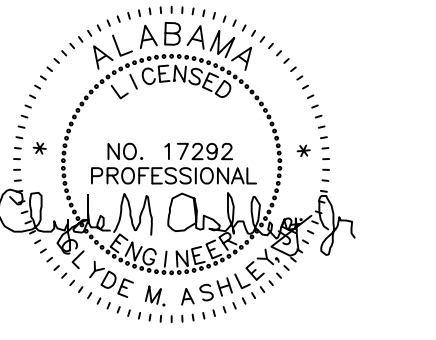
C-103 C-503



The diagram shows a cross-section of a concrete pad. A horizontal line represents the top surface of the pad. Below this line, there are two vertical lines representing reinforcement bars. The left bar is labeled 'C-103' and the right bar is labeled 'C-503'. The bars are shown as vertical lines with circular end caps. The concrete pad is represented by the area between the top surface line and the bottom of the bars.



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ALABAMA

DAI MINETIE

REVISIONS		
NO.	DATE	REMARKS

IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED ENGINEER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE THE RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION. ENGINEER REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN ON FIELD ADJUSTMENTS SHOULD THEY BE MADE ACCORDINGLY.

## SHEET TITLE

# SITE DETAILS

OB NO. 2023-007

ATE: 2/15/2024

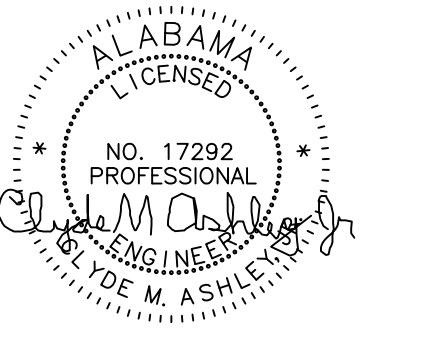
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CHECKED BY:

HEET

**C-503**





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BEST MANAGEMENT PRACTICES IMPLEMENTATION SCHEDULE

CONSTRUCTION SCHEDULING AND BEST MANAGEMENT PRACTICES (BMP) IMPLEMENTATION	
CONSTRUCTION ACTIVITY	B.M.P. CONSIDERATION
(1) CONSTRUCTION ACCESS. CONSTRUCTION ENTRANCE, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS.	INSTALL ALL CONTROL MEASURES PRIOR TO COMMENCING CONSTRUCTION WORK.
SEDIMENT BASINS, TRAPS, SEDIMENT FENCES, AND OUTLET PROTECTION.	CLEAR AND GRUB AREAS OF SITE OR WORK AREA SUFFICIENT TO INSTALL SEDIMENT BASINS, SILT FENCE, SITE BOUNDARY DITCHES (TEMPORARY AND PERMANENT) WHICH WILL DIRECT DRAINAGE TO BASINS. INSTALL OUTFLOW STRUCTURE AND OUTFLOW PIPE FOR PERMANENT BASIN. PROVIDE TEMPORARY OR PERMANENT SEEDING AS REQUIRED.
LAND CLEARING & GRUBBING, RUNOFF CONTROL, DIVERSIONS, PERIMETER DIKES, OUTLET PROTECTION	INSTALL KEY PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF-CONTROL MEASURES DURING GRADING.
RUNOFF CONVEYANCE SYSTEM. STABILIZE STREAMBANKS, STORM DRAINS, CHANNELS, INLET AND OUTLET PROTECTION, SLOPE DRAINS.	WHERE NECESSARY, STABILIZE STREAMBANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL RUNOFF CONVEYANCE SYSTEM WITH RUNOFF-CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
GRADING, SITE PREPARATION CUTTING, FILLING AND GRADING, SEDIMENT TRAPS, BARRIERS, DIVERSIONS, DRAIN, SURFACE ROUGHENING.	BEGIN GRADING AFTER PRINCIPAL SEDIMENT AND KEY RUNOFF-CONTROL MEASURES ARE INSTALLED. CLEAR BORROW AND DISPOSAL AREAS ONLY AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES.

CONSTRUCTION SCHEDULING AND BEST MANAGEMENT PRACTICES (BMP) IMPLEMENTATION	
CONSTRUCTION ACTIVITY	B.M.P. CONSIDERATION
SURFACE STABILIZATION. TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.
BUILDING CONSTRUCTION. BUILDINGS, UTILITIES, PAVING.	INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE.
LANDSCAPING AND FINAL STABILIZATION. TOPSOILING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	LAST CONSTRUCTION PHASE-STABILIZE ALL OPEN AREAS, INCLUDING BORROW AND SPOIL AREAS. REMOVE AND STABILIZE ALL TEMPORARY CONTROL MEASURES.
MAINTENANCE, (1) MAINTENANCE INSPECTIONS SHOULD BE PERFORMED WEEKLY, AND (2) AFTER PERIODS OF RAINFALL, MAINTENANCE REPAIRS SHOULD BE MADE IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR WATERING, FERTILIZING AND CUTTING ALL PERMANENT GRASS FROM PLANTING TO FINAL ACCEPTANCE.	



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BAY MINETTE ALABAMA

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SHEET TITLE  
SITE EROSION  
CONTROL  
DETAILS

JOB NO. 2023-007

DATE: 2-15-2024

DRAWN BY:

CHECKED BY:

SHEET

C-700



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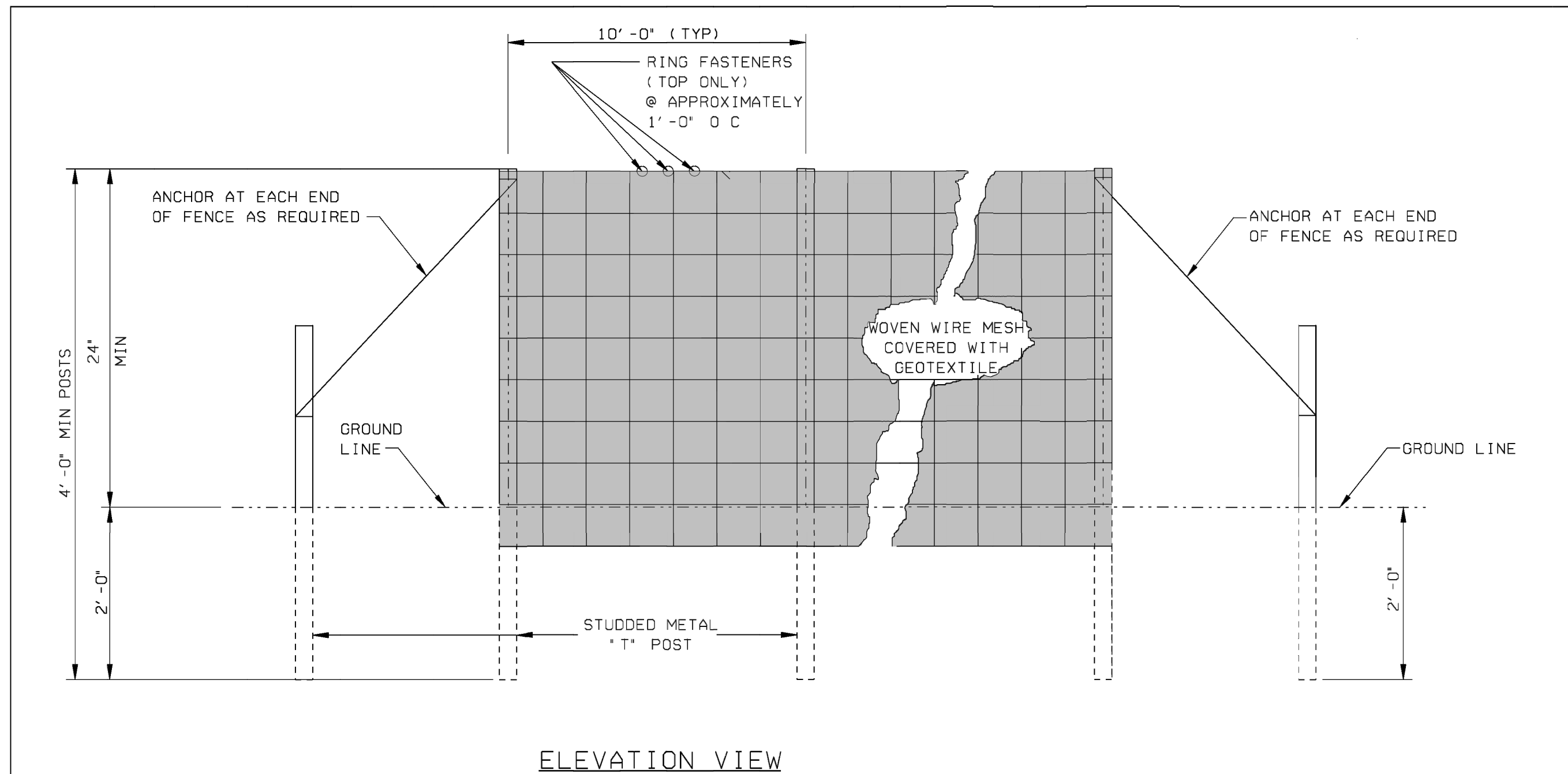
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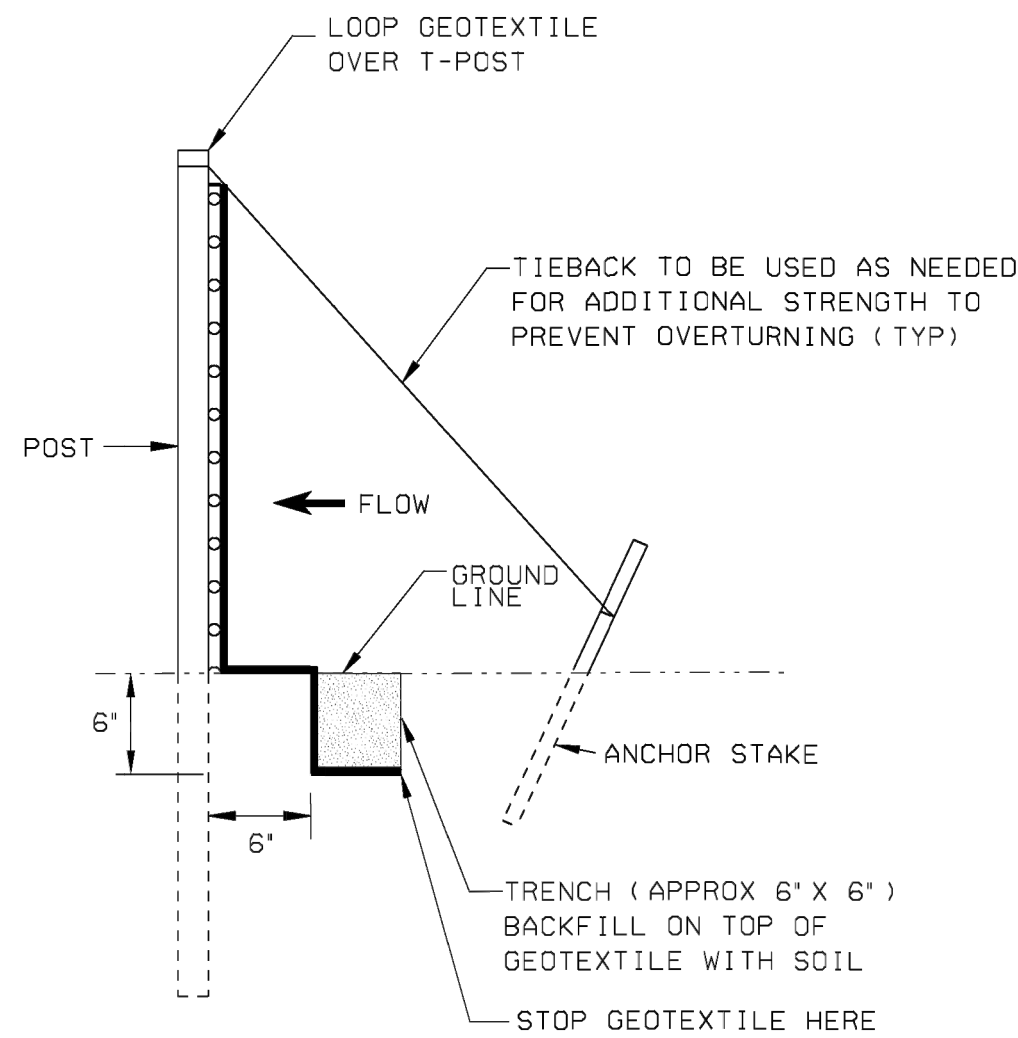
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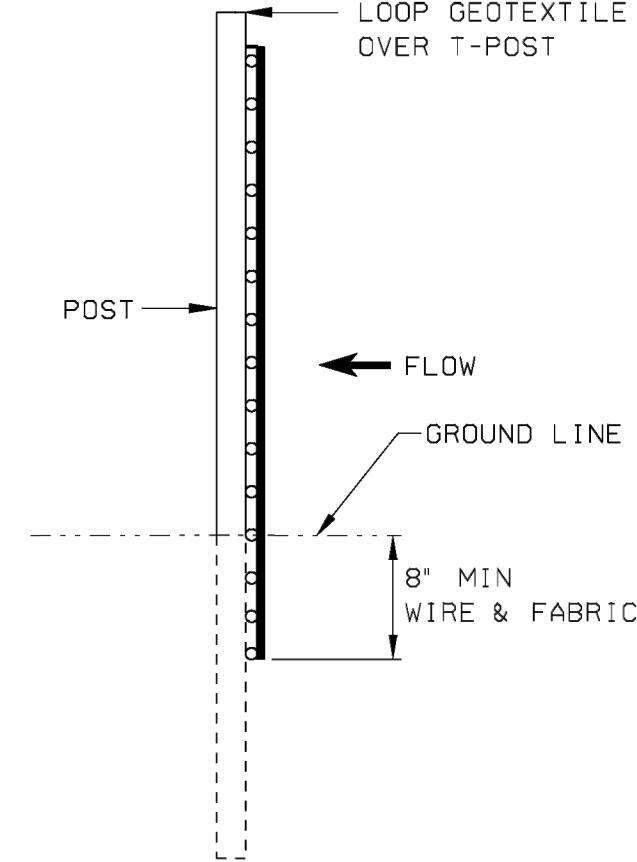


ELEVATION VIEW

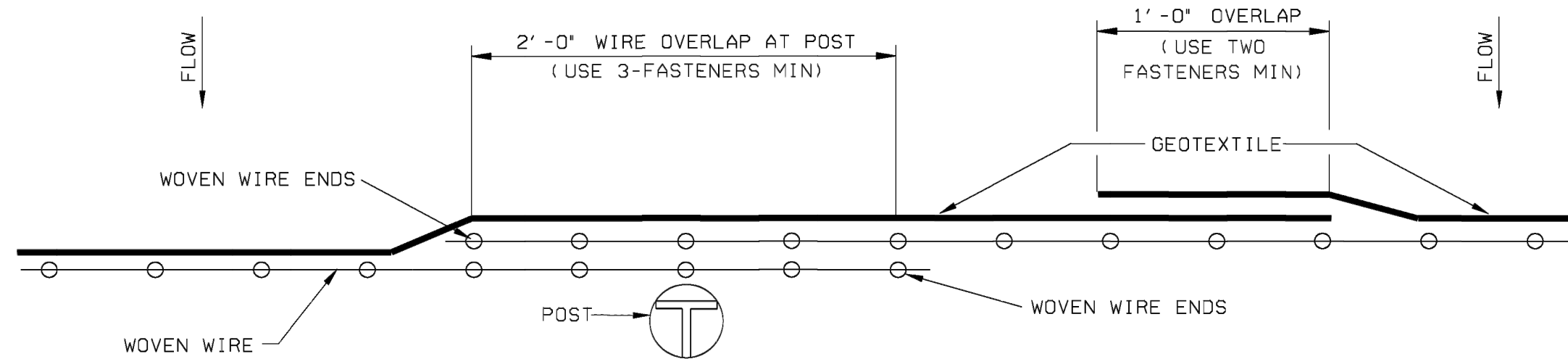


METHOD I

SIDE VIEW



METHOD II  
MECHANICAL INSTALLATION

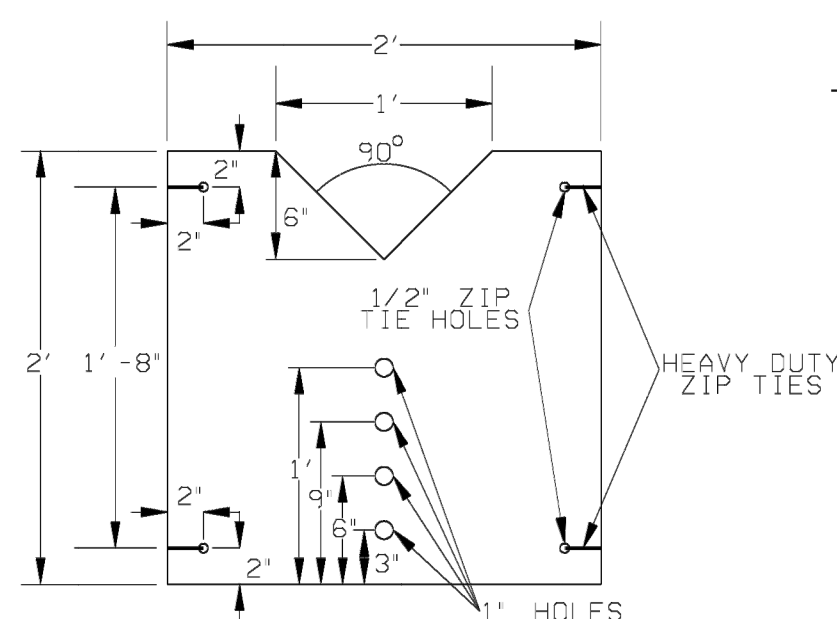


PLAN VIEW

REQUIRED LAPPING

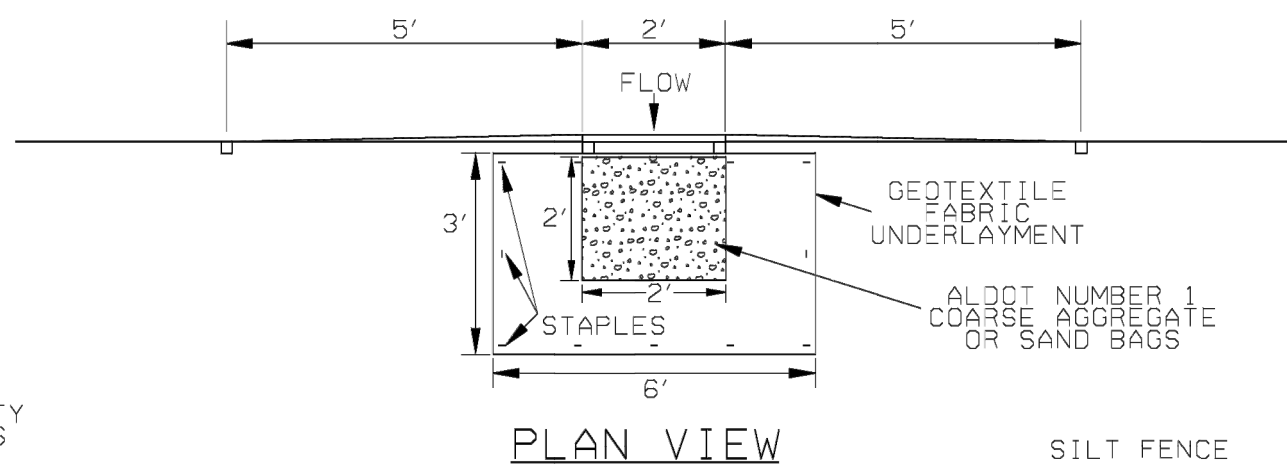
NOTES:

1. METHOD II FENCE INSTALLATION ALSO TO INCLUDE ANCHORS AND TIEBACKS AS REQUIRED.
2. SILT FENCE SHALL BE USED IN AREAS WHERE FLOW IS LOW TO MODERATE OR AS DIRECTED BY THE ENGINEER.
3. SILT FENCES ARE TEMPORARY SEDIMENT CONTROL ITEMS THAT SHALL BE ERECTED DOWN GRADE OF ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
4. SILT FENCE SHOULD BE PLACED WELL INSIDE RIGHT-OF-WAY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR ADDITIONAL BEST MANAGEMENT PRACTICES SUCH AS VEGETATED BUFFERS.
5. WHEREVER POSSIBLE SILT FENCES SHALL BE CONSTRUCTED ACROSS A LEVEL AREA IN THE SHAPE OF A SMILE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATE SEDIMENTATION.
6. FOR AREAS OF CONCENTRATED IMPOUNDMENT, T-POST SPACING SHOULD BE REDUCED TO 5 FT WITH THE INCORPORATION OF A DEWATERING WEIR.
7. THE CONTRACTOR MAY ELECT TO USE EITHER INSTALLATION METHOD I OR METHOD II.
8. METHOD II INSTALLATION SHALL BE ACCOMPLISHED USING AN IMPLEMENT THAT IS MANUFACTURED FOR THE APPLICATION AND PROVIDES A CONFIGURATION MEETING THE REQUIREMENTS OF THE DETAIL.
9. SEE ALDOT LIST II-3 FOR APPROVED SILT FENCE GEOTEXTILES.
10. THE DEWATERING WEIR AND ALL ASSOCIATED ITEMS AND LABOR SHALL BE A SUBSIDIARY OBLIGATION OF THE SILT FENCE.

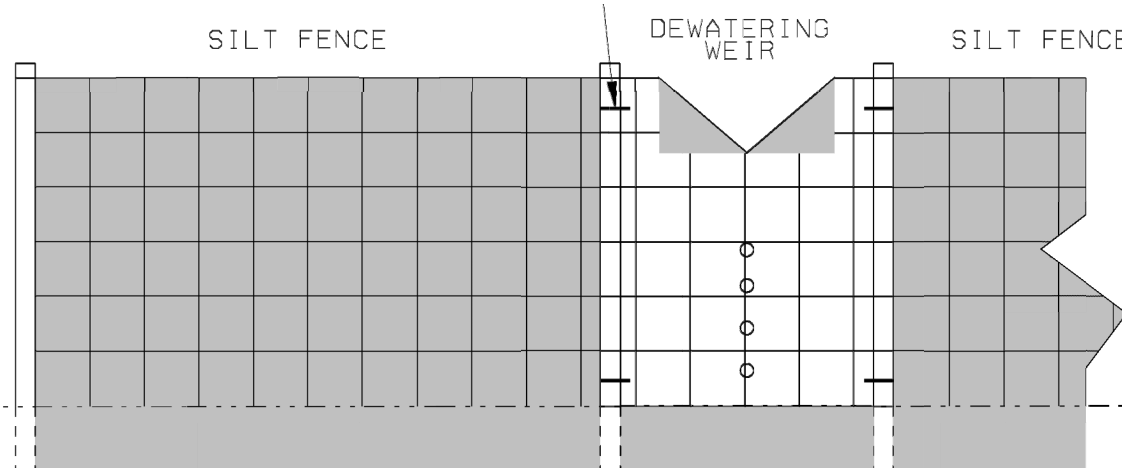


WEIR DETAIL

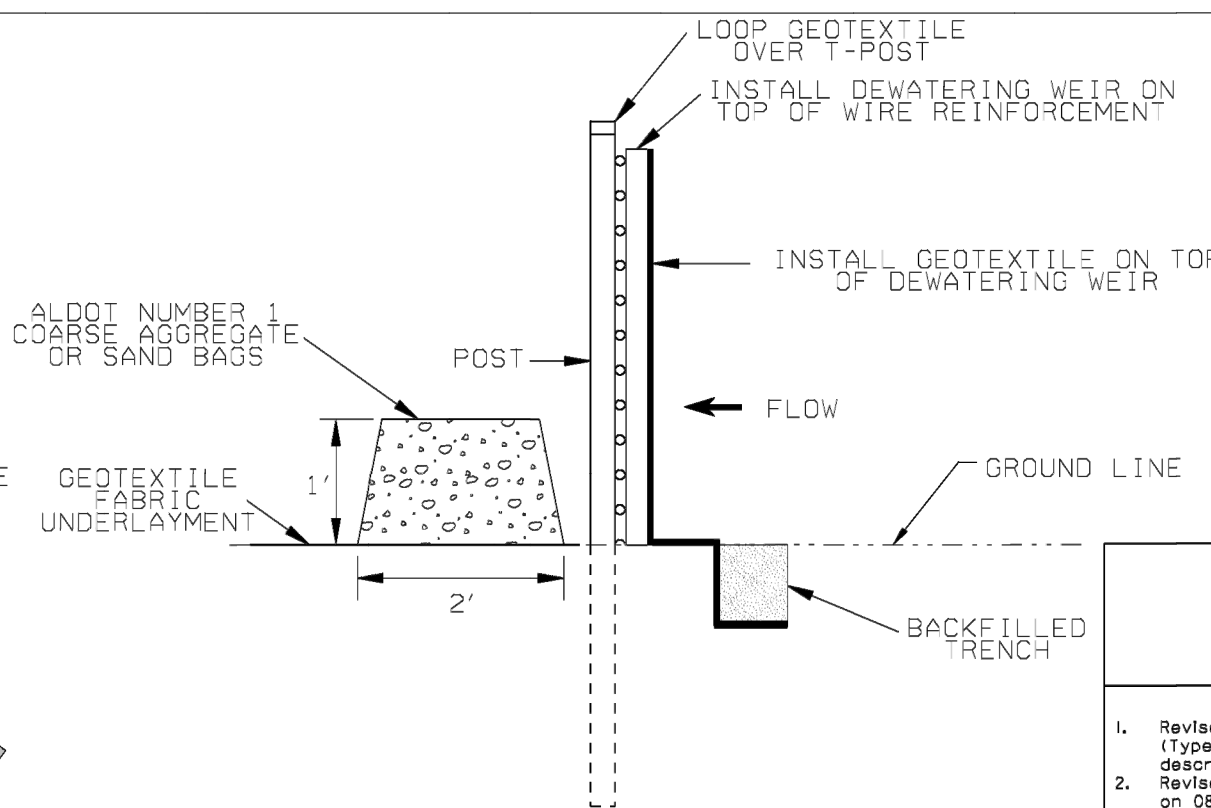
CONSTRUCTED OF 3/4" PLYWOOD



PLAN VIEW



ELEVATION (DOWNSTREAM) VIEW



SIDE VIEW

REFERENCE		
PROJECT NO	FISCAL YEAR	SHEET NO

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NO.	DATE	REMARKS

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**SHEET TITLE**

**SITE EROSION CONTROL DETAILS**

**DETAILS OF SILT FENCE INSTALLATION**

Bureau Sdt Engrs. <i>Dadwll</i>	SPECIAL DRAWING NO	INDEX NO
DRAWN BY: _____ DATE DRAWN: 2005	ESC-200-4	66508

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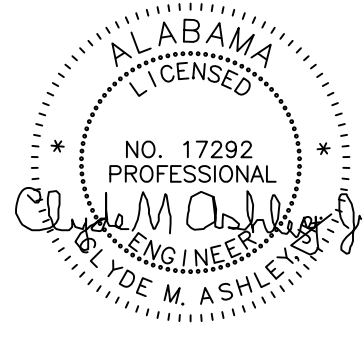
DETAILS OF SILT FENCE INSTALLATION

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20  
C-101  
C-105  
C-701



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REVISIONS

NO.	DATE	REMARKS

JOB NO. 2023-007

DATE: 2-15-2024

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C-701



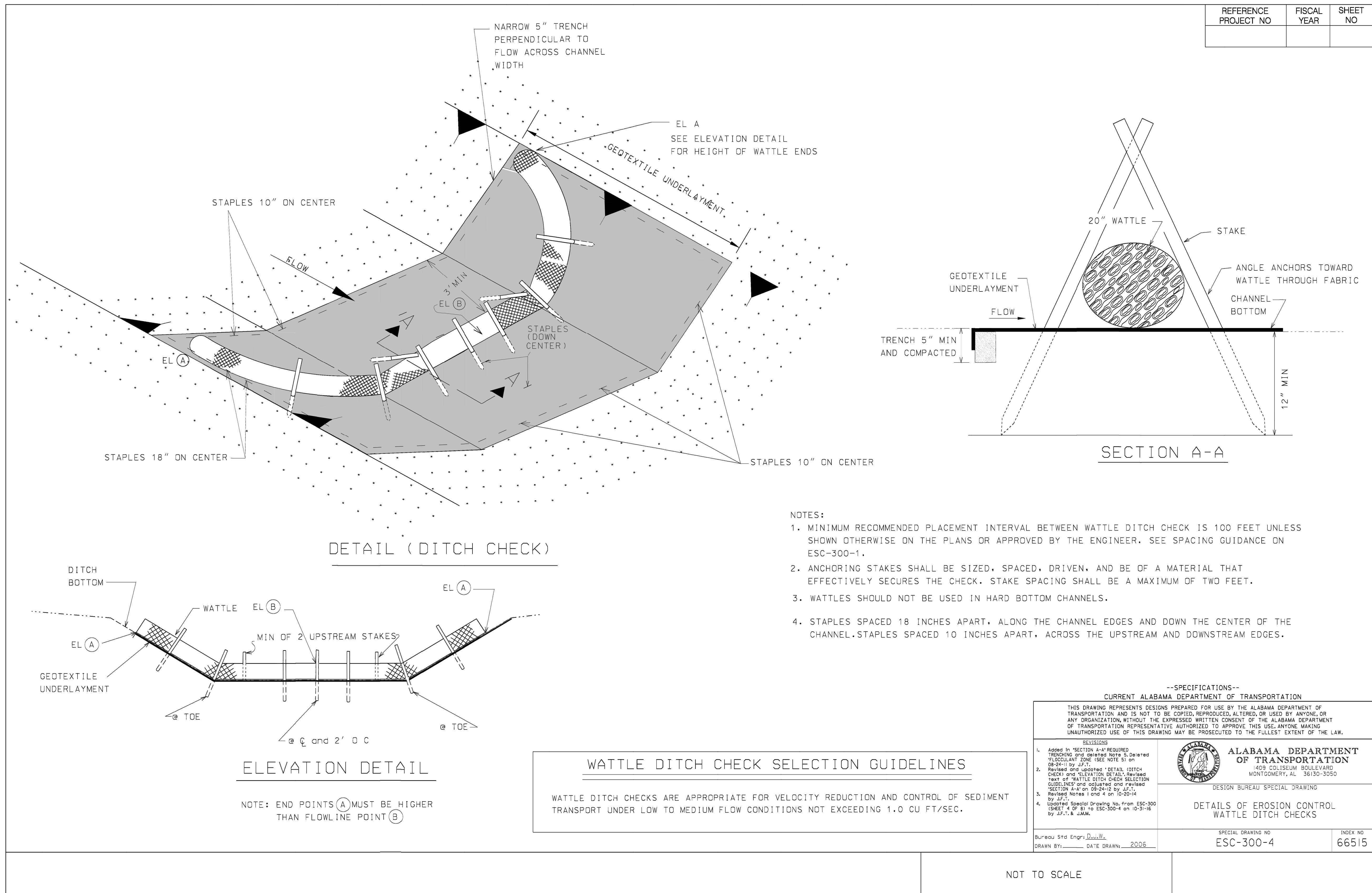
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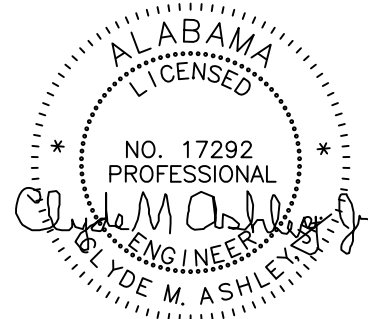
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SHEET TITLE  
**SITE EROSION  
CONTROL  
DETAILS**

JOB NO. 2023-007

DATE: 2-15-2024

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C-105  
C-702



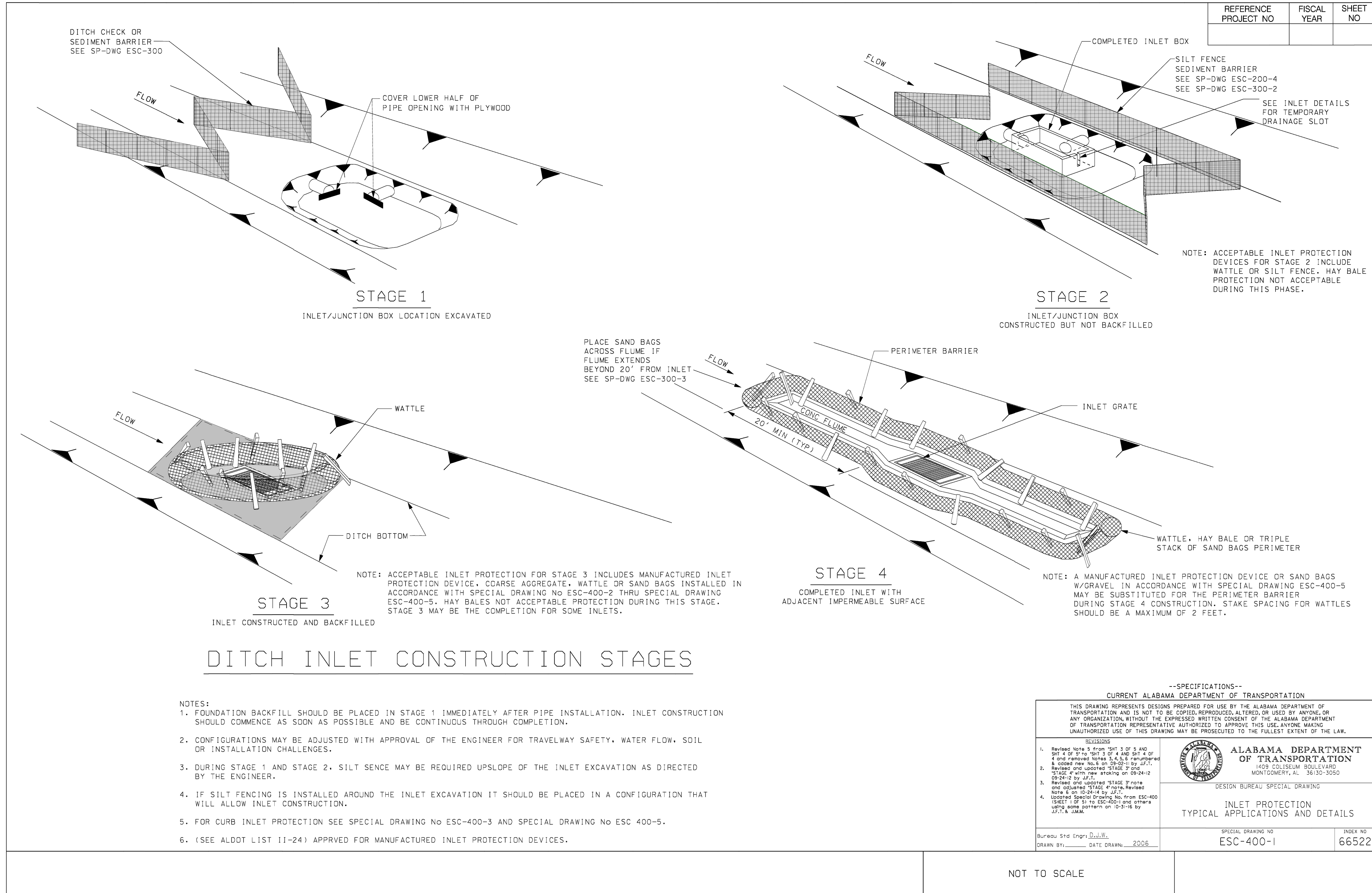
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SHEET TITLE  
**SITE EROSION  
CONTROL  
DETAILS**

JOB NO. 2023-007

DATE: 2-15-2024

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**C-703**



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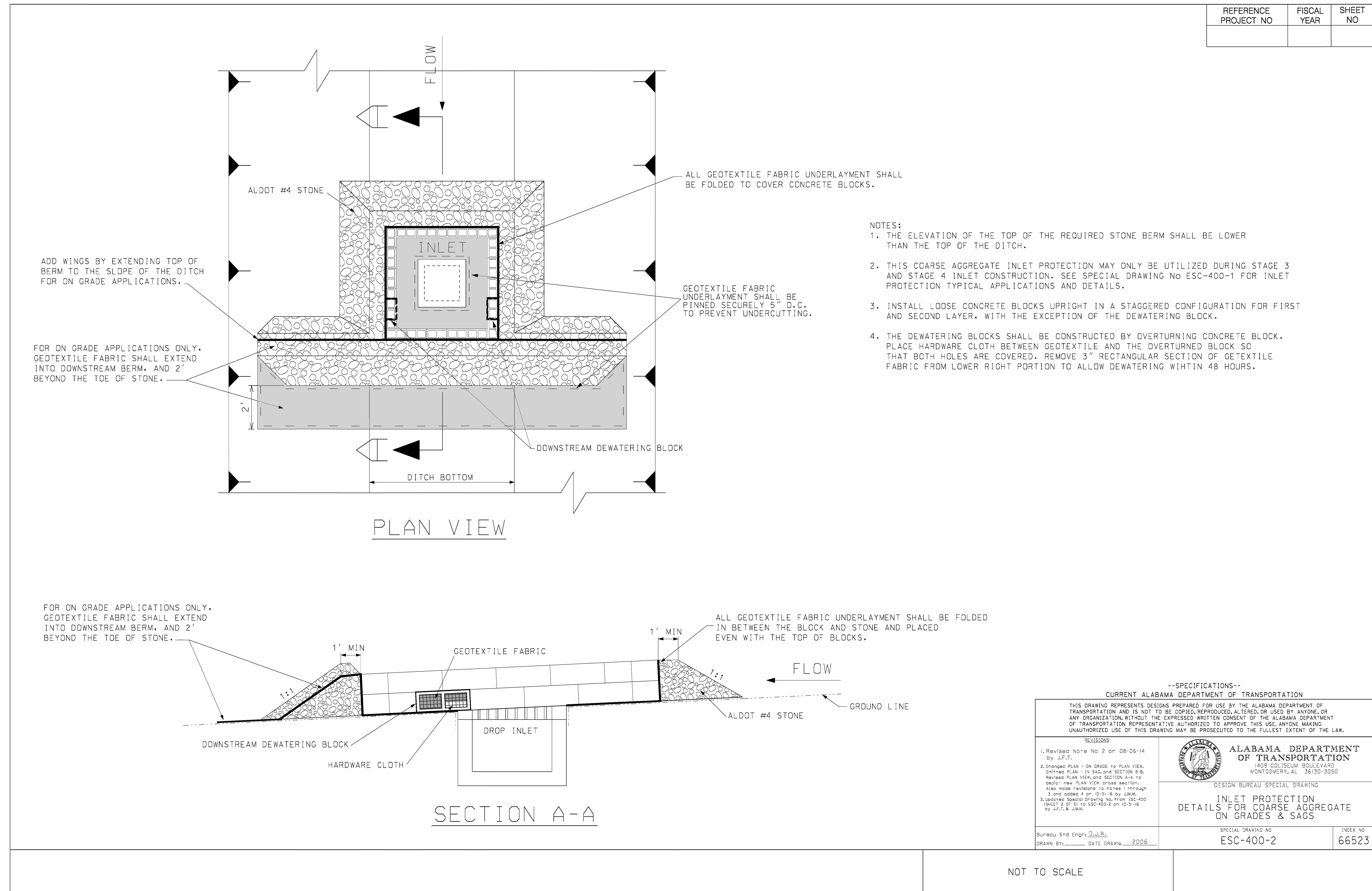
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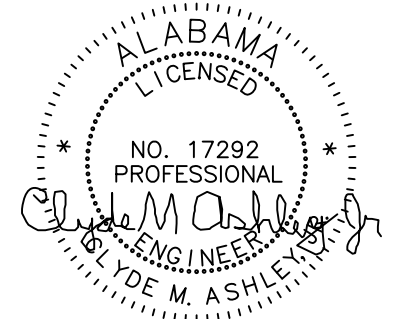
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## INLET PROTECTION DETAILS

NOT TO SCALE

23  
C-101  
C-105  
C-704656 DAUPHIN ST.  
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TELEPHONE: 251/377-8457CHURCH FELLOWSHIP HALL  
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## REVISIONS

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SHEET TITLE  
SITE EROSION  
CONTROL  
DETAILS

JOB NO. 2023-007

DATE: 2-15-2024

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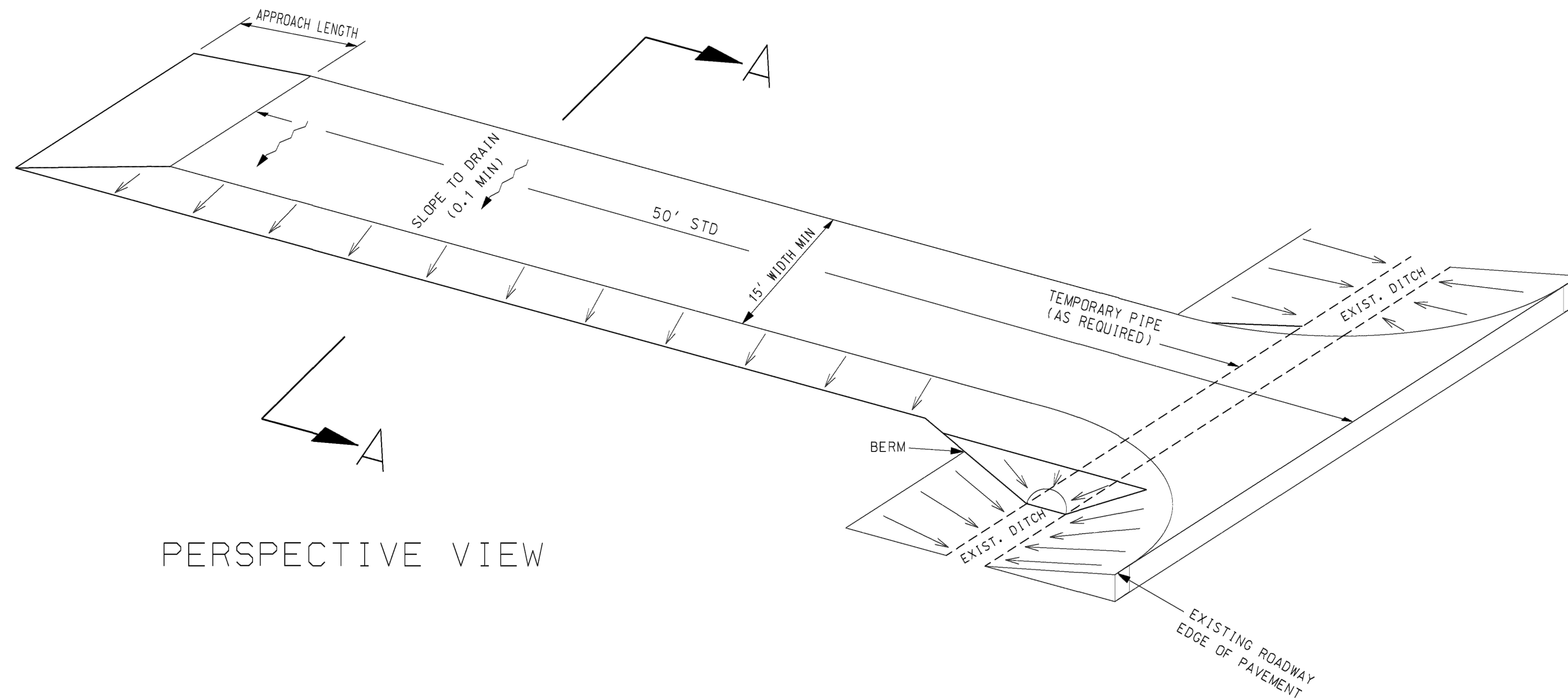
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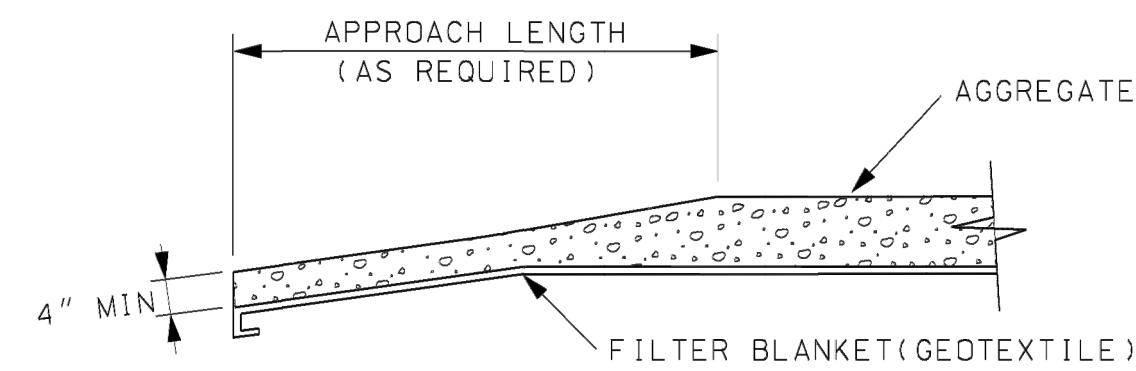
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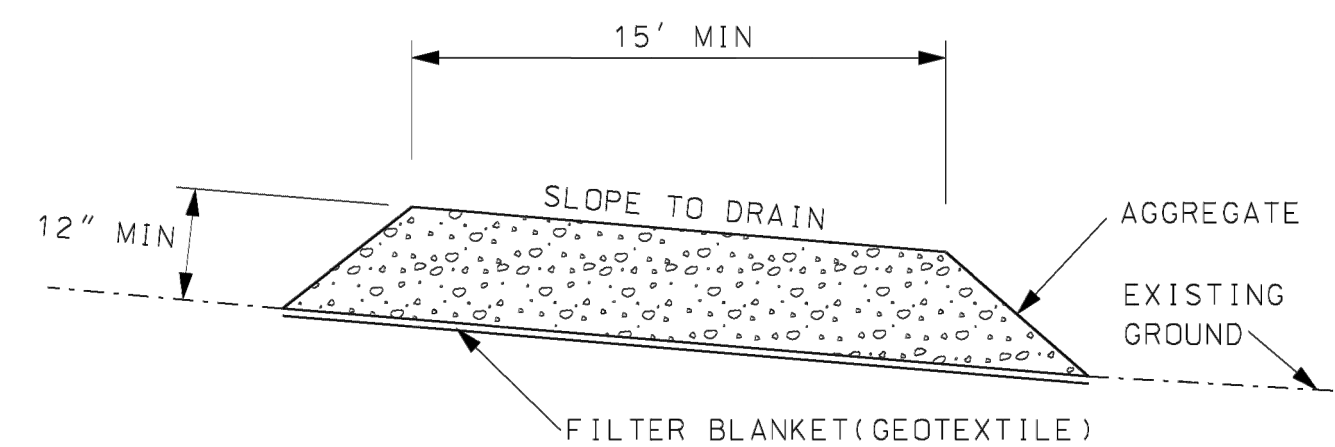
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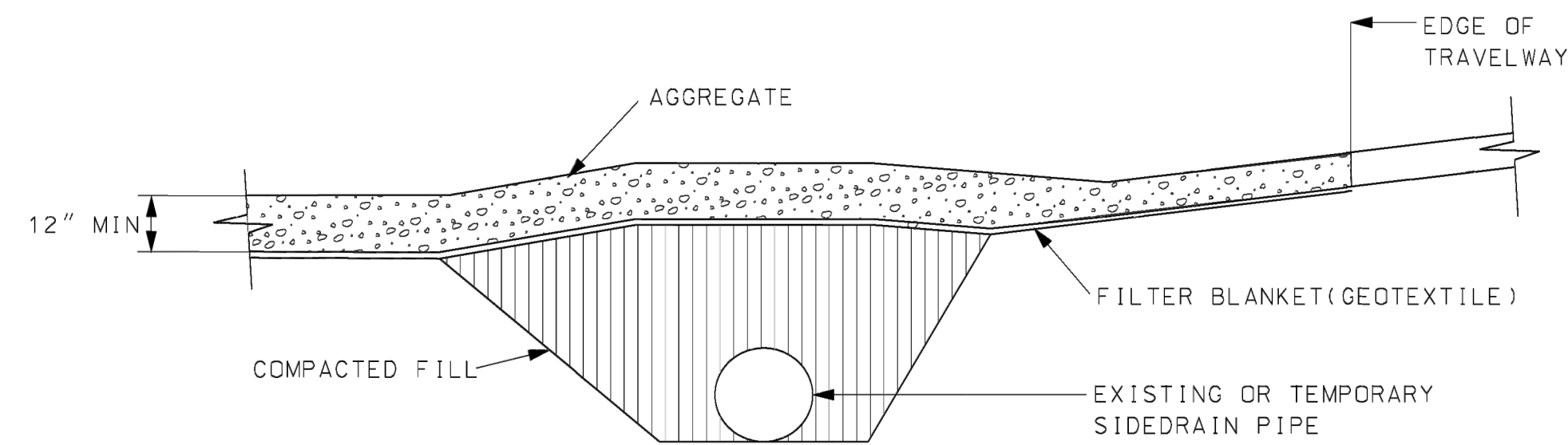
PERSPECTIVE VIEW



TRANSITION DETAIL



SECTION A-A



RURAL CONNECTION DETAIL

## NOTES:

1. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT LOCATIONS SHOWN ON THE EROSION SEDIMENT CONTROL SHEETS OR AS APPROVED BY THE ENGINEER BASED ON SAFETY, ECONOMY AND CONSTRUCTION SEQUENCE. THESE ENTRANCES ARE POINTS OF EGRESS FROM UNSTABILIZED AREAS OF THE PROJECT TO PUBLIC ROADS WHERE OFFSITE TRACKING OF MUD COULD OCCUR. TRAFFIC FROM UNSTABILIZED AREAS OF THE PROJECT SHALL BE DIRECTED THRU THE STABILIZED ENTRANCE. BARRIERS, FLAGGING, OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT AND DIRECT VEHICULAR EGRESS ACROSS THE STABILIZED ENTRANCE.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED AND APPROVED BY THE ENGINEER PRIOR TO IT'S USE.
3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STABILIZED CONSTRUCTION ENTRANCE AGGREGATE AND CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER.
4. AGGREGATES SHALL BE ALDOT SIZE #1. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL TRACK OFF THE PROJECT AND ARE UNSUITABLE.
5. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM IT'S FUNCTION TO PREVENT OFFSITE TRACKING. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE RINSED WHEN NECESSARY TO MOVE ACCUMULATED MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STABILIZED ENTRANCE MAY BE REQUIRED TO LIMIT THE MUD TRACKED.
6. THE NOMINAL SIZE OF A STANDARD STABILIZED CONSTRUCTION ENTRANCE IS 15' X 50' UNLESS OTHERWISE SHOWN IN THE PLANS. IF THE VOLUME OF ENTERING AND EXITING VEHICLES WARRANT, A 30' WIDTH MAY BE USED IF APPROVED BY THE ENGINEER.

REFERENCE PROJECT NO	FISCAL YEAR	SHEET NO

NOT TO SCALE

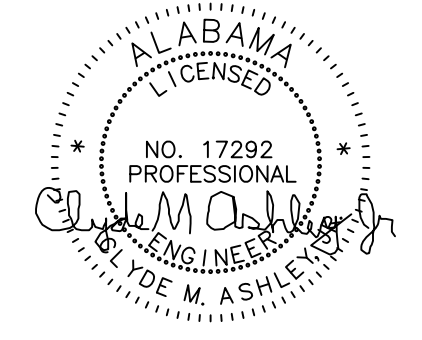
## STABILIZED CONSTRUCTION PAD

NOT TO SCALE

24  
C-101 C-704  
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ALABAMA

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## REVISIONS

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SHEET TITLE  
SITE EROSION  
CONTROL  
DETAILS

JOB NO. 2023-007

DATE: 2-15-2024

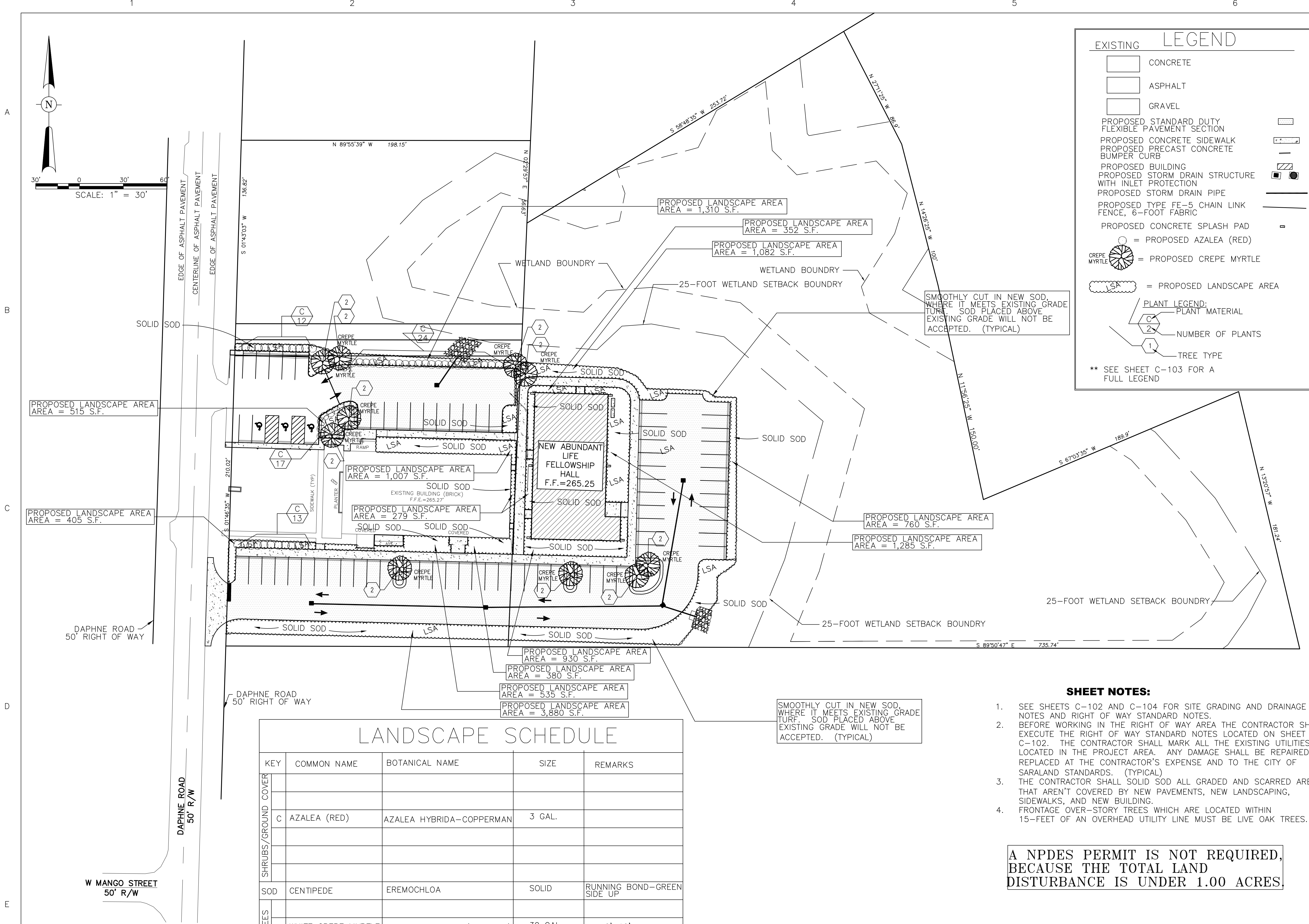
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CHECKED BY:

SHEET

C-705





EXISTING

LEGEND

CONCRETE

ASPHALT

GRAVEL

PROPOSED STANDARD DUTY FLEXIBLE PAVEMENT SECTION

PROPOSED CONCRETE SIDEWALK

PROPOSED PRECAST CONCRETE BUMPER CURB

PROPOSED BUILDING

PROPOSED STORM DRAIN STRUCTURE WITH INLET PROTECTION

PROPOSED STORM DRAIN PIPE

PROPOSED TYPE FE-5 CHAIN LINK FENCE, 6-FOOT FABRIC

PROPOSED CONCRETE SPLASH PAD

PROPOSED AZALEA (RED)

PROPOSED CREPE MYRTLE

PROPOSED LANDSCAPE AREA

PLANT LEGEND:

PLANT MATERIAL

NUMBER OF PLANTS

TREE TYPE

\*\* SEE SHEET C-103 FOR A FULL LEGEND

LANDSCAPE SCHEDULE				
KEY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SHRUBS/GROUND COVER				
	C AZALEA (RED)	AZALEA HYBRIDA-COPPERMAN	3 GAL.	
SOD	CENTIPEDE	EREMOCHLOA	SOLID	RUNNING BOND-GREEN SIDE UP
TREES				
	2 WHITE CREPE MYRTLE	LAGERSTROEMIA X 'NATCHEZ'	30 GAL.	6'-10'

- SHEET NOTES:
- SEE SHEETS C-102 AND C-104 FOR SITE GRADING AND DRAINAGE NOTES AND RIGHT OF WAY STANDARD NOTES.

BEFORE WORKING IN THE RIGHT OF WAY AREA THE CONTRACTOR SHALL EXECUTE THE RIGHT OF WAY STANDARD NOTES LOCATED ON SHEET C-102. THE CONTRACTOR SHALL MARK ALL THE EXISTING UTILITIES LOCATED IN THE PROJECT AREA. ANY DAMAGE SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND TO THE CITY OF SARALAND STANDARDS. (TYPICAL)

THE CONTRACTOR SHALL SOLID SOD ALL GRADED AND SCARRED AREAS THAT AREN'T COVERED BY NEW PAVEMENTS, NEW LANDSCAPING, SIDEWALKS, AND NEW BUILDING.

FRONTAGE OVER-STORY TREES WHICH ARE LOCATED WITHIN 15- FEET OF AN OVERHEAD UTILITY LINE MUST BE LIVE OAK TREES.

A NPDES PERMIT IS NOT REQUIRED, BECAUSE THE TOTAL LAND DISTURBANCE IS UNDER 1.00 ACRES.



656 DAUPHIN ST.  
MOBILE, ALABAMA 36602  
TELEPHONE: 251/377-8457



CHURCH FELLOWSHIP HALL  
541 DAPHNE RD., BAY  
MINETTE, ALABAMA, 36507

ALABAMA  
BAY MINETTE

REVISIONS		
NO.	DATE	REMARKS

IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE SUFFICIENT INFORMATION TO THE EXPERIENCED BUILDER TO CONSTRUCT THE PROJECT SHOWN. IT IS THEREFORE HIS RESPONSIBILITY TO VERIFY ALL CONDITIONS, DIMENSIONS AND COMPLIANCE WITH ALL REGULATORY AGENCIES PRIOR TO CONSTRUCTION. THEIR REQUIREMENTS MUST TAKE PRECEDENCE OVER THOSE SHOWN AND FIELD ADJUSTMENTS SHOULD BE MADE ACCORDINGLY.

SHEET TITLE  
LANDSCAPE PLAN

JOB NO. 2023-007

DATE: 2-15-24

DRAWN BY:

CHECKED BY:

SHEET



GENERAL NOTES

- A
- B
- C
- D
- E
1. THE SITE WILL BE SERVED BY CURB SIDE SERVICE. THERE ARE NO PLANS AT THIS TIME FOR ANY CHANGES OR MODIFICATIONS.
2. SITE SHALL COMPLY WITH ARTICLE X OF THE GENERAL PROVISIONS OF THE CITY OF BAY MINETTE USE AND DEVELOPMENT ORDINANCE REGARDING ILLUMINATION OF USES AND ARRANGEMENT OF LIGHTS SO AS NOT TO SHINE DIRECTLY INTO TRAFFIC OR RESIDENTIAL PROPERTIES.
3. STORM WATER RETENTION SHALL BE PROVIDED IN THE STORM DRAIN PIPES AND ON TOP OF THE PAVEMENT SURFACES, AS SHOWN.
4. FRONTAGE OVER-STORY TREES WHICH ARE LOCATED WITHIN 15 FEET OF AN OVERHEAD UTILITY LINE MUST BE LIVE OAK TREES. THERE ARE NO PLANS FOR NEW WORK IN THE DAPHNE ROAD RIGHT OF WAY. NO TREES WILL BE ADDED.
5. FLOOD ZONES FROM ELEVATIONS AND THE FEDERAL INSURANCE ADMINISTRATION FIRM PANEL NUMBER 01003C0407 M DATED APRIL 19, 2019, THE PROPERTY HEREIN DESCRIBED IS LOCATED IN ZONE "X-UNSHADED".
6. ANY WORK PERFORMED IN THE EXISTING ROW (RIGHT-OF-WAY) SUCH AS DRIVEWAYS, SIDEWALKS, UTILITY CONNECTIONS, GRADING, DRAINAGE, IRRIGATION, OR LANDSCAPING WILL REQUIRE A ROW PERMIT FROM THE CITY OF BAY MINETTE ENGINEERING DEPARTMENT AND MUST COMPLY WITH THE CITY OF BAY MINETTE RIGHT-OF-WAY CONSTRUCTION AND ADMINISTRATION ORDINANCE.
7. ANY AND ALL PROPOSED LAND DISTURBING ACTIVITY WITHIN THE PROPERTY WILL NEED TO BE SUBMITTED FOR REVIEW AND BE IN CONFORMANCE WITH THE CITY OF BAY MINETTE LAND USE AND DEVELOPMENT ORDINANCES
8. THE APPROVAL OF ALL APPLICABLE FEDERAL, STATE, AND LOCAL AGENCIES (INCLUDING ALL STORM WATER RUNOFF, WETLAND AND FLOODPLAIN REQUIREMENTS) WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A LAND DISTURBANCE PERMIT. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ACQUIRING ALL OF THE NECESSARY PERMITS AND APPROVALS. WETLAND LIMITS ARE LOCATED ON THE PROPERTY AND SITE/CIVIL DRAWINGS..
9. THE PROPOSED DEVELOPMENT MUST COMPLY WITH ALL ENGINEERING DEPARTMENT DESIGN REQUIREMENTS AND POLICY LETTERS.
10. DRIVEWAY NUMBER, SIZE, LOCATION AND DESIGN TO BE APPROVED BY TRAFFIC ENGINEERING AND CONFORM TO AASHTO STANDARDS. ANY REQUIRED ON-SITE PARKING, INCLUDING ADA HANDICAP SPACES, SHALL MEET THE MINIMUM STANDARDS AS DEFINED IN SITE SHALL COMPLY WITH ARTICLE XVI OF THE GENERAL PROVISIONS OF THE CITY OF BAY MINETTE USE AND DEVELOPMENT ORDINANCE. THE PROJECT IS THE DEVELOPMENT OF A FELLOWSHIP HALL AND PARKING. THERE ARE NO PLANS FOR WORK IN THE RIGHT OF WAY.
11. PROPERTY TO BE DEVELOPED IN COMPLIANCE WITH STATE AND LOCAL LAWS THAT PERTAIN TO TREE PRESERVATION AND PROTECTION ON BOTH CITY AND PRIVATE PROPERTIES (STATE ACTS 61-929).
12. ALL PROJECTS WITHIN THE CITY OF BAY MINETTE FIRE JURISDICTION MUST COMPLY WITH THE REQUIREMENTS OF THE 200 INTERNATIONAL FIRE CODE.

PERMITTED USES:  
TOTAL SITE AREA: 203,186.23 SQ. FT. = 4.66 AC.  
SITE AREA WITHIN CONSTRUCTION LIMITS: 43,500 SQ.FT. = 0.99 AC.  
BUILDING AREA COVERAGE: 5,200.73 SQ. FT. (LESS THAN 50%)

YARDS REQUIRED:  
FRONT YARD: 25 FT.  
SIDE YARD: 0 TO 5 FEET, OR 10 FEET WHERE ABUTTING RESIDENTIALLY ZONED PROPERTY.  
REAR YARD: 0 TO 5 FEET, OR 10 FEET WHERE ABUTTING RESIDENTIALLY ZONED PROPERTY.

PARKING REQUIREMENTS:  
EXISTING PARKING TO REMAIN AND NOT DECREASE.  
SANCTUARY SIZE: NOT A PART OF THE PROJECT.  
PEW SEATING CAPACITY: 270 SEATS/4 = 67.5 SPACES  
PARKING REQUIRED: 68 SPACES  
PARKING PROVIDED: 72 SPACES  
ACCESSIBLE SPACES REQUIRED: 3 SPACES  
ACCESSIBLE SPACES PROVIDED: (3 TOTAL) 2 CAR AND 1 VAN

GRAND TOTAL OF PARKING: 9 SPACES (INCLUDING 3 H/C SPACES) + 63 NEW PARKING SPACES FOR A TOTAL OF 72 PARKING SPACES (INCLUDING 1 VAN AND 2 CAR)

TREE REQUIREMENTS

FRONTAGE TREES  
DAPHNE ROAD  
FRONTAGE = THE SITE IS AN EXISTING SITE AND THEREFORE THE SITE WILL BE GRANDFATHERED IN FOR THE ADDITION OF THE FELLOWSHIP HALL

TREES PROVIDED = 0

PERIMETER TREES  
NON-FRONTAGE PERIMETER = 735.74 LF + 181.24 LF + 189.90 LF + 150.00 L.F + 100.00 L.F. + 86.90 L.F. + 253. 70 L.F. + 56.63 L.F. + 198.15 L.F. =1,952.26 LF

PERIMETER TREES REQUIRED = 0  
THE SITE IS AN EXISTING SITE WITH PLENTY OF TREES ON THE SITE  
PERIMETER TREE CREDITS:  
0 TREE CREDITS  
TREES PROVIDED = 0

PARKING LOT TREES (UNDERSTORY TREES)  
PARKING LOT TREES REQUIRED = 72 SPACES/20 = 3.6  
PARKING LOT TREES PROVIDED = 10 CREPE MYRTLE

PARKING SPACE REQUIREMENTS

PARKING REQUIREMENTS:  
EXISTING PARKING TO REMAIN AND NOT DECREASE.  
SANCTUARY SIZE: NOT A PART OF THE PROJECT.  
PEW SEATING CAPACITY: 270 SEATS/4 = 67.5 SPACES  
PARKING REQUIRED: 68 SPACES  
PARKING PROVIDED: 72 SPACES  
ACCESSIBLE SPACES REQUIRED: 3 SPACES  
ACCESSIBLE SPACES PROVIDED: (3 TOTAL) 2 CAR AND 1 VAN

GRAND TOTAL OF PARKING: 9 SPACES (INCLUDING 3 H/C SPACES) + 63 NEW PARKING SPACES FOR A TOTAL OF 72 PARKING SPACES (INCLUDING 1 VAN AND 2 CAR)

DRIVE TURN-OUT NOTES

DAPHNE ROAD:  
EXISTING:  
1 EXISTING DRIVE TURN-OUT  
PROPOSED:  
1 DRIVE TURN-OUT

LANDSCAPING AREA REQUIREMENTS

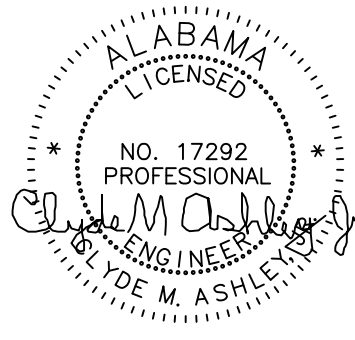
TOTAL SITE AREA = 4.66 AC. = 203,186.23 S.F.

MINIMUM LANDSCAPE AREA (INTERIOR AREA REQUIREMENTS)  
4.66 AC. = 203,186.23 S.F. x 5% = 10,159.35 S.F.

LANDSCAPE AREA PROVIDED = 1,310 S.F. + 352 S.F. + 1,082 S.F. + 279 S.F. + 760 S.F. + 1,285 S.F. + 930 S.F. + 380 S.F. + 535 S.F. + 3,850 S.F. + 1,007 S.F. + 405 S.F. + 515 S.F. = 12,690 S.F.

\*\*\* THE LARGE CLEAR SODDED AREA IN FRONT OF THE EXISTING CHURCH WAS NOT INCLUDED IN THE LANDSCAPE AREA TOTALS

SITE LANDSCAPE AREA PROVIDED = 12,690 S.F.



CHURCH FELLOWSHIP HALL  
541 DAPHNE RD., BAY  
MINETTE, ALABAMA, 36507

ALABAMA  
BAY MINETTE

REVISIONS		
NO.	DATE	REMARKS

SHEET TITLE  
**LANDSCAPE CALCULATIONS & DETAILS**

JOB NO. 2023-0007
DATE: 2/15/2024
DRAWN BY:
CHECKED BY:
SHEET



