

Bay Minette Planning Commission Agenda-*Revised*
Conference Room at City Hall
October 12, 2017
8:00 a.m.

1. Called to Order
2. Invocation and Pledge
3. Approval of Minutes for the September 14, 2017 Regular Meeting
4. Administrative Subdivision Request:
 - a) O. W. Lyles & Son located on Jones Road
5. Old Business:
 - None
6. New Business:
 - a) Sign Request for the Law Office of Myers, Myers & Dixon, LLC located at 308 Hall Avenue
 - b) Site Plan Review for the Broadway Group for the Intersection of Hwy 31 & Dennis Avenue
7. Reports:
 - a) Mayor/Council
 - b) Attorney
 - c) Commissioner's Comments
8. Adjourn



City of Bay Minette

Application for Administrative Subdivision

Date: 9/28/17

Name of Subdivision: _____

Name of Owner: O.W. Lyles & Son, a Corporation

Address: 1210 N. White Ave. Bay Minette, AL 36507

Street / PO Box

City

State

Zip

Name of Agent / Professional Land Surveyor, if other than applicant:

Kathy L. Bryars, McMillan & Assoc.

Address: PO Box 306, Bay Minette, AL 36507

Street / PO Box

City

State

Zip

Subdivision Location: Sec. 26, T2S, R3E

Total Acreage: 156

of Parcels Existing: 1

Average Lot Size: _____

of Lots Proposed: 3

Submittal Requirements:

Remaining 136 Ac.
Sale of 19.43 Ac
Sale of encroachment 0.3 Ac

- Application
- Fee
- Survey/Plat showing existing parcel(s)
- Survey showing proposed subdivision in accordance with Subdivision Regulations

Agent / Applicant Name: Kathy L. Bryars (agent) Dolores B. Lyles as Sec/Treas

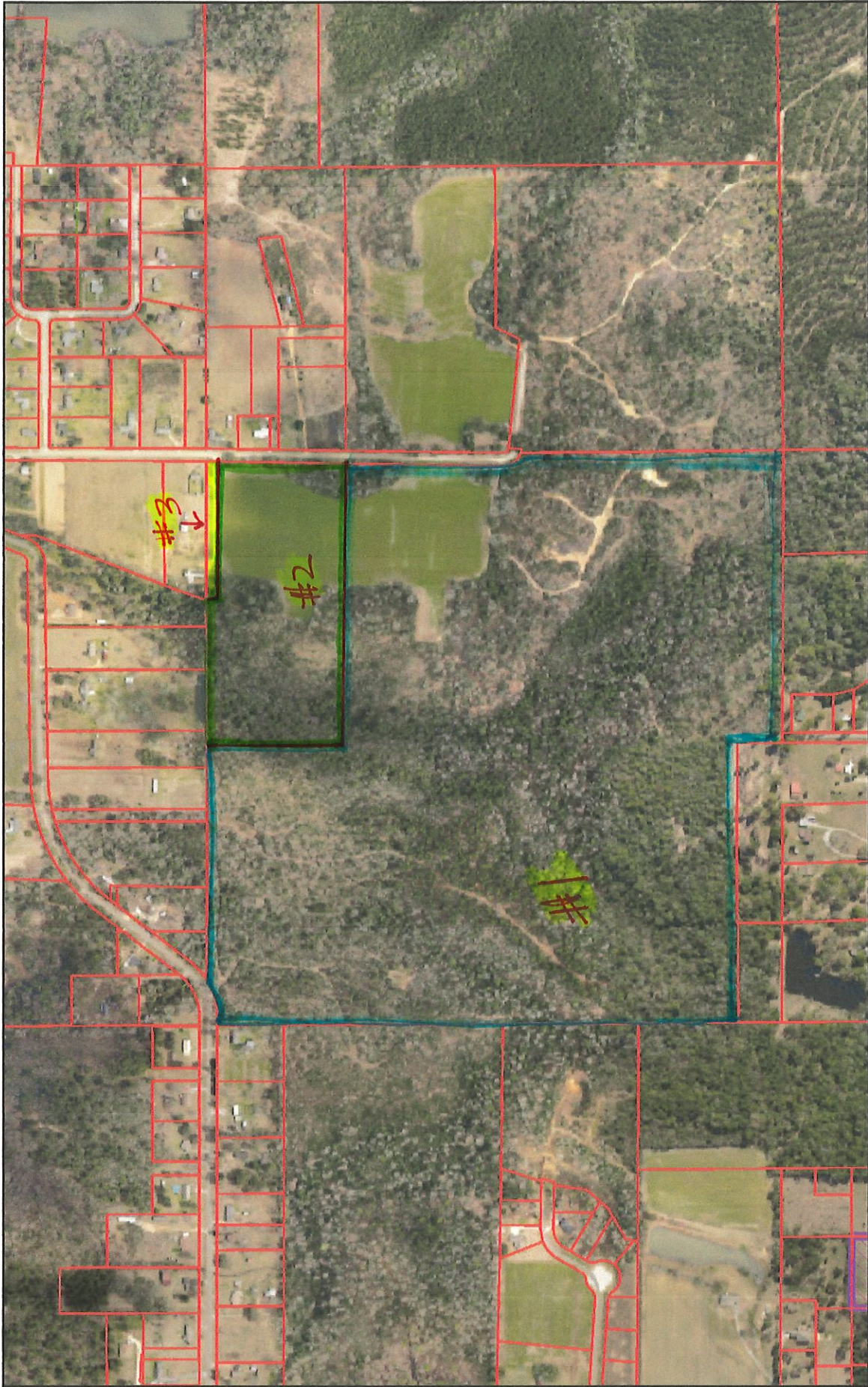
Signature: [Signature] Dolores B. Lyles Sec - [Signature]
O.W. Lyles & Son (Owner)

Date: 9/28/17





Total \$ _____

Cost - \$150.00 plus \$10.00 per parcel

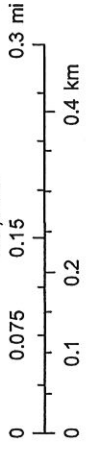
Viewer Map



September 28, 2017

-  Parcels
-  County Boundary
-  2016 Sales
-  Lot Lines

1:9,028



KCS
Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan,

Viewer Map



KCS
Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan.

McMILLAN AND ASSOCIATES

P O Box 306
Bay Minette, AL 36507

12437

61-1/620

Date 10/2/17

CHECK NUMBER

Pay to the order of

City of Bay Minette

One hundred eighty

\$ 180⁰⁰

Dollars

Security Features Details on Back



REGIONS

[Handwritten Signature]

MP

⑈00012437⑈ ⑆062000019⑆ 0174792431⑈

Rita Diedtrich

From: Jessica Peed
Sent: Wednesday, September 27, 2017 10:44 AM
To: Rita Diedtrich
Cc: Todd Stewart; Oscar Waters
Subject: FW: 308 Hall Avenue, Bay Minette, AL 36507

From: Wilson Myers [mailto:wilsonmyers@yahoo.com]
Sent: Wednesday, September 27, 2017 10:30 AM
To: Jessica Peed <JPeed@ci.bay-minette.al.us>
Cc: Frank Myers <frank@lawfirmmyers.com>
Subject: 308 Hall Avenue, Bay Minette, AL 36507

To Whom It May Concern,

This is to request an approval to use 308 Hall Avenue as a Law Office, and to place a sign in the front yard facing Hall Avenue.

Before I left in 2006 to work in Iraq and Afghanistan, I was practicing law (Law Office of F. Wilson Myers) from this location. I have returned and am now requesting permission to do so again as "The Law Firm of Myers, Myers & Dixon, L.L.C."

The sign will be designed by a local sign company and they will request and receive the proper permits.

I have already contacted the Fire department, Police Department and your office for the appropriate approvals.

Please let me know the date of the next Board Meeting for me to attend to request approvals. Please acknowledge receipt of this email.

F. Wilson Myers
For the Firm



City of Bay Minette
Planning Commission
Site Plan Review Check List

Date 10-3-17

Project Intersection of Hwy 31 and Dennis Ave.

Applicant The Broadway Group, LLC

The Site Plan Review Check List is to be presented at the initial inquiry for site plan review to acquaint the applicant of the necessary documents and design plans that are necessary for placement on the Planning Commission agenda. Upon reception of these necessary elements; this checklist will be completed by the Planning and Zoning Administrator and attached to design plans, along with a completed application. All members of the Planning Commission will receive the Site Plan Review Checklist, design plans and completed application prior to the scheduled Site Plan Review.

Necessary elements for the site plan review (Section 8.9): Completed Applications along with design plans that shall include site plans, architectural plans with landscaping plans as stated. A site plan shall be prepared, signed and sealed by an architect or an engineer that is currently licensed in the State of Alabama. It is noted by the State Codes of Alabama that the services of a registered architect shall be required on all buildings for public assembly over 2500 square feet. All design plans shall be drawn to scale. Drawing scale must be large enough to be readable (no smaller than 1 inch = 50 feet). Plans shall address the following requirements:

- A. The location and size of the site (dimensions, size in square footage and acreage) including topography along with a legal description and a current certified survey.
- B. A vicinity map showing the site relation to surrounding property.
- C. The recorded ownership and developer's interest.
- D. Date, scale, north arrow, title, and names and contact information for property owner(s), developer, engineer, architect and landscape designer (if applicable), including current license numbers.
- E. The relationship to the site to existing development in the area including streets, utilities, residential, and commercial development, and physical features of the land including significant ecological features. This information can be combined with requirements for the vicinity map specified in this section.
- F. Zoning classification of site and of adjacent properties. (Article VI)
- G. The density or intensity of land use to be allocated to all parts of the site together with tabulations by acreage and percentages thereof itemized by use and density.

- H. The location, size and character of any common open space, commonly owned facilities and form of organization which will own and maintain any common opens space and such facilities.
- I. Adjacent public and/or private streets including lot(s) frontage, dimensions, surface type, and existing or proposed access. (Section 7.9)
- J. Front, side and rear setbacks (Section 8.12)
- K. The use and maximum height, bulk, location and dimensions of all buildings (existing and proposed) and any other structures to be located on the site.
- L. Parking design standards and improvement requirements (Section 9.2) and Off-street loading and unloading space. (Section 9.3)
- M. Front, side and rear architectural elevations. These elevations shall indicate:
 - 1. Design character of buildings and structures
 - 2. Specific materials existing/planned for use on building and structures, including colors of any and all materials employed, with their locations indicated on the elevations
 - 3. Height of buildings and structures (Section 7.3)
 - 4. Roofs and overhangs
 - 5. Special design features (if applicable) may include compliance with the American Disabilities Act Requirements
 - 6. Yard requirement (7.4)
- N. Location, size and type of signage, any pre-existing, non-conforming signs must meet the current sign regulations. (Article XVI)
- O. The substance of covenants, grants of easements or other restrictions which will be imposed upon the use of land, buildings and structures, including proposed easements or grants for public utilities or other purposes. (Section 7.12)
- P. Landscape and Tree Protection (Article X), includes off street parking, buffer requirements and special designs.
- Q. Surface Drainage and Erosion and sediment control (Section 7.13 and 7.14)
- R. Screening, Lighting and Space. (Section 7.16)
- S. Location of garbage disposal facilities/buffer (if applicable)
- T. In case of plans which call for development over a period of years, a schedule showing the proposed times within which applications for building permits are intended to be filed.
- U. Where required by ALDOT, the applicant will provide proof that the driveway permit application has been submitted to ALDOT. If a traffic study is required the applicant shall provide copies of the study to the Building Department.

- W. Any additional data, plans or specifications which the applicant or the City believes is pertinent and which will assist in clarifying the application including, but not limited to plans for screening, lighting and space, surface drainage, erosion and sediment control, water and sewer connections, landscaping, and signs.

This checklist corresponds to the City of Bay Minette Zoning Ordinance as well as reflecting the City Comprehensive Plan. It is designed to aid the applicant and serve as a tool for the Bay Minette Planning Commission decisions. While each site plan application is unique, it is imperative to follow the Zoning Ordinance and Comprehensive Plan guidelines to achieve the desired goals of our community while supporting the future growth and development.

Planning and Zoning Administrator

Fire Inspector

Comments:

City of Bay Minette

Application for Site Plan Review

State of Alabama
County of Baldwin
City of Bay Minette

This is to certify that I (we) the undersigned do hereby request the City of Bay Minette Planning Commission to grant a Site Plan Review for the location to determine if it Meets the regulations of the Land Use and Development Ordinance as indicated below, and for the reasons stated.

1- Personal Information:

The Broadway Group, LLC Robert M. Broadway; Managing Member
Commercial Retail Developer Jeremy Cobb; Engineer
216 WESTSIDE Square DeAnna Hyche; Due Diligence Coordinator
Huntsville, Alabama 35801

2- Location of the Site Plan Review Request:

909 US Hwy 31 N. Bay Minette, AL 36507
NW corner of Hwy 31 and Dennis Avenue

3. - Reason for Request:

to develop a standalone commercial retail facility
9100 sq-ft General Variety Store

Dated this 3rd day of OCTOBER, 20 017


Owner or Authorized Representative

Consult the Industrial Development Board before Site Plan can be reviewed

Application fee \$50.00



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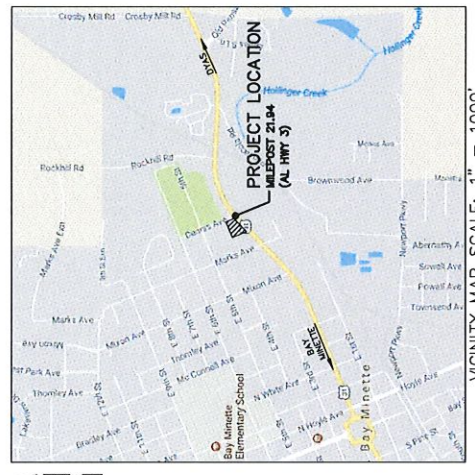
NEW RETAIL STORE

U.S. HWY 31

AL HWY 3

BAY MINETTE, AL

BALDWIN COUNTY



CONTACT INFORMATION
SPENCER BROADWAY GROUP, LLC
 216 WESTSIDE SQUARE • HUNTSVILLE, AL 35801
 Phone: (256) 533-7287 • Fax: (256) 533-7236

DESIGN PROFESSIONALS
ALC CONSULTING, P.C.
 1000 UNIVERSITY BLVD. • SUITE 200
 HUNTSVILLE, AL 35801
 Phone: (256) 533-7287 • Fax: (256) 533-7236

ENGINEER
PAUL R. FUGER, P.E.
 1000 UNIVERSITY BLVD. • SUITE 200
 HUNTSVILLE, AL 35801
 Phone: (256) 533-7287 • Fax: (256) 533-7236

ARCHITECT
PAUL R. FUGER, P.E.
 1000 UNIVERSITY BLVD. • SUITE 200
 HUNTSVILLE, AL 35801
 Phone: (256) 533-7287 • Fax: (256) 533-7236

NEW RETAIL STORE
 AL HWY 3
 BAY MINETTE, AL
 BALDWIN COUNTY



DATE: 08-07-2017	DESIGNED BY: JAC
REVISIONS: 10-04-2017	CHECKED BY: JAC
SHEET 1 OF 16	



NUMBER	TITLE
1	COVER SHEET
2	CONSTRUCTION NOTES & LEGEND
3	PROPOSED PLAN
4	EXISTING PLAN
5	ESPC PLAN
6	R.O.W. IMPROVEMENT PLAN
7	TEMPORARY TRAFFIC CONTROL PLAN
8	STORM PLAN
9	PROFILE VIEWS
10	LANDSCAPE PLAN
11	LAYOUT PLAN
12	STORM DETAILS
13	ESPC DETAILS
14	ESPC NOTES
15	ESPC DETAILS
16	ADDITIONAL DETAILS

PREPARED FOR:

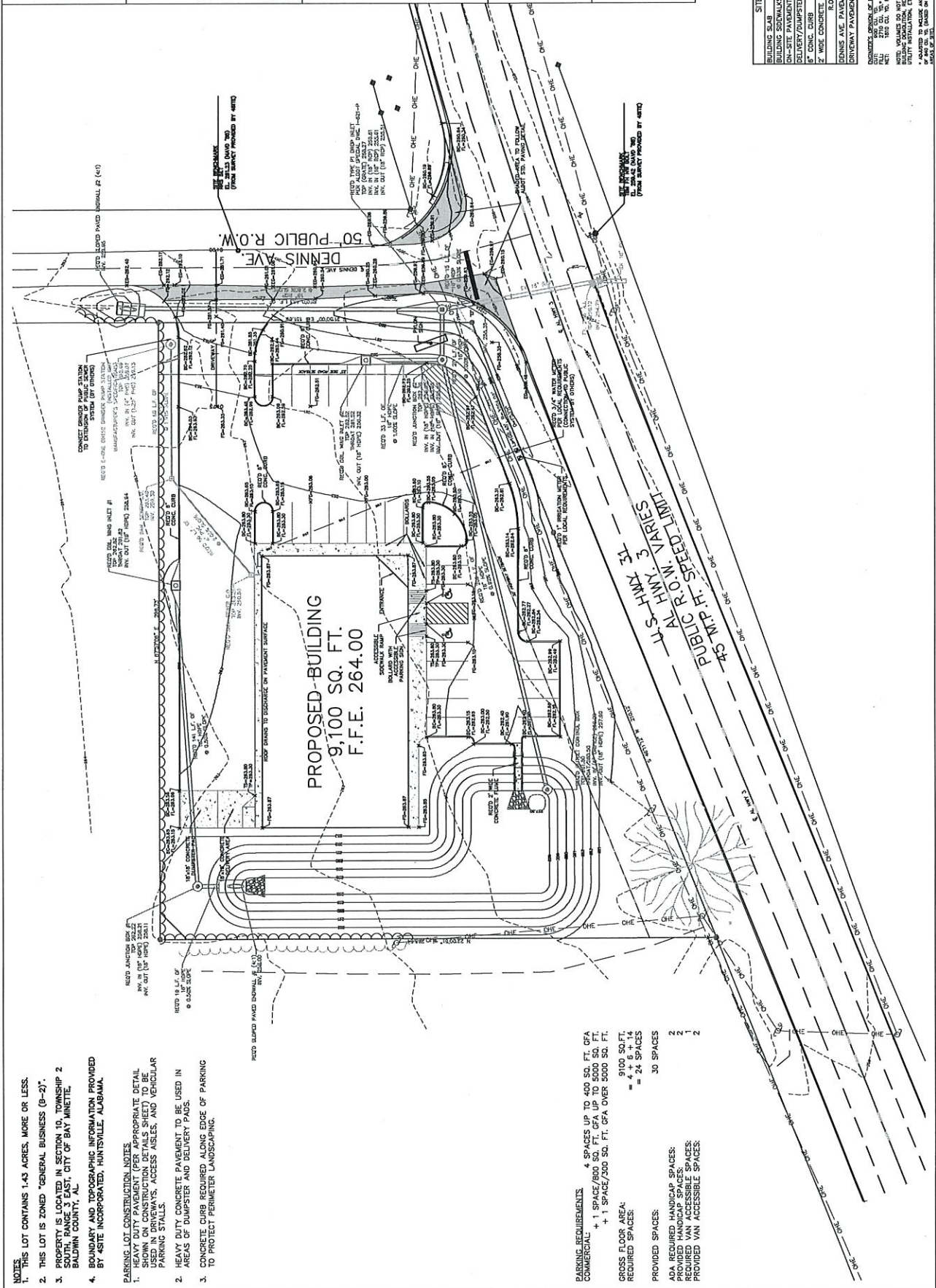


The Broadway Group
 Commercial Real Estate Development
 216 Westside Square • Huntsville, AL 35801
 Phone: (256) 533-7287 • Fax: (256) 533-7236

REVISIONS:
 INITIAL DATE
 08-07-2017
 10-04-2017
 CHECKLIST



SCALE: 1" = 20'
 NORTH



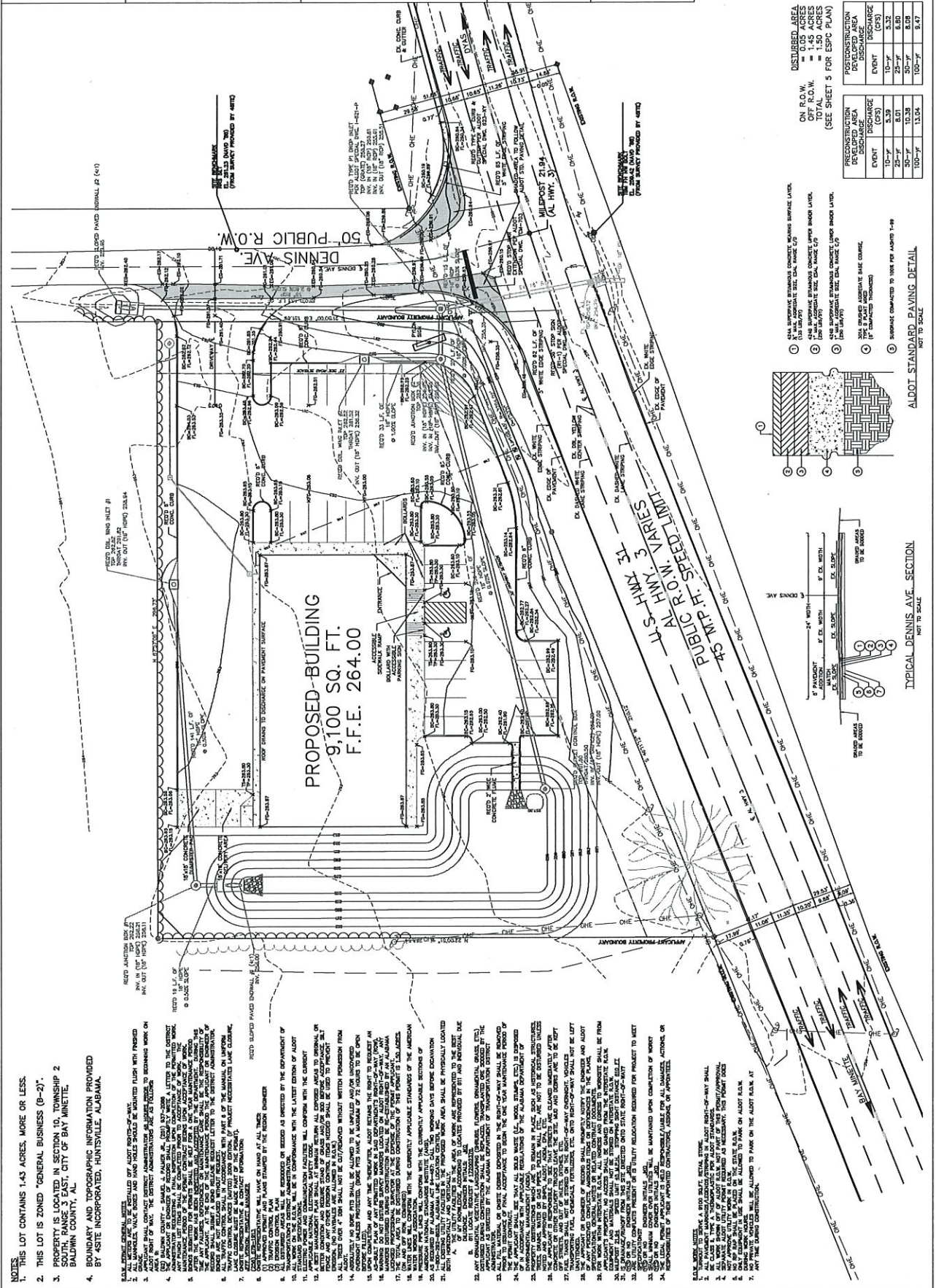
- NOTES:**
1. THIS LOT CONTAINS 1.43 ACRES, MORE OR LESS.
 2. PROPERTY IS ZONED "GENERAL BUSINESS (B-2)".
 3. PROPERTY IS LOCATED IN SECTION 10, TOWNSHIP 2 SOUTH RANGE 3 EAST, CITY OF BAY MINETTE, BALDWIN COUNTY, AL.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 451E INCORPORATED, HUNTSVILLE, ALABAMA.

- PARKING LOT CONSTRUCTION NOTES:**
1. HEAVY DUTY PAVEMENT (PER APPROPRIATE DETAIL SHOWN ON CONSTRUCTION DETAILS SHEET) TO BE USED IN DRIVEWAYS, ACCESS AISLES, AND VEHICULAR PARKING SPACES.
 2. HEAVY DUTY CONCRETE PAVEMENT TO BE USED IN AREAS OF DUMPMSTER AND DELIVERY PAIDS.
 3. CONCRETE CURB REQUIRED ALONG EDGE OF PARKING TO PROTECT PERIMETER LANDSCAPING.

PARKING REQUIREMENTS
 COMMERCIAL:
 + 1 SPACE/200 SQ. FT. GFA UP TO 5000 SQ. FT.
 + 1 SPACE/300 SQ. FT. GFA OVER 5000 SQ. FT.
 9100 SQ. FT. GFA
 = 24 SPACES
 30 SPACES
 2 ADA REQUIRED HANDICAP SPACES:
 PROVIDED HANDICAP SPACES:
 PROVIDED ACCESSIBLE SPACES:
 PROVIDED VAN ACCESSIBLE SPACES:

SITE QUANTITIES	
BUILDING FLOOR AREA	9,100 SQ. FT.
BUILDING SIDEWALKS	2,088 SQ. FT.
ON-SITE PAVEMENT	22,472 SQ. FT.
DELIVERY/DUMPMSTER AREA	848 SQ. FT.
CONC. CURB	371 LIN. FT.
WIDE CONCRETE FLAME	92 SQ. FT.
R.O.W. QUANTITIES	
DENNIS AVE. PAVEMENT	1,973 SQ. FT.
UNIFORMITY PAVEMENT	384 SQ. FT.
CONCRETE QUANTITIES OF LAURENDRICK	
4" CONC. (18" WIDE)	2770 SQ. YD.
4" CONC. (18" WIDE)	180 SQ. YD.
4" CONC. (18" WIDE)	180 SQ. YD.

ALL QUANTITIES ARE APPROXIMATE AND BASED ON THE INFORMATION PROVIDED. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE QUANTITIES AND HAS FOUND THEM TO BE REASONABLY ACCURATE. THE ENGINEER HAS NOT CONDUCTED A SURVEY OF THE SITE TO VERIFY THE QUANTITIES. THE ENGINEER HAS NOT CONDUCTED A SURVEY OF THE SITE TO VERIFY THE QUANTITIES.



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1. THIS LOT CONTAINS 1.43 ACRES, MORE OR LESS.
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 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY ASTE INCORPORATED, HUNTSVILLE, ALABAMA.

STATE GENERAL NOTES:

1. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY DATA. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL UTILITIES SHALL BE PROTECTED AND DEEPENED TO A MINIMUM OF 48" BELOW FINISHED GRADE.
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ALDOT STANDARD PAVING DETAIL

1. 4" SURFACE BRANDED CONCRETE W/ REINFORCING BARS
 2. 4" SUB-BASE BRANDED CONCRETE W/ REINFORCING BARS
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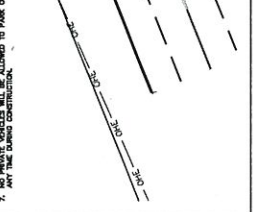
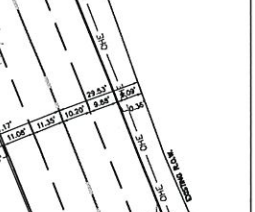
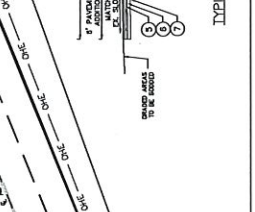
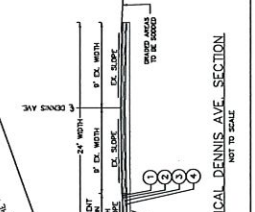
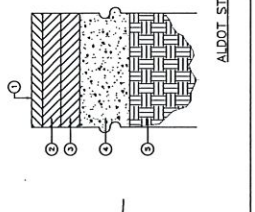
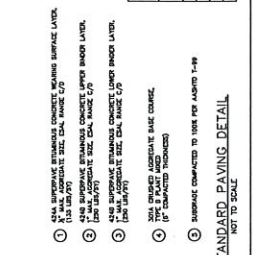
DISBURSED AREA

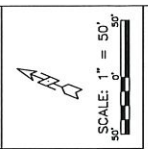
ON R.O.W.	1.43 ACRES
OFF R.O.W.	1.43 ACRES
TOTAL	2.86 ACRES

(SEE SHEET 5 FOR ESIC PLAN)

POSTCONSTRUCTION

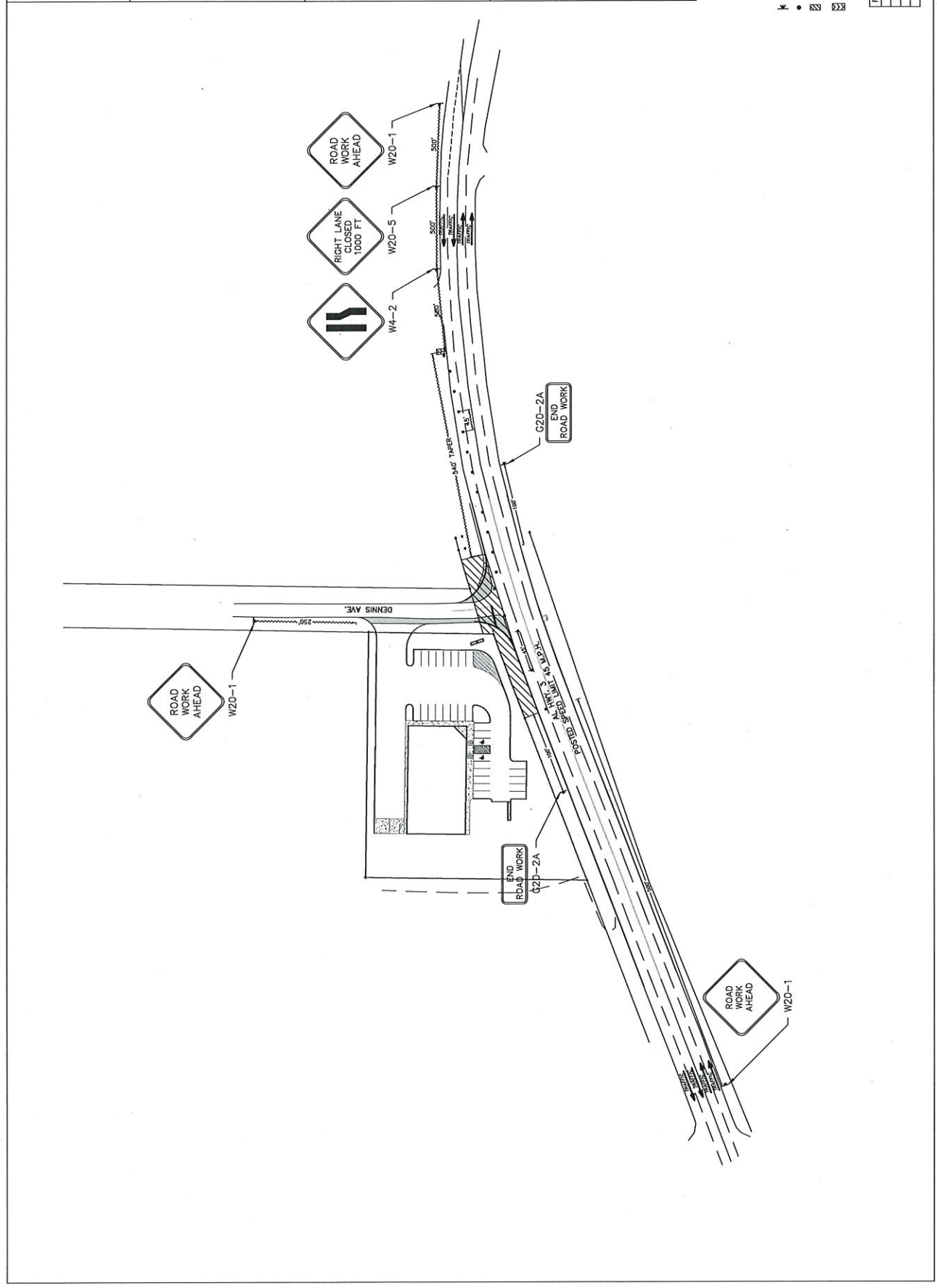
EVENT	(CFR)	(CFR)
10-yr	5.32	8.09
50-yr	10.38	13.04
100-yr	13.04	13.04

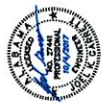




- LEGEND**
- ⊠ TEMPORARY MOUNTED SIGN
 - CHANNELING DRUM
 - ▨ WORK AREA
 - ▭ PORTABLE SEQUENTIAL SIGN UNIT

REQUIRED SIGN SIZES	
G20-2A	48" X 24"
W20-1	48" X 48"
W20-5	45" X 45"
W4-2	45" X 45"





NEW RETAIL STORE
AL HWY 3
BALDWIN COUNTY

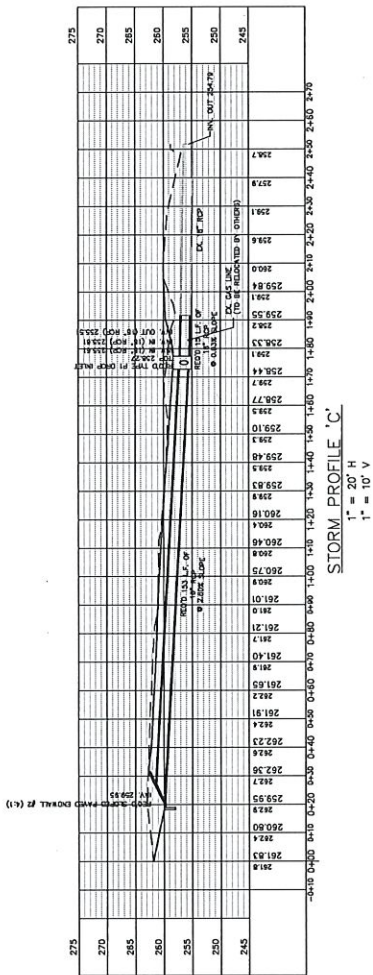
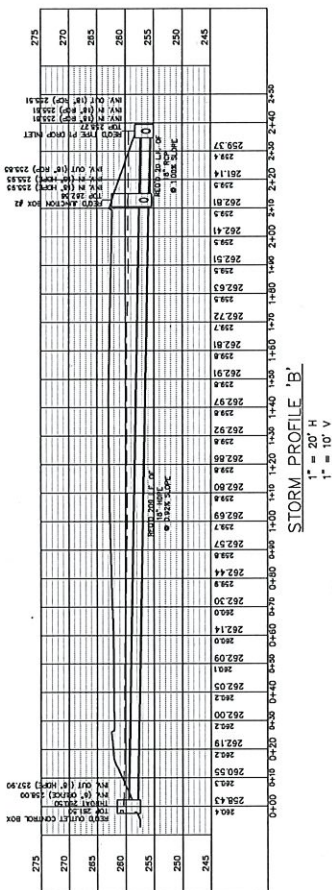
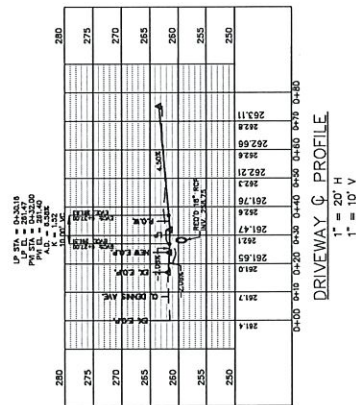
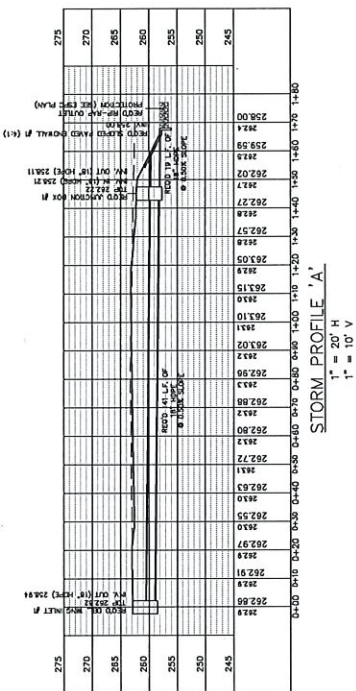
DATE: 08-07-2017
REVISIONS:
PROFILE VIEWS



Brodway Management, LLC
280 W. GARDNER BLVD. - SUITE 100
MARIETTA, GA 30067
PHONE: (770) 532-7721 FAX: (770) 532-7720

DRAWN BY: JAC
DATE: 08-07-2017
REVISIONS:
PROFILE VIEWS

SHEET 9 OF 16



NOTES:

1. THIS LOT CONTAINS 1.43 ACRES, MORE OR LESS.
2. THIS LOT IS ZONED "GENERAL BUSINESS (B-2)".
3. PROPERTY IS LOCATED IN SECTION 10, TOWNSHIP 2 SOUTH RANGE 3 EAST, CITY OF BAY MINETTE, BALDWIN COUNTY, AL.
4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY ASTE INCORPORATED, HUNTSVILLE, ALABAMA.

LANDSCAPE GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING NEWLY PLANTED TREES AND SHRUBS TO BE PLANTED IN THE PUBLIC UTILITIES PRIOR TO BEGINNING CONSTRUCTION. ALL UTILITIES SHALL BE PROTECTED FROM DAMAGE DURING PLANTING OPERATIONS.
2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CURRENTLY APPLICABLE MICHIGAN STATE TREE CARE STANDARDS. THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE MEETS OR EXCEEDS THESE STANDARDS.
3. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE MICHIGAN STATE TREE CARE STANDARDS. THE CONTRACTOR SHALL GUARANTEE THAT THE MATERIAL INSTALLED ON SITE MEETS OR EXCEEDS THESE STANDARDS.
4. ALL PLANTS INSTALLED IN A LIVING, HEALTHY CONDITION UP TO THE DATE OF PLANTING. PLANTS SHALL BE PLANTED AS SPECIFIED IN THE PLANTING SCHEDULE. PLANTS SHALL BE PLANTED AS SPECIFIED IN THE PLANTING SCHEDULE. PLANTS SHALL BE PLANTED AS SPECIFIED IN THE PLANTING SCHEDULE.
5. THE CONTRACTOR SHALL SUBMIT CUT SHEETS TO THE ENGINEER/OWNER SHOWING ALL PLANTING MATERIALS, INCLUDING TREE, SHRUB, BOLLARD AND ANY OTHER ITEMS, RELATED TO THE LANDSCAPE OF THE SITE FOR APPROVAL PRIOR TO INSTALLATION ON SITE.
6. ALL PLANTING MATERIALS SHALL BE SUBMITTED IN ORIGINAL PACKAGING AND LABELS TO THE ENGINEER/OWNER.
7. PLANTING BEDS AND PLANT LOCATIONS SHALL BE STAMPED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
8. PLANTING BEDS SHALL BE CLEARED OF GRASS AND WEEDS PRIOR TO PLANTING.
9. FERTILIZE ALL PLANT MATERIAL AT INSTALLATION. FERTILIZER PACKAGE DIRECTIONS. APPLY FERTILIZER BEFORE MULCHING.
10. ALL DISTURBED AREAS ARE TO BE SOOLED AS DIRECTED BY THE LANDSCAPE PLAN.
11. ALL PLANTING MATERIAL SHALL BE TREATED WITH A WATER SOLUBLE ANTI-FUNGUS TREATMENT TO PREVENT DISEASE. THE CONTRACTOR SHALL REPLACE IMMEDIATELY WITH APPROVED SPECIFIED MATERIALS.
12. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT.
13. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT.
14. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE ACCEPTED BY THE OWNER.
15. ALL TREES SHALL BE THE BEST QUALITY REPRESENTATIVES OF THEIR SPECIES AND SHALL BE PLANTED IN ACCORDANCE WITH THE MICHIGAN STATE TREE CARE STANDARDS. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL AND LAWS THROUGHOUT THE PROJECT.
16. DISPOSE OF ALL SURPLUS MATERIAL, AS DIRECTED BY THE OWNER.

PARKING REQUIREMENTS:

- 4 SPACES UP TO 400 SQ. FT. GFA
- + 1 SPACE/100 SQ. FT. GFA UP TO 500 SQ. FT.
- + 1 SPACE/300 SQ. FT. GFA OVER 500 SQ. FT.

GROSS FLOOR AREA:

- 9100 SQ. FT.
- = 24 SPACES

PROVIDED SPACES:

- 30 SPACES
- 2
- 2
- 2

ADA REQUIRED HANDICAP SPACES:

- 2
- 2
- 2

PROVIDED HANDICAP SPACES:

- 2
- 2
- 2

PROVIDED VAN ACCESSIBLE SPACES:

- 2
- 2
- 2

PROPOSED BUILDING
 9,100 SQ. FT.
 F.F.E. 264.00



PLANTING SCHEDULE

QTY	KEY	SCIENTIFIC NAME	COMMON NAME	SIZE
1	1	QUERCUS SPANISH	SPANISH OAK	3.5" CAL. 12" MIN. HEIGHT
2	2	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
3	3	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
4	4	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
5	5	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
6	6	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
7	7	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
8	8	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
9	9	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
10	10	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
11	11	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
12	12	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
13	13	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
14	14	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
15	15	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
16	16	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
17	17	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
18	18	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
19	19	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
20	20	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
21	21	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
22	22	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
23	23	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
24	24	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
25	25	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
26	26	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
27	27	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
28	28	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
29	29	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT
30	30	QUERCUS LAEVOGLOBOSA	WHITE OAK	3" CAL. 12" MIN. HEIGHT

SITE DATA

PERVIOUS AREA	34722 SQ. FT.	55.9%
500 AREA	13405 SQ. FT.	21.8%
MULCH AREA	2958 SQ. FT.	4.1%
ASPHALT AREA	1000 SQ. FT.	1.5%
CONCRETE AREA	1779 SQ. FT.	2.8%
TOTAL LOT AREA	62132 SQ. FT.	100.0%
R.O.W. 500 AREA	3044 SQ. FT.	

NEW RETAIL STORE
 AL HWY 3
 BAY MINETTE, AL
 BALDWIN COUNTY

LANDSCAPE PLAN
 DATE: 08-07-2017
 REMSD:
 DRAWN BY: JAC

SHEET 10 OF 16
 Brodway Management, LLC
 210 West 10th Street - Birmingham, AL 35203
 Phone: (205) 933-7287 - Fax: (205) 933-7288

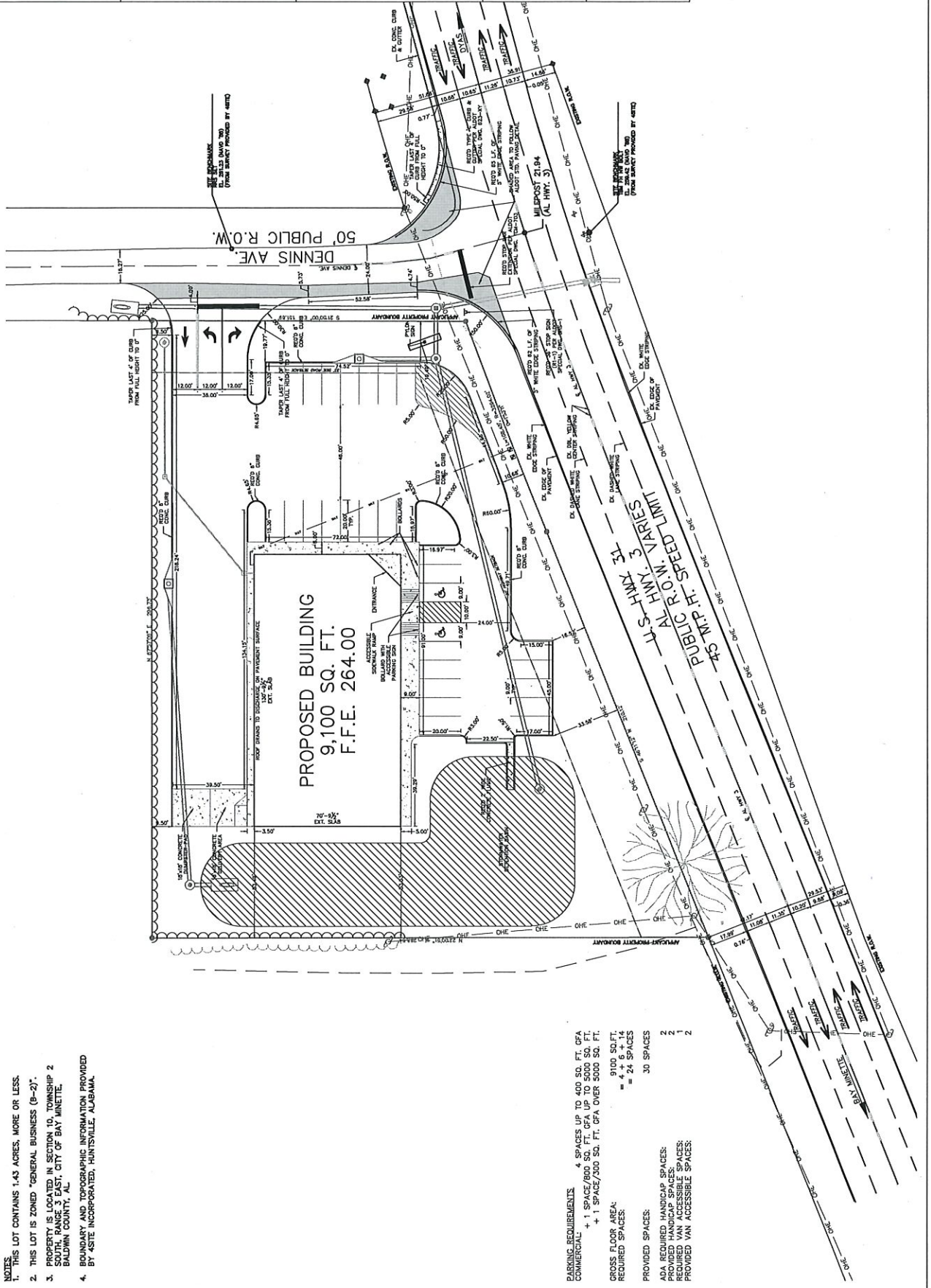
SCALE: 1" = 20'
 0 20 40



50' PUBLIC R.O.W.
 DENNIS AVE.
 45 MPH SPEED LIMIT
 AL HWY 3
 45 MPH SPEED LIMIT

PROPOSED BUILDING
 9,100 SQ. FT.
 F.F.E. 264.00

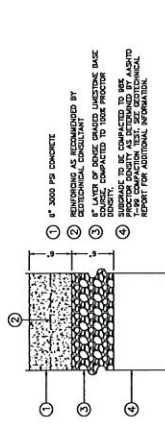
LANDSCAPE AREA 144 SQ. FT.
 LANDSCAPE AREA 244 SQ. FT.
 LANDSCAPE AREA 344 SQ. FT.
 LANDSCAPE AREA 444 SQ. FT.
 LANDSCAPE AREA 544 SQ. FT.
 LANDSCAPE AREA 644 SQ. FT.
 LANDSCAPE AREA 744 SQ. FT.
 LANDSCAPE AREA 844 SQ. FT.
 LANDSCAPE AREA 944 SQ. FT.
 LANDSCAPE AREA 1044 SQ. FT.
 LANDSCAPE AREA 1144 SQ. FT.
 LANDSCAPE AREA 1244 SQ. FT.
 LANDSCAPE AREA 1344 SQ. FT.
 LANDSCAPE AREA 1444 SQ. FT.
 LANDSCAPE AREA 1544 SQ. FT.
 LANDSCAPE AREA 1644 SQ. FT.
 LANDSCAPE AREA 1744 SQ. FT.
 LANDSCAPE AREA 1844 SQ. FT.
 LANDSCAPE AREA 1944 SQ. FT.
 LANDSCAPE AREA 2044 SQ. FT.
 LANDSCAPE AREA 2144 SQ. FT.
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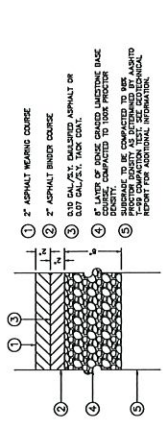
- NOTES:**
1. THIS LOT CONTAINS 1.43 ACRES, MORE OR LESS.
 2. THIS LOT IS ZONED "GENERAL BUSINESS (B-2)".
 3. PROPERTY IS LOCATED IN SECTION 10, TOWNSHIP 2 SOUTH, RANGE 3 EAST, CITY OF BAY MINETTE, BALDWIN COUNTY, AL.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY 4SITE INCORPORATED, HUNTSVILLE, ALABAMA.

PARKING REQUIREMENTS
 4 SPACES UP TO 600 SQ. FT. GFA
 COMMERCIAL + 1 SPACE/800 SQ. FT. GFA UP TO 5000 SQ. FT.
 + 1 SPACE/200 SQ. FT. GFA OVER 5000 SQ. FT.
 9100 SQ. FT. GFA
 = 4 + 6 + 14
 = 24 SPACES
 30 SPACES
 2
 1
 2

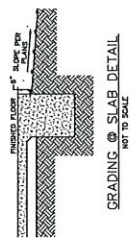
PROVIDED SPACES:
 ADA REQUIRED HANDICAP SPACES:
 4
 REQUIRED VAN ACCESSIBLE SPACES:
 2
 PROVIDED VAN ACCESSIBLE SPACES:
 2



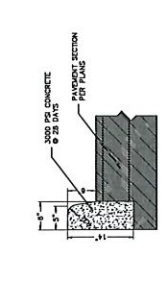
HEAVY DUTY ASPHALT PAVEMENT DETAIL
(NOT TO BE USED IN ALDOT R.O.W.)



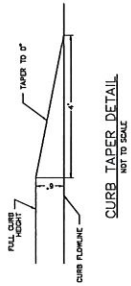
HEAVY DUTY CONCRETE PAVEMENT DETAIL
(NOT TO BE USED IN ALDOT R.O.W.)



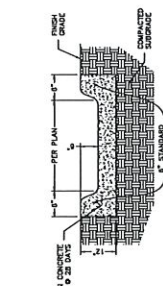
GRADING @ SLAB DETAIL
(NOT TO SCALE)



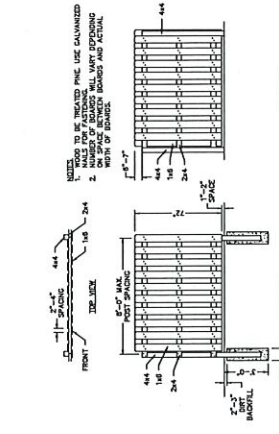
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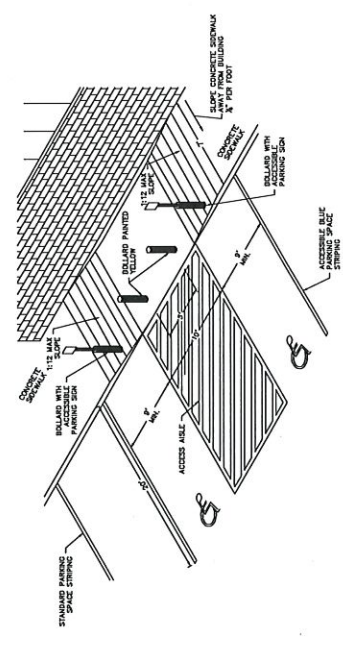
CURB TAPER DETAIL
(NOT TO SCALE)



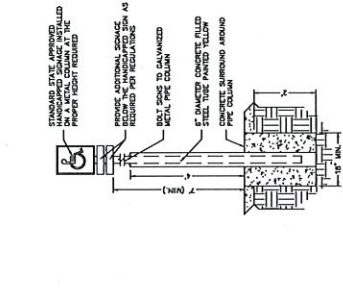
CONCRETE FLUME DETAIL
(NOT TO SCALE)



STRAIGHT SHADOWBOX SCREENING FENCE DETAILS
(NOT TO SCALE)



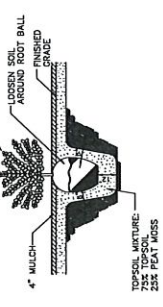
ACCESSIBLE PARKING, ACCESS RAMP & ACCESS AISLE DETAILS
(NOT TO SCALE)



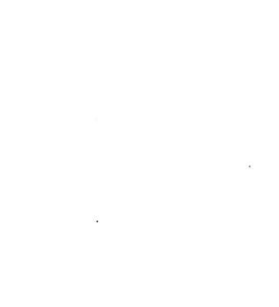
ACCESSIBLE PARKING SIGN DETAIL
(NOT TO SCALE)



SHRUB PLANTING DETAIL
(NOT TO SCALE)

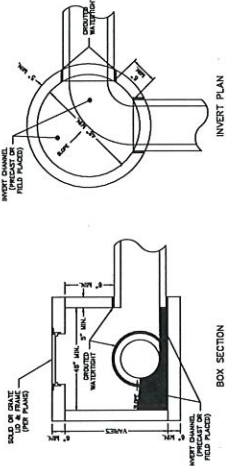


MULTI-STEM TREE PLANTING/STAKING DETAIL
(NOT TO SCALE)



DECIDUOUS TREE PLANTING/STAKING DETAIL
(NOT TO SCALE)

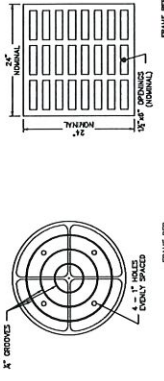




- PRECAST ROUND INLET BOX DETAILS**
1. ALL CONCRETE SHALL BE CLASS "C" AND DEVELOP A MINIMUM OF 40% BOND TO THE REINFORCING STEEL.
 2. ALL REINFORCING SHALL BE AS PER APPROVED MANUFACTURER'S PRACTICES.
 3. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.
 4. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.
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 9. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.
 10. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.

PRECAST ROUND INLET BOX DETAILS

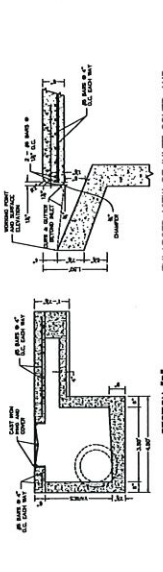
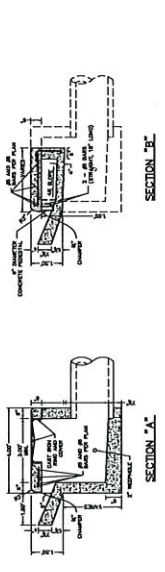
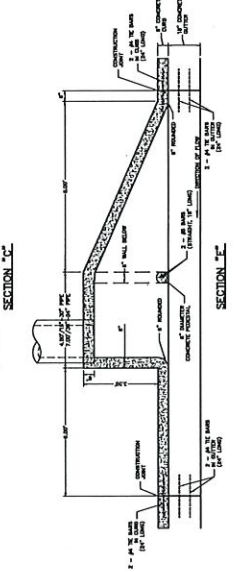
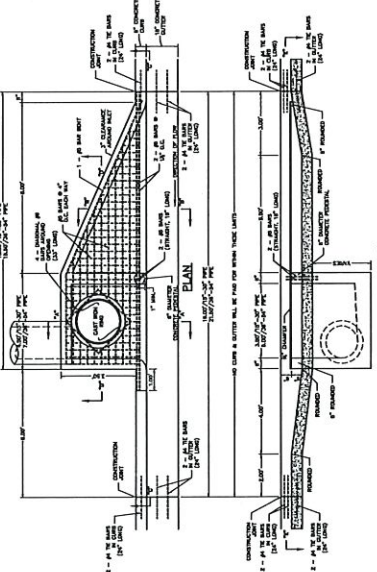
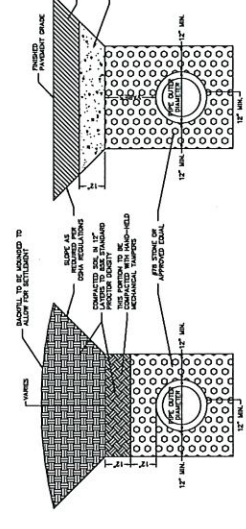
NOT TO SCALE



1. SOLID COVER SHALL BE MADE OF HEAVY DUTY CONCRETE.
2. SOLID COVER SHALL BE MADE OF HEAVY DUTY CONCRETE.
3. SOLID COVER SHALL BE MADE OF HEAVY DUTY CONCRETE.

SOLID COVER DETAILS

NOT TO SCALE

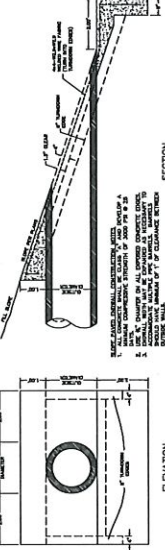


ENLARGED MANHOLE INLET COVER AND INLET DETAILS

1. ALL CONCRETE SHALL BE CLASS "C" AND DEVELOP A MINIMUM COMPRESSION STRENGTH OF 3000 PSI @ 28 DAYS.
2. ALL REINFORCING SHALL BE AS PER APPROVED MANUFACTURER'S PRACTICES.
3. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.
4. ALL REINFORCING SHALL BE PLACED WITHIN THE CONCRETE AND SHALL BE PROTECTED FROM CORROSION AND AS MANY AS MANY AS POSSIBLE SHALL BE PLACED WITHIN THE CONCRETE.
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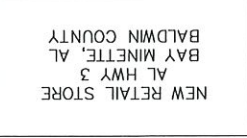
INLET DETAILS

NOT TO SCALE



CONCRETE SLOPE PAVED ENDWALL DETAILS

NOT TO SCALE



GENERAL NOTES
 EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES, IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EROSION CONTROL MEASURES TO BE INSTALLED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 EACH WORKING DAY TO ENSURE EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE EROSION CONTROL MEASURES ARE FUNCTIONING PROPERLY.
 FAILURE TO INSTALL, OPERATE, OR MAINTAIN ALL EROSION CONTROL MEASURES WILL RESULT IN ALL CONSTRUCTION BEING STOPPED ON THE SITE UNTIL SUCH MEASURES ARE CORRECTED BACK TO THE APPROVED EROSION CONTROL PLAN.
 THE SITE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL DAMAGED DEVICES DUE TO ANY CONSTRUCTION ACTIVITY BY OTHERS.
 DURING CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN CASERIN SCHEDULING AND PERFORMANCE TO ENSURE THAT LAND STRIPPED OF ITS NATURAL GROUND COVER IS EXPOSED ONLY IN SMALL QUANTITIES AND LIMITED DURATIONS, BEFORE PERMANENT EROSION PROTECTION IS ESTABLISHED.
 SEDIMENT SHALL NOT BE WASHED INTO INLETS. IT SHALL BE REMOVED AND DISPOSED/STABILIZED SO THAT IT WILL NOT ENTER INLETS.
 EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE DEVICES SHOWN ON THE APPROVED PLAN IS FOR INFORMATION ONLY. DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERN, THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL DEVICES TO PREVENT EROSION DURING ANY PHASE OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.
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INSPECTION SCHEDULE AND PROCEDURES
 EACH DAY THERE IS ACTIVITY AT THE SITE, PORTIONS OF THE SITE WHERE ACTIVE DISTURBANCE, WORK OR CONSTRUCTION OCCURRED SHALL BE INSPECTED BY THE DESIGN PROFESSIONAL. ALSO, ANY RAINFALL MEASUREMENTS IN AREAS OF ACTIVE DISTURBANCE. ALSO, ANY RAINFALL MEASUREMENTS OCCURRING SINCE THE PREVIOUS OBSERVATION SHALL BE NOTED. ALL OBSERVATIONS AND RAINFALL MEASUREMENTS SHALL BE LOGGED.
SITE INSPECTIONS
 A COMPLETE AND COMPREHENSIVE OBSERVATION OF THE CONSTRUCTION SHALL BE CONDUCTED BY THE DESIGN PROFESSIONAL AT THE FOLLOWING STAGES: STORMWATER CONVEYANCES, AS WELL AS ALL OUTFALLS, RECEIVING IF, WATERS AND STREAM BANKS IS TO BE PERFORMED TO DETERMINE IF:
 1. EFFECTIVE EROSION AND SEDIMENT CONTROLS HAVE BEEN FULLY IMPLEMENTED AND MAINTAINED.
 2. MAXIMUM EXTENT PRACTICABLE AND PREVENTED/MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
 3. DISCHARGES DO NOT RESULT IN A CONTRAVENTION OF APPLICABLE STATE WATER QUALITY STANDARDS FOR THE RECEIVING WATERS.
 ANY QUALIFYING PRECIPITATION EVENT (3" OR GREATER IN A 24-HR PERIOD) AS SOON AS POSSIBLE BUT NOT LATER THAN 24 HOURS AFTER RESUMING OR CONTINUING ACTIVE CONSTRUCTION OR DISTURBANCE, AND INSPECTIONS SHALL ALSO BE PERFORMED AS OFTEN AS IS NECESSARY UNTIL ANY POORLY FUNCTIONING EROSION AND SEDIMENT CONTROLS, DURING A PRIOR INSPECTION ARE CORRECTED AND DOCUMENTED AS BEING IN COMPLIANCE. A SITE INSPECTION IS TO BE PERFORMED BY A GEP ONCE EVERY 6 MONTHS AFTER CONSTRUCTION HAS COMMENCED. INSPECTIONS SHALL BE CONDUCTED BY THE DESIGN PROFESSIONAL AND AGEN NPDES CERTIFICATION. STORMWATER INSPECTION REPORT AND BMP CERTIFICATION.
CORRECTIVE ACTION REQUIREMENTS
 POORLY FUNCTIONING BMP'S, NON-COMPLIANT DISCHARGES, OR ANY OTHER DEFICIENCIES OBSERVED DURING VISUAL OR RECORDER INSPECTIONS WILL BE CORRECTED AS SOON AS POSSIBLE. CORRECTIVE REPAIRS, REPLACEMENT, AND MAINTENANCE WILL BE IMPLEMENTED WITHIN FIVE DAYS OF THE INSPECTION, UNLESS PREVENTED BY UNSAFE CONDITIONS. THE EVENT OF A BREACH OF A SEDIMENT BASIN OR PERIMETER BARRIER THESE MEASURES WILL BE IMPLEMENTED WITHIN 24 HOURS FOLLOWING THE EVENT. THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL DEFICIENCIES IDENTIFIED WITHIN FIVE DAYS FOLLOWING THE INSPECTION. THE OPERATOR MUST CONTACT ADEM IF THE MEASURES CANNOT BE IMPLEMENTED WITHIN THE TIME ALLOWED.
 IF THERE IS A BMP DEFICIENCY/FAILURE OR NON-COMPLIANT DISCHARGE THAT CAUSES OR CONTRIBUTES TO A VIOLATION OF APPLICABLE WATER QUALITY STANDARDS, THE OPERATOR IS REQUIRED TO VISUALLY MONITOR THE DISCHARGE. THE OPERATOR SHALL COMPLETE AND SUBMIT ADEM FORM 25 "ADEN NPDES CONSTRUCTION STORMWATER NON-COMPLIANCE NOTIFICATION REPORT" WITH SUPPORTING DOCUMENTATION TO ADEM WITHIN 90 DAYS OF BECOMING AWARE OF SUCH DISCHARGE.
 IN THE EVENT THAT POLLUTANTS ARE DEPOSITED OFF-SITE OR IN A PRACTICAL, THE POLLUTANT IN THE FORM OF PERMEABLE CONSTRUCTION DEBRIS OR POLLUTANT RUBBISH, THE OPERATOR SHALL TAKE ALL REASONABLE STEPS TO REMOVE, TO THE MAXIMUM EXTENT POSSIBLE, ALL POLLUTANTS FROM THE SITE.
 1. RECOVERED POLLUTANTS IN THE FORM OF SEDIMENT ARE TO BE PERMANENTLY STABILIZED, OR DISPOSED OF WITH THE SOLID WASTE IN A PERMITTED CONSTRUCTION & DEMOLITION LANDFILL. AREAS OF PERMANENTLY STABILIZED OR DISPOSED OF WITH THE SOLID WASTE ONCE REMOVAL IS COMPLETE.

POTENTIAL NONSTORMWATER SOURCES OF POLLUTION

TRADE NAME	POTENTIAL KNOWN	LOCATION
POSTHOLES	STORMWATER POLLUTANTS	USED FOR VARIOUS NEED CONTROL
FOUNDATION	ORGANIC SOLVENTS, PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	NEWLY EXCAVATED AREAS
PLASTER	CEMENT, PLASTER, GYPSUM, CARBONATE	BUILDING CONSTRUCTION
CLEANING SOLVENTS	ORGANIC SOLVENTS, PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	NO EXISTING CLEANING WITH SOLVENTS ALLOWED IN PROJECT
ASPHALT	PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	STREET/PARKING AND ROADS
CONCRETE	CEMENT, PLASTER, GYPSUM, CARBONATE	PAVING AREA, BUILDING CONSTRUCTION
PAINTS	PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	BUILDING CONSTRUCTION
CEMENT COMPOUND	CEMENT, PLASTER, GYPSUM, CARBONATE	BUILDING CONSTRUCTION
HYDROCARBON OIL	PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	LAND OR BROWN AREAS FROM COMPACT
GREASE	PAINTS, OILS, GREASE, HYDROCARBONS, FUELS, ACIDS	FUELING AREA
DIESEL FUEL	PETROLEUM DISTILLATES, OIL & GREASE, HYDROCARBONS, FUELS, ACIDS	FUELING AREA
HYDROCARBON OIL	PETROLEUM DISTILLATES, OIL & GREASE, HYDROCARBONS, FUELS, ACIDS	LAND OR BROWN AREAS FROM EQUIPMENT
PORTABLE TOILET	HAZARDOUS WASTES AND PAINTS	ON-SITE

NOTE: ALL WASTES ARE TO BE PROPERLY STORED, HANDLED, AND NOT STORED. LOCATIONS SHOWN ARE APPROXIMATE AND SUBJECT TO CHANGE.

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 EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE DEVICES SHOWN ON THE APPROVED PLAN IS FOR INFORMATION ONLY. DURING CONSTRUCTION ARE DIFFERENT FROM THE PROPOSED DRAINAGE PATTERN, THE CONTRACTOR SHALL MAINTAIN PROPER EROSION CONTROL DEVICES TO PREVENT EROSION DURING ANY PHASE OF CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE DESIGN PROFESSIONAL IMMEDIATELY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING BARRIERS AT THE POINT OF SLOPE UNDER CONSTRUCTION. THESE BARRIERS SHALL BE REMOVED AFTER PERMANENT SLOPE STABILIZATION BECOMES FULLY ESTABLISHED. SLOPES THAT ARE RELOCATED, ANY DEFECTIVE MATERIALS IN REMOVED AREAS SHALL BE RELOCATED, ALL DEBRIS AND SILT AT THE PREVIOUS LOCATION SHALL BE REMOVED.
 CUT AND FILL SLOPES ARE NOT TO EXCEED 2:1 H:V.
 INLET SEDIMENT PROTECTION MEASURES SHALL BE INSTALLED ON ALL STORM STRUCTURES AS THEY ARE CONSTRUCTED.
 STORM DRAIN OUTLET PROTECTION SHALL BE PLACED AT ALL OUTLET HEADWALLS AS SOON AS THE HEADWALL IS CONSTRUCTED.
 CHECK DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED FLOWS AS SHOWN ON THE PLAN.
 ALL DRAINAGE SWALES SHALL BE STABILIZED AS SOON AS FINAL GRADE IS ACHIEVED.
 ALL GRADED AREAS SHALL BE APPLIED WITH VEGETATIVE COVER AS SOON AS FINAL GRADE IS ACHIEVED.

GENERAL GROUNDKEEPING NOTES
 ALL VEHICLES KEPT ON THE SITE NEED TO BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE RISK OF TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. IF PETROLEUM PRODUCTS ARE STORED ON-SITE, A SECONDARY CONTAMINATION FACILITY WILL BE REQUIRED. THE CUMULATIVE STORAGE EXCEEDS 1,320 GALLONS. ANY ASPHALT SUBSTANCES USED ON-SITE SHOULD BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
FUELING & SERVICING
 NO FUELING, SERVICING, MAINTENANCE, OR REPAIR OF EQUIPMENT OR VEHICLES SHALL BE PERFORMED WITHIN 100 FEET OF A STREAM CLASSIFIED FOR PUBLIC WATER SUPPLY (PWS) OR OUTSTANDING NATIONAL RESOURCE WATER (ONRW), OR A SINKHOLE.
DISPOSAL OF OIL
 NO FLUENTS, SOLVENTS, OR OTHER HAZARDOUS MATERIALS MUST BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE LAW.
TRASH/DEBRIS WASTE
 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL SOLID WASTE FROM THE SITE, IN ACCORDANCE WITH STATE LAW. DUMPSTERS OR OTHER COLLECTION FACILITIES MUST BE PROVIDED AS NEEDED. SOLID WASTE MAY NOT BE BURIED ON THE SITE.
SEWAGE TREATMENT
 SEWAGE TREATMENT IS RESPONSIBLE FOR PROVIDING SANITARY FACILITIES ON THE SITE. PORTABLE TOILETS ARE TO BE LOCATED ON LEVEL GROUND, AWAY FROM DRAINAGE INLETS OR FEATURES, AND SERVICED BY A LICENSED PROVIDER.
OTHER DISCHARGES
 FLOWS FROM THE FOLLOWING NON-STORMWATER DISCHARGES ARE TO BE DIRECTED TO DRAINAGE INLETS:
 • FRESH DOMESTIC WASHING
 • WATER USED TO CONTROL DUST
 • POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHINGS
 • ROUTINE EXTERNAL BUILDING WASH DOWN ASSOCIATED WITH CONSTRUCTION THAT DOES NOT USE DETERGENTS
 • WASHING OF VEHICLES OR EQUIPMENT
 • HAZARDOUS MATERIALS HAVE NOT BEEN DISCOVERED (UNLESS ALL SPILLED MATERIAL HAS BEEN REMOVED) AND OTHER DETERGENTS ARE NOT USED
 • UNCONTAMINATED SPRINKLER WATER OR SPRINKLER WATER
 • FOUNDATION OR COILING CRANS WHERE FLOWS ARE NOT CONTAMINATED WITH TOXIC MATERIALS SUCH AS SOLVENTS
 • LANDSCAPE IRRIGATION
 • WASHING OF CONCRETE
 THE COMPONENT OF THE DISCHARGE IS IN COMPLIANCE WITH PART 1.B.(2) OF THE ALABAMA GENERAL CONSTRUCTION PERMIT.

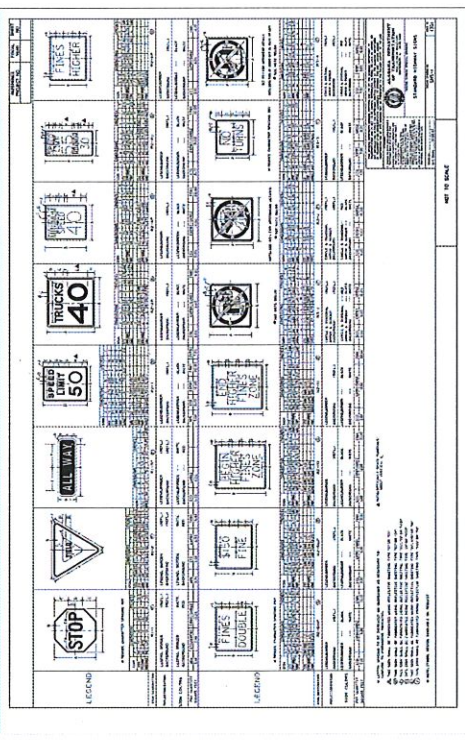
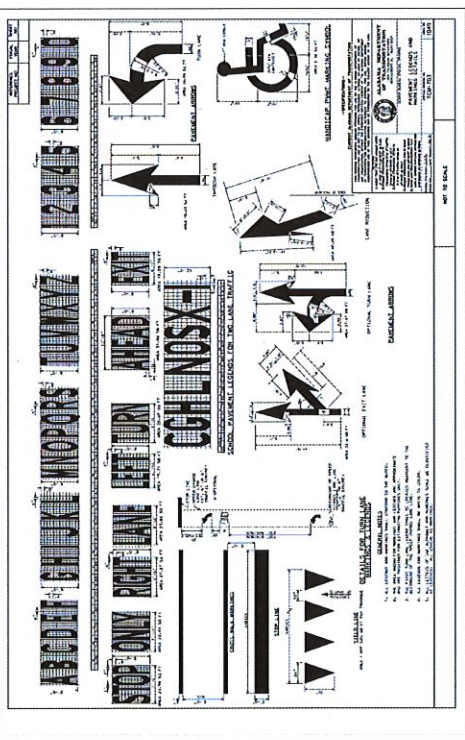
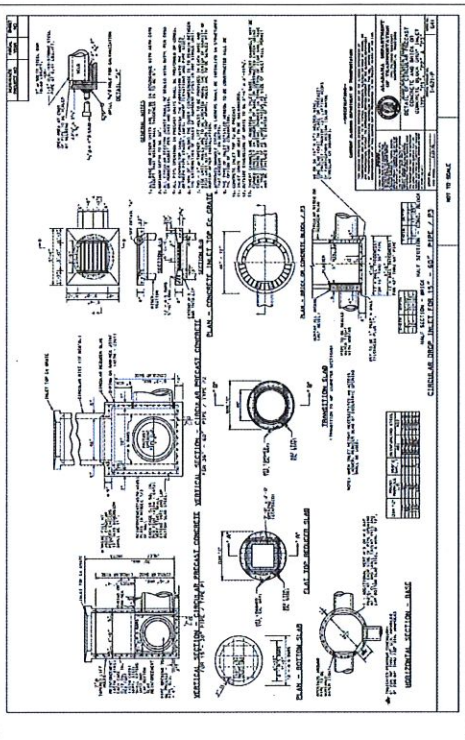
NATIONAL RESPONSE CENTER (800) 424-8802
 ALABAMA EMERGENCY RESPONSE BRANCH (205) 933-2224
 ADEM EMERGENCY RESPONSE AFTER-HOURS (800) 843-0899



NEW RETAIL STORE
 AL HWY 3
 BALDWIN COUNTY

DRAWN BY: JAC
 DATE: 08-07-2017
 REVISIONS: 10-04-2017
 ADOT DETAILS

SHEET 16 OF 16
 Broadway Management, LLC
 210 Park Avenue - Suite 1000 - Birmingham, AL 35203
 Phone: (205) 932-7323 - Fax: (205) 932-7329



**70'-0" x 130'-0" 9,100 SQ. FT.
LEFT CORNER ENTRY
BAY MINETTE, ALABAMA
STORE #18945**



REQUIRED NATIONAL ACCOUNT VENDORS

COMPANY	CONTACTS	PHONE #	REQUIRED ITEMS
MC CUE CORPORATION	FRANCIS B. JOHNSON ORDERS - BRETT JOHNSON NATIONAL ACCOUNTS	604-293-7783 800-850-8503 EXT. 268 800-461-9738	TRIM KIT INCLUDES BUMPER GUARDS AND CART STOP HVAC UNITS AR, CO., IL, IN, KY, MS, MD, OH, OK, WV CT, LA, MA, ME, MI, MN, ND, NE, NH, NJ, NY, PA, RI, SD, VT, WI
CARRIER	ANDREW BROWNELL	972-487-6884	HVAC UNITS AL, AZ, CA, DE, FL, GA, IA, MD, MS, NC, NV, NY, OH, SC, TN, TX, VA
LENNOX	MICHAEL JOHNSTON	800-983-9848 888-638-2872	RTU CURB
ROOF CURB SYSTEMS	GREG SMITH	800-983-9848	RTU CURB
CURBS PLUS INC.	ALLAN THRAKILL	888-638-2872	RTU CURB
KCC INTERNATIONAL INC.	GREG CONRAD	800-392-2872	RTU CURB
SHERWIN WILLIAMS	LOCAL SHERWIN WILLIAMS STORE	800-392-2872	PAINT PRIMER, CONCRETE SEALER AND BLOCK FILLER OH, PA, VA, WV
RECORD DOOR SYSTEMS	MICHAEL VINNIK	704-290-0234	MODEL #G117154-02
STANLEY ACCESS	DENNIS WEBB	256-776-8902	AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, MODEL #ES4000 ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
ASSA ABLOY ENTRANCE SYSTEMS	ROSS MERKING	609-628-2580	AL, FL, GA, MS, NC, SC, TN
D&P CUSTOM LIGHTING TECHNOLOGIES	NATIONAL ACCOUNT SALES	800-251-7200	CUSTOM POWER POLES
EMERSON CLIMATE TECHNOLOGIES	WEBSITE: http://aircaregeneralib.com/controls.net		SWITCHES FOR USE WITH THE CURB CURB KIT. OPERATIONALS PANEL, REDUCES SWAP OUT TIME, USES ONE TO FOUR UNITS OF THE CURB KIT WHEN OPERATING.
EUCID CHEMICAL	PHIL BRANDT	877-438-3926	CONCRETE POLISHING SYSTEMS
RETRO-PLATE SYSTEMS	CURTIS TURNBULL	888-542-3144	CONCRETE POLISHING SYSTEMS
ETI	MICHAEL STRINGER	920-915-4010	ELECTRICAL LIGHTING SUPPLIES AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
LSG	ROBERT DECKER	270-781-2229	ELECTRICAL SWITCH GEAR AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
GED - CONSOLIDATED ELECTRICAL DISTRIBUTORS	CHRIS TRACY	800-939-6800	ELECTRICAL SWITCH GEAR AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
NESCO	MIKE MOYMAHAN	615-350-6000	INTERIOR DOORS AND FRAMES AL, AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
GIRTMAN AND ASSOCIATES	DAN GOLDSMITH	866-887-7467	INTERIOR DOORS AND RESTROOM ACCESSORIES AL, AR, AZ, CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
COOK & BOARDMAN GROUP SECURITY SOLUTIONS	ANDREA LEMAY	740-215-8913	INTERIOR FIRE ALARM PANELS
CROSSCOM NATIONAL	CHRIS RUDNISKI	847-890-6297	LOW VOLTAGE & VOICEDATA CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
ASD	JEROME BANNISTER	888-624-1048	LOW VOLTAGE & VOICEDATA CA, CO, DE, FL, GA, IA, MA, ME, MI, MN, MO, ND, NE, NH, NJ, NY, OH, PA, RI, SD, TN, TX, VA, WI
GRAYBAR	LOCAL RAIN BIRD DISTRIBUTER	617-743-3102 office, 615-924-2135 cell	CABLE TRAY
RAINBIRD IRRIGATION	ATC ASSOCIATES, INC.	WWW.RAINBIRD.COM	IRRIGATION SYSTEMS

REQUIRED NATIONAL ACCOUNT VENDORS

COMPANY	CONTACTS	PHONE #	REQUIRED ITEMS
ATC ASSOCIATES, INC.	LESLIE GREENWOOD	205-733-8777	WWW.ATCASSOCIATES.COM
BUILDING AND EARTH SCIENCES, INC.	MATT ADAMS	205-836-6300	WWW.BUILDINGANDEARTH.COM
ENG PROFESSIONALS, INC.	JERRY HARRONE	601-961-1111	WWW.ENG-PRO.COM
PROFESSIONAL SERVICE INDUSTRIES, INC. (PSI)	TERESA HEINER	770-424-6200 #3030	WWW.PSIUSA.COM
TERRACON	JOHN MEADOW	704-823-0798 #653	WWW.TERRACON.COM

PROTOTYPE MANAGEMENT TEAM

COMPANY	CONTACTS	PHONE #
MJM ARCHITECTS	GARY CONWAY	615-244-8170
ENTECH	MITCH SIMPSON	615-373-2640

NATIONAL ACCOUNT & CONTACT INFORMATION SUBJECT TO CHANGE

ALL DEVELOPERS MUST SUBMIT COMPLETE SIGNED AND SEALED ARCHITECTURAL PLANS TO THE ARCHITECT FOR REVIEW AND APPROVAL. SUBMIT PLANS TO THE ARCHITECT WITHIN 10 BUSINESS DAYS OF THE PERMITTING RELEASE OR CONSTRUCTION RELEASE.

CIVIL DOCUMENTS WILL ALWAYS BE REQUIRED FOR APPROVAL.

ALL PROTOTYPICAL PLAN INQUIRIES TO BE DIRECTED TO THE DOLLAR GENERAL ARCHITECTURAL AND ENGINEERING DEPARTMENT EMAIL TO BTSPANS@DOLLARGENERAL.COM

ALL SUBMITTALS MUST INCLUDE THE ARCHITECT'S CERTIFICATION LETTER ITEMIZING ALL DEVIATIONS FROM THIS SET AND EXPLANATIONS.



DRAWING LIST

GENERAL:
T1 TITLE SHEET

CIVIL:

NO.	DATE	DESCRIPTION
1	8/30/2017	ISSUED FOR PERMITTING
2	8/30/2017	ISSUED FOR PERMITTING
3	8/30/2017	ISSUED FOR PERMITTING
4	8/30/2017	ISSUED FOR PERMITTING
5	8/30/2017	ISSUED FOR PERMITTING
6	8/30/2017	ISSUED FOR PERMITTING
7	8/30/2017	ISSUED FOR PERMITTING
8	8/30/2017	ISSUED FOR PERMITTING
9	8/30/2017	ISSUED FOR PERMITTING
10	8/30/2017	ISSUED FOR PERMITTING
11	8/30/2017	ISSUED FOR PERMITTING
12	8/30/2017	ISSUED FOR PERMITTING
13	8/30/2017	ISSUED FOR PERMITTING
14	8/30/2017	ISSUED FOR PERMITTING

ARCHITECTURAL:

- F01 FURNITURE PLAN, FOR REFERENCE ONLY
- A01 FLOOR PLAN, DETAILS & INTERIOR PARTITIONS
- A02 SECTIONS & DETAILS
- A03 ROOM FINISH SCHEDULE & SALES FLOOR DOCK SCHEDULE & DETAILS
- A04 TOILET ROOM PLAN & DETAILS
- A05 SIGN DETAILS
- A06 REFLECTED CEILING PLAN
- A07 LIFE SAFETY PLAN

STRUCTURAL:

- S01 ROOF PLAN, ALL BUILDING NOTES
- S02 CONCRETE SPECS & CONCRETE FINISH
- S03 CONCRETE ANALYSIS, MISC NOTES & ROOF CURB DETAILS

ELECTRICAL:

- E1 POWER PLAN
- E2 LIGHTING PLAN
- E3 POWER POLE DETAILS
- E4 PANEL SCHEDULES
- E5 EMS LOW VOLTAGE PLAN
- EMS1 EMS PANEL & CONTROLS
- EMS2

MECHANICAL:

- M1 HVAC LAYOUT & SCHEDULE
- M2 HVAC DETAILS

PLUMBING:

- P1 SQUARE FOOTAGE LEGEND
- P2 PLUMBING SCHEDULES

OVERALL BUILDING DIMENSIONS	SALES AREA	RECEIVING AREA	TOILET ROOMS	TOTAL NET AREA
70'-0" X 130'-0"	7,422 S.F.	965 S.F.	125 S.F.	8,688 S.F.

NOTES:
1. BUILDING MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE AND LOCAL), FIRE, ACCESSIBILITY AND HEALTH DEPARTMENT CODES.
2. NO TAPERED COLUMNS ALLOWED.
3. MAINTAIN INTERIOR CLEAR SALES SPACE AS REQUIRED ON PLANS.

PROJECT: 56.09.17
DATE: 8/30/2017
REVISED:
SHEET TITLE
TITLE PLAN
SHEET NO
T1

NEW RETAIL STORE
BAY MINETTE, ALABAMA



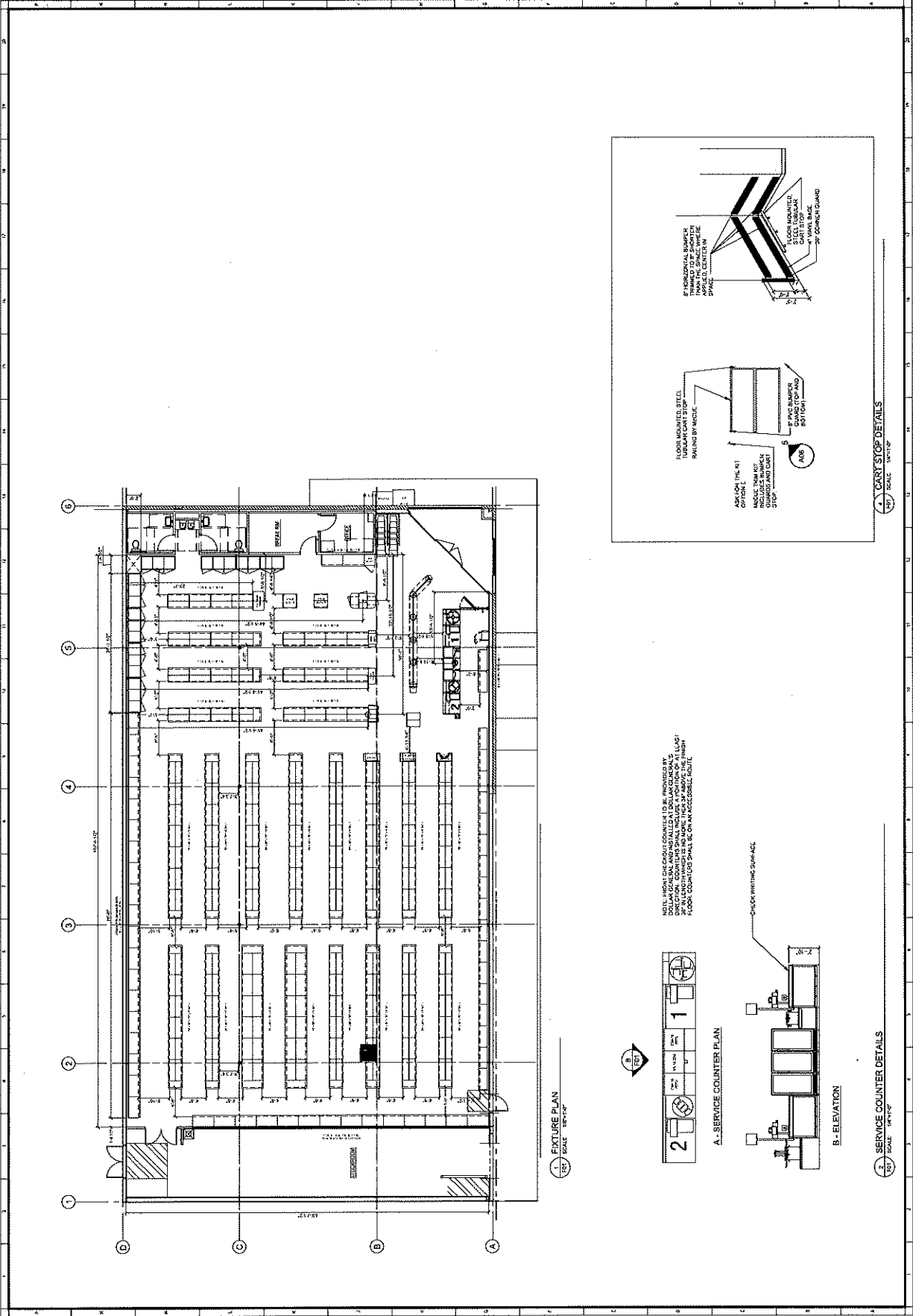
NEW RETAIL STORE
 BAY WETTE, ALABAMA

PROJECT: 58,08.17
 DRAWN: AIG
 DATE: 8/30/2017
 REVISIONS:

SHEET TITLE:
 FIXTURE PLAN

SHEET NO.:

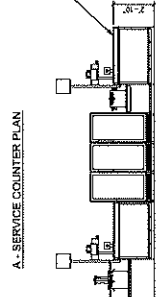
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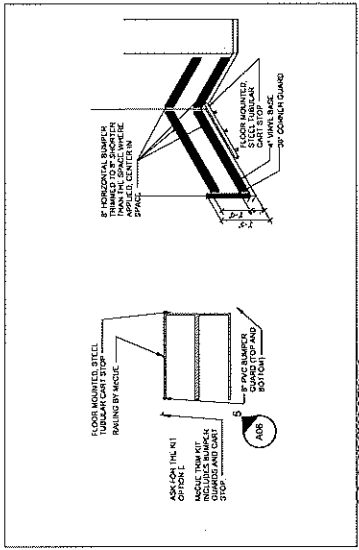
1. FIXTURE PLAN
 SCALE: 1/8"=1'-0"

NOTE: HIGH CLEAR COUNTER HEIGHTS TO BE PROVIDED BY CONTRACTOR. COUNTERS SHALL INCLUDE A PORTION OF A WALL. FLOOR COUNTERS SHALL BE ON AN ACCESSIBLE SLOPE.

2. SERVICE COUNTER PLAN
 SCALE: 1/8"=1'-0"



3. SERVICE COUNTER DETAILS
 SCALE: 1/8"=1'-0"

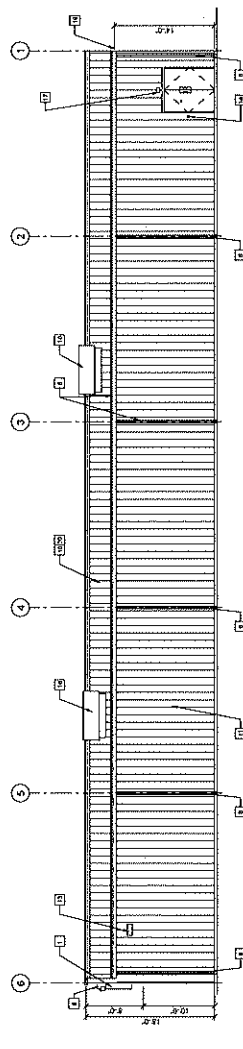
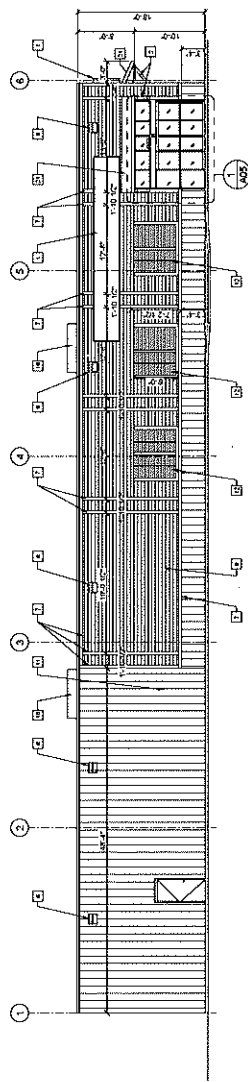
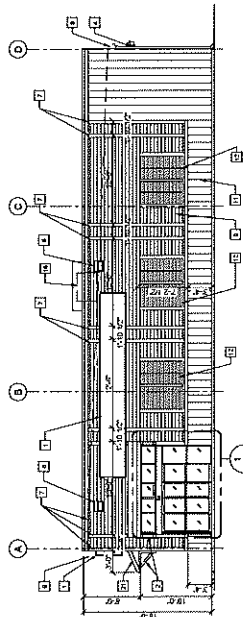
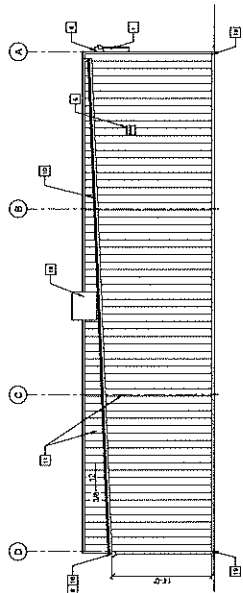


4. CART STOP DETAILS
 SCALE: 1/8"=1'-0"



NEW RETAIL STORE

- ELEVATION KEYED NOTES**
- 1 SKIN FINISHED AND INSTALLED BY DOLLAR GENERAL CORP. REFER TO THE GENERAL CONTRACT DOCUMENTS FOR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. MANUFACTURER TO SUPPORT AND WEIGHT OF UP TO 400 LBS PER LINEAL FOOT. COORDINATE THE FINISH SCHEDULE TO BE USED WITH DOLLAR GENERAL.
 - 2 WHITE TO MATCH TRIM.
 - 3 FLOOD LIGHT (TOP A.F.F.) AT CENTERLINE OF CONNECTION TO EXISTING WALL. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 4 FLOOD LIGHT (TOP A.F.F.) TO TOP OF WALL FACE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 5 FIBERGLASS GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - 6 GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - 7 FIBERGLASS GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
 - 8 STANDING SEAM METAL ROOF GALVALUME FINISH.
 - 9 PRE-FINISHED METAL WALL PANELS - PROVIDE TAMPERS LIGHT TONGUE OF ALTERNATE IS REQUIRED. COLOR TO BE SW FOR FINISH MATCHING. ATTACH TO STANDING WALL AND APPLY FINISH TO INSIDE SURFACE OF SHEATHING FOR FINISH.
 - 10 DOOR SIZES - REFER TO BOY FOR ADDITIONAL INFORMATION.
 - 11 NOT USED.
 - 12 WINDOW SIZES - REFER TO MECHANICAL.
 - 13 WINDOW SIZES - REFER TO MECHANICAL.
 - 14 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOOR OF 12' A.F.F.
 - 15 WINDOW SIZES - REFER TO MECHANICAL.
 - 16 WINDOW SIZES - REFER TO MECHANICAL.
 - 17 IN WETTER CLIMATES, PROVIDE SNOW GUARDS ON ROOF PER LOCAL CODE.
 - 18 METAL CANOPY, SUPPORTED BY WOOD BRACKETS.
 - 19 NOT USED.





NEW RETAIL STORE

BY METRIC, ALABAMA

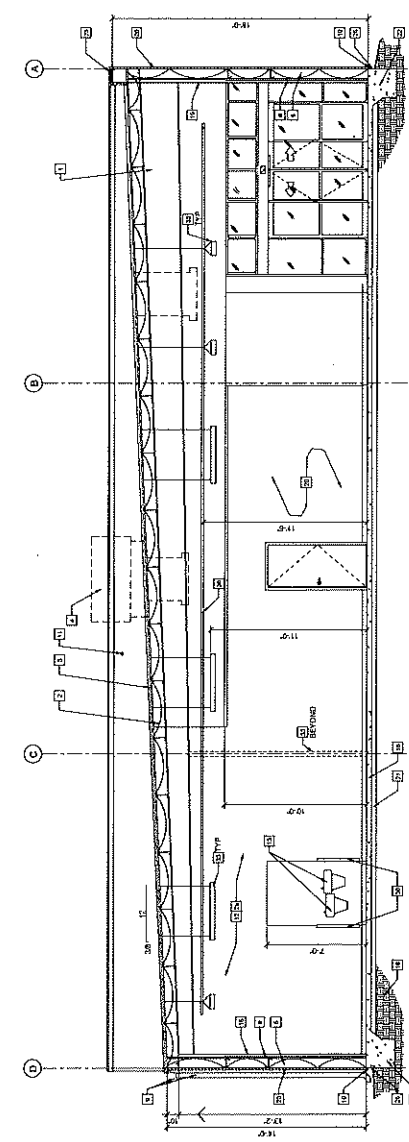
PROJECT: 08.17
DRAW: AC
DATE: 8/30/2017

SHEET TITLE
SECTIONS & DETAILS

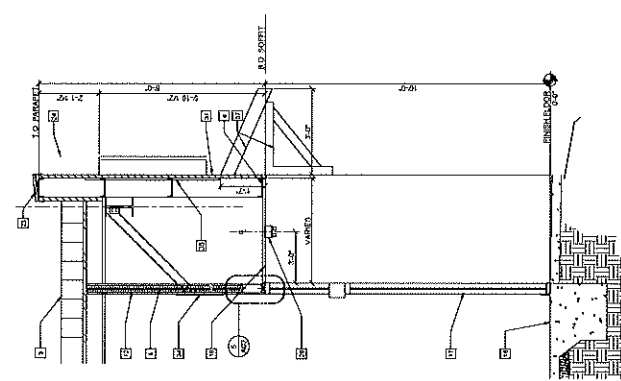
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A3

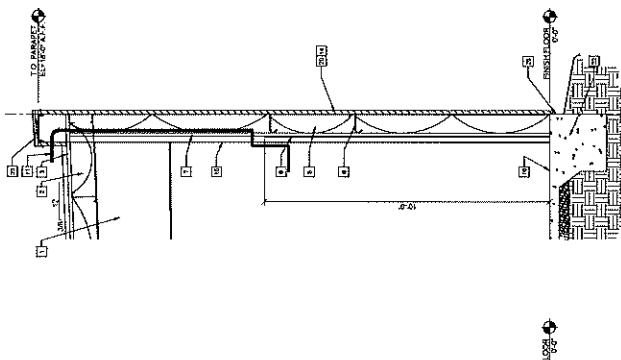
- SECTION KEYED NOTES**
1. SYSTEM BY BUILDING MANUFACTURER.
 2. MINIMUM INSULATION (R-15) SHALL BE PROVIDED THROUGHOUT EACH PANEL BY PERI INSULATION SYSTEM. PERI INSULATION SYSTEM SHALL BE INSTALLED ON ATTACHMENT SURFACE AND ON INSIDE SURFACE OF PANEL.
 3. STANDING SEAM METAL ROOF: WHITE POLYURETHANE INSULATED PANEL WITH 1.5" POLYURETHANE INSULATION. REFER TO NOTES ON E2.
 4. REFER TO METAL CEILING.
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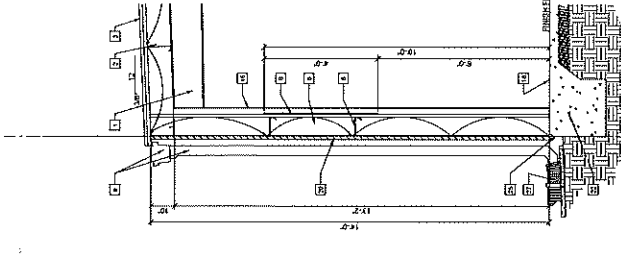
1. BUILDING SECTION
SCALE: 1/4" = 1'-0"



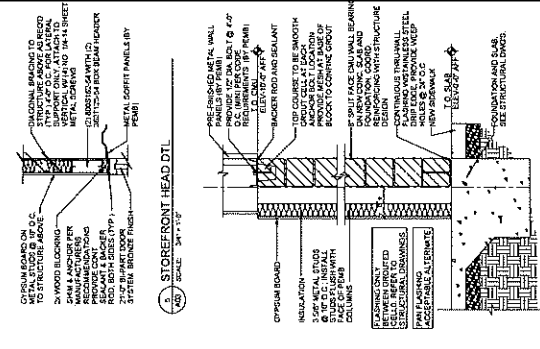
2. WALL SECTION
SCALE: 1/2" = 1'-0"



3. WALL SECTION
SCALE: 1/2" = 1'-0"



4. WALL SECTION
SCALE: 1/2" = 1'-0"



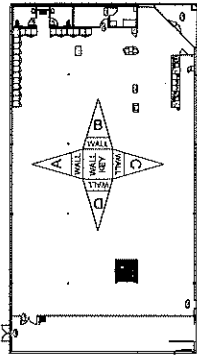
5. STOREFRONT HEAD DTL
SCALE: 3/4" = 1'-0"

(NOT USED; REFER TO DETAIL 28 THIS SHEET)
SCALE: 1/2" = 1'-0"

(NOT USED; REFER TO DETAIL 28 THIS SHEET)
SCALE: 1/2" = 1'-0"

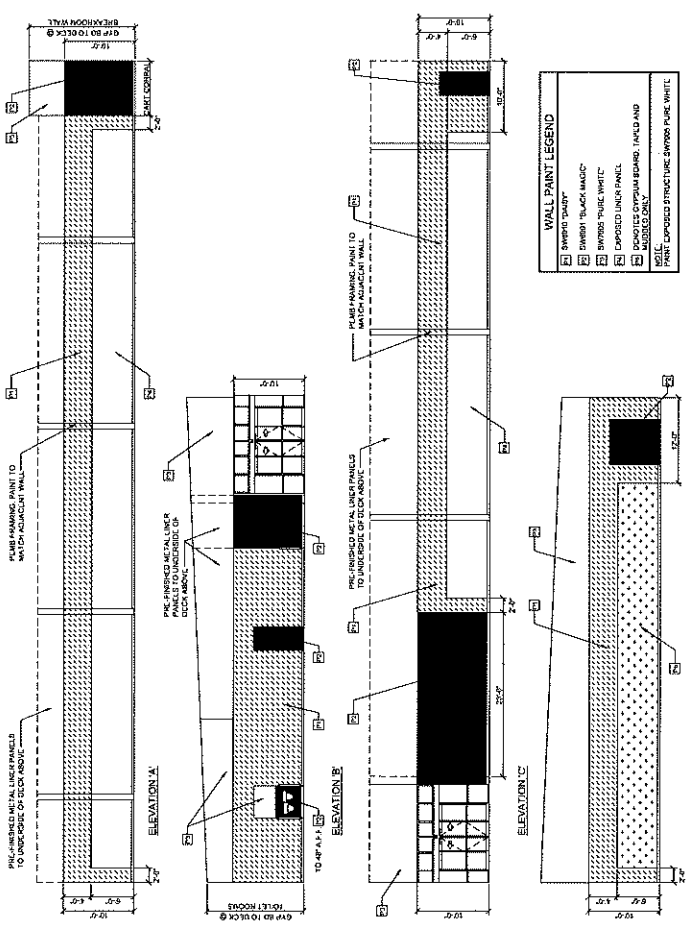
(NOT USED; REFER TO DETAIL 28 THIS SHEET)
SCALE: 1/2" = 1'-0"

(NOT USED; REFER TO DETAIL 28 THIS SHEET)
SCALE: 1/2" = 1'-0"



FINISH KEY PLAN
SCALE: 1/8" = 1'-0"

ROOM SCHEDULE												
NO.	ROOM NAME	FLOOR	MATERIAL	FINISH	BASE	WALL	WALL	WALL	WALL	WALL	CEILING	REMARKS
100	BRICK RM	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
101	DRIVE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
102	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
103	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
104	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
105	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
106	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
107	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
108	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
109	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
110	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
111	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
112	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
113	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
114	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
115	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
116	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
117	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
118	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
119	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE
120	HALL	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE	CONCRETE



SALES FLOOR PAINT ELEVATIONS
SCALE: 1/4" = 1'-0"



NEW RETAIL STORE
BAY WATTE, ALAYNA

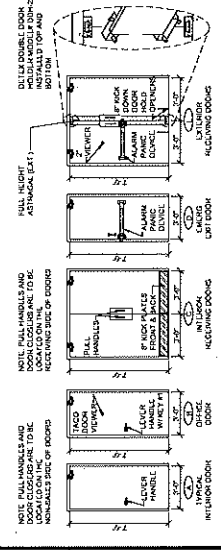
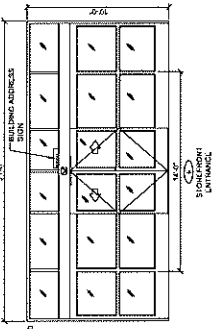
PROJECT NO. 17
DATE 8/30/2017
REVISED

SHEET TITLE: DOOR & WINDOW DETAILS

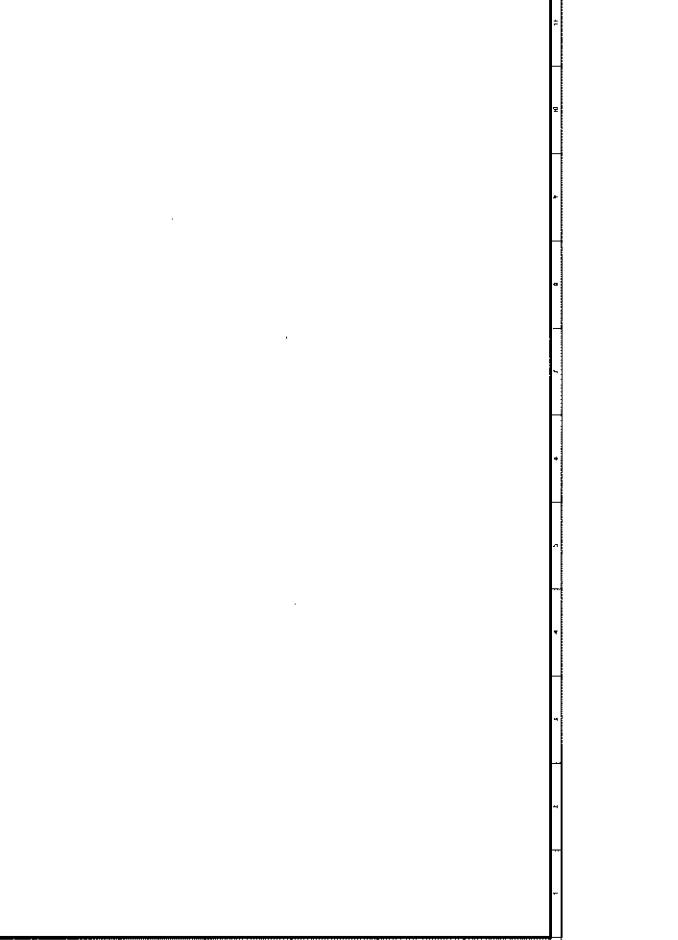
SHEET NO. A5

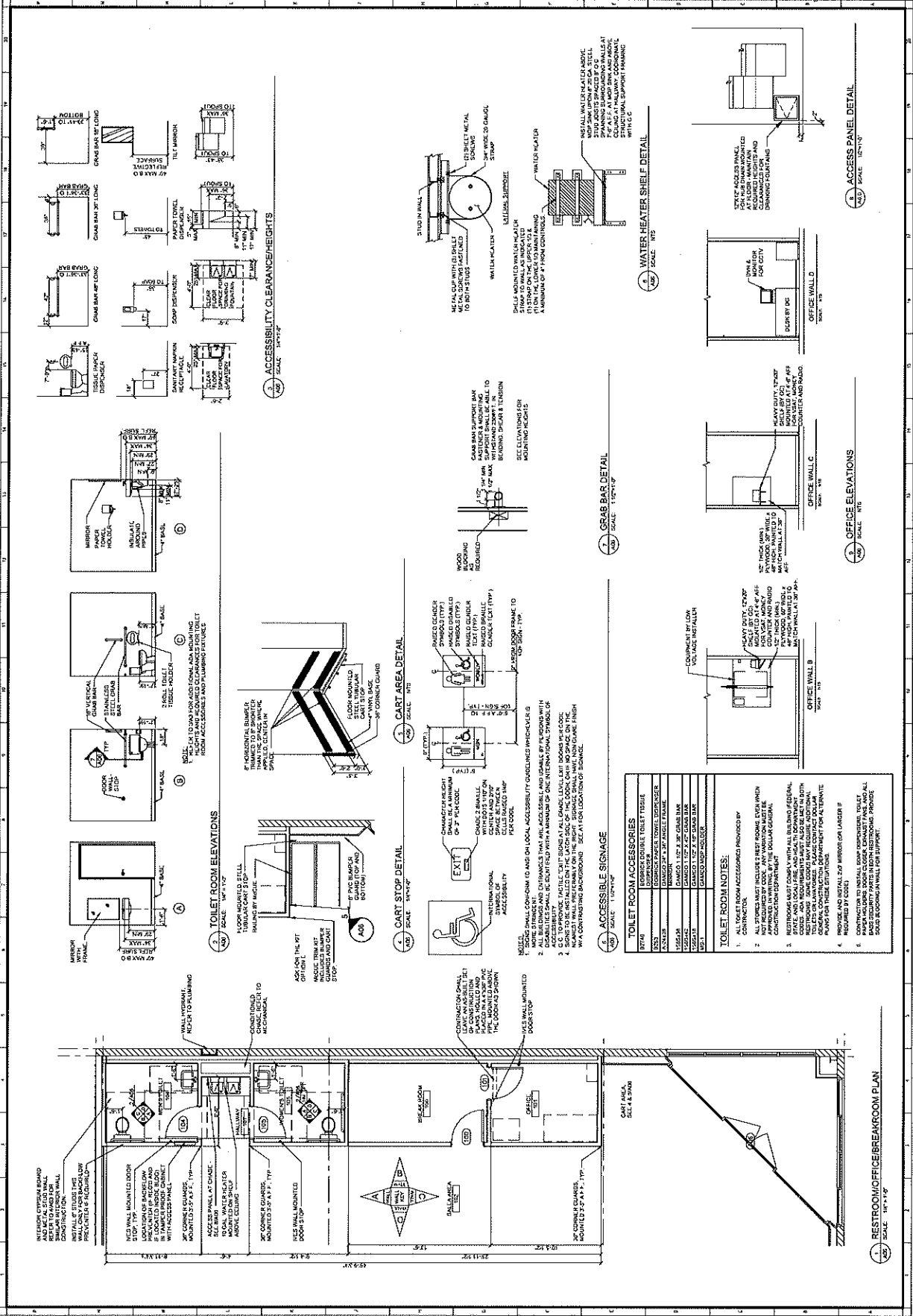
DOOR SCHEDULE				DOOR HARDWARE				REMARKS
NO.	TYPE	SIZE	DETAILS	NO.	TYPE	DETAILS	REMARKS	
100	A	7'-2"	1-3A'	100	1	1-3A'	SOLID WOOD DOOR ON HOLLOW CORE, MTL. NL. DOOR PAINTED SWISS, BLACK MAGIC (SEMI-GLOSS)	
101	B	7'-0"	1-3A'	101	1	1-3A'	SOLID WOOD DOOR ON HOLLOW CORE, MTL. NL. DOOR PAINTED SWISS, BLACK MAGIC (SEMI-GLOSS)	
102	D	7'-0"	1-3A'	102	1	1-3A'	HOLLOW CORE, MTL. NL. DOOR PAINT SWISS, BLACK MAGIC (SEMI-GLOSS)	
103A	C	8'-0"	1-3A'	103A	1	1-3A'	HOLLOW CORE, MTL. NL. DOOR PAINT SWISS, BLACK MAGIC (SEMI-GLOSS)	
103B	C	8'-0"	1-3A'	103B	1	1-3A'	HOLLOW CORE, MTL. NL. DOOR PAINT SWISS, BLACK MAGIC (SEMI-GLOSS)	
104	A	7'-2"	1-3A'	104	1	1-3A'	SOLID WOOD DOOR ON HOLLOW CORE, MTL. NL. DOOR PAINTED SWISS, BLACK MAGIC (SEMI-GLOSS)	
105	A	7'-2"	1-3A'	105	1	1-3A'	SOLID WOOD DOOR ON HOLLOW CORE, MTL. NL. DOOR PAINTED SWISS, BLACK MAGIC (SEMI-GLOSS)	
106	E	8'-0"	1-3A'	106	1	1-3A'	SOLID WOOD DOOR ON HOLLOW CORE, MTL. NL. DOOR PAINTED SWISS, BLACK MAGIC (SEMI-GLOSS)	

DOOR HARDWARE:
 (1) 1-3A' 1" x 3" x 1/2" ALUMINUM DOOR HANDLE
 (2) 1-3A' 1" x 3" x 1/2" ALUMINUM DOOR HANDLE
 (3) 1-3A' 1" x 3" x 1/2" ALUMINUM DOOR HANDLE
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 (100) 1-3A' 1" x 3" x 1/2" ALUMINUM DOOR HANDLE



DOOR ELEVATIONS
SCALE: 1/8" = 1'-0"







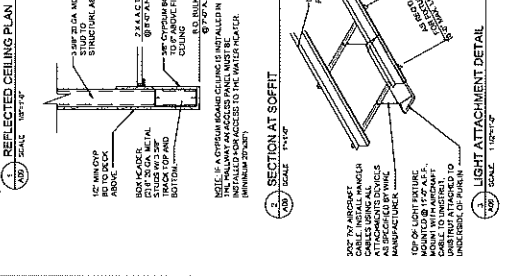
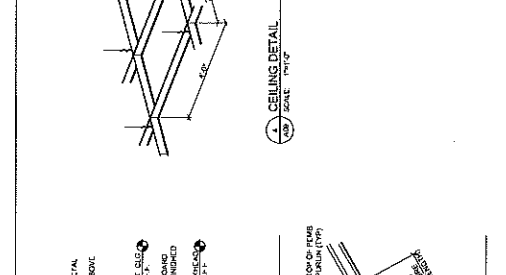
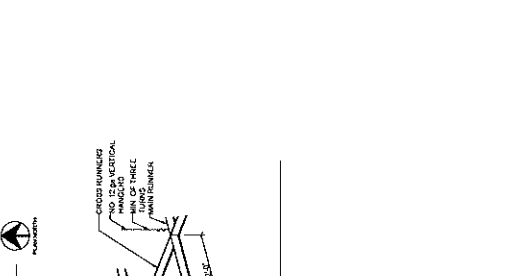
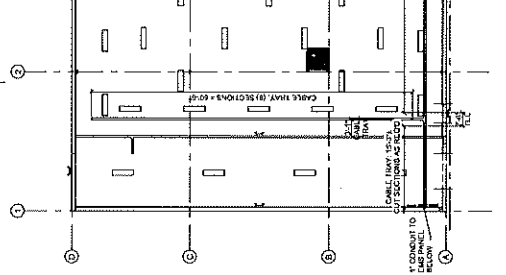
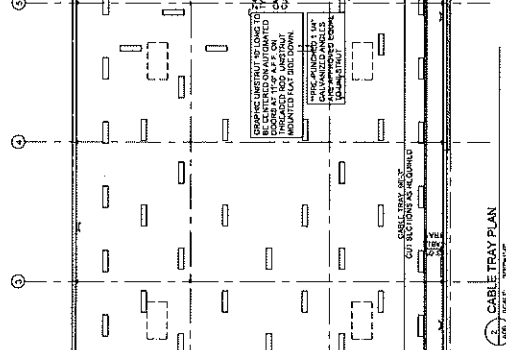
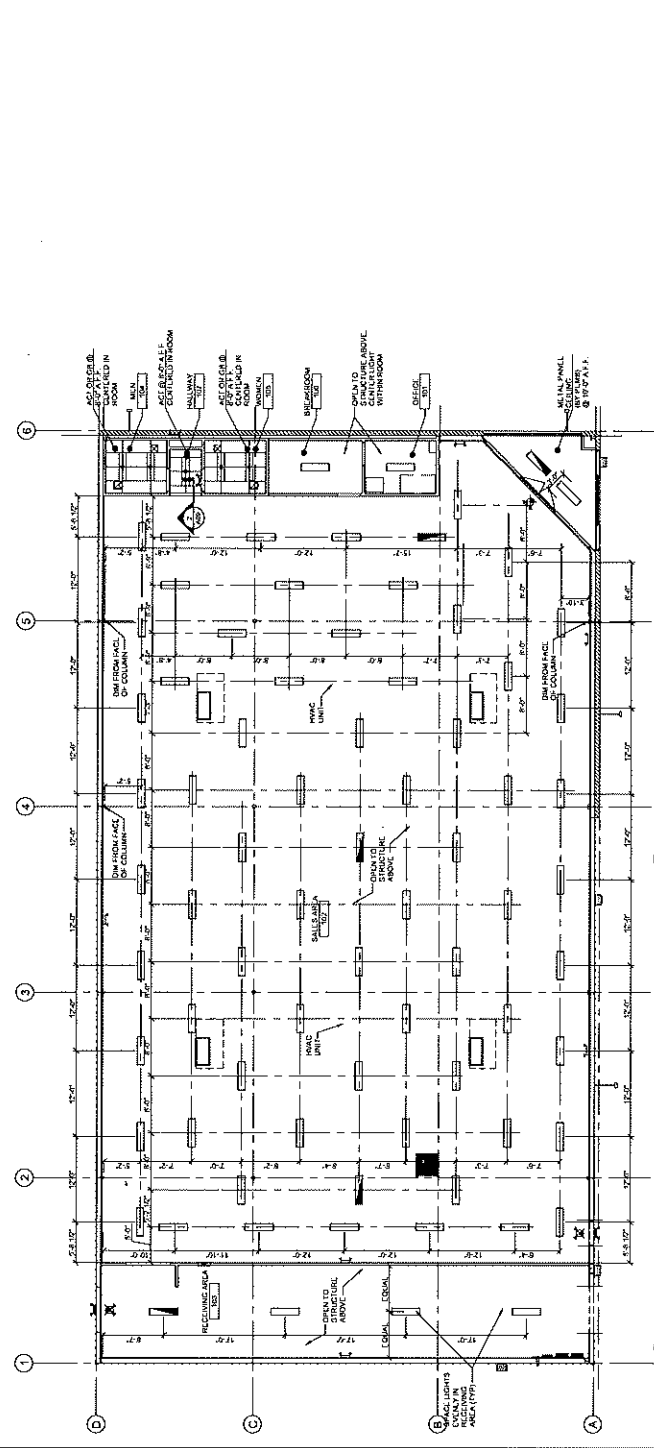
LEGEND	
WALLBACK	CHASSET LAMP
TRANSFORMER DRILL	DET. LED LIGHT AND EXT. ROOM
EMERGENCY LIGHT	CONDUIT
CONDUIT	WALL MOUNTED LIGHT
WALL MOUNTED LIGHT	WALL MOUNTED LIGHT

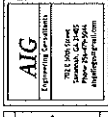
NOTES

1. REFER TO ALL LEGAL DRAWINGS FOR ALL SPECIFICATIONS AND OTHER NECESSARY INFORMATION.
2. REFER TO ALL LEGAL DRAWINGS FOR ALL SPECIFICATIONS AND OTHER NECESSARY INFORMATION.
3. REFER TO ALL LEGAL DRAWINGS FOR ALL SPECIFICATIONS AND OTHER NECESSARY INFORMATION.
4. REFER TO ALL LEGAL DRAWINGS FOR ALL SPECIFICATIONS AND OTHER NECESSARY INFORMATION.

REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"





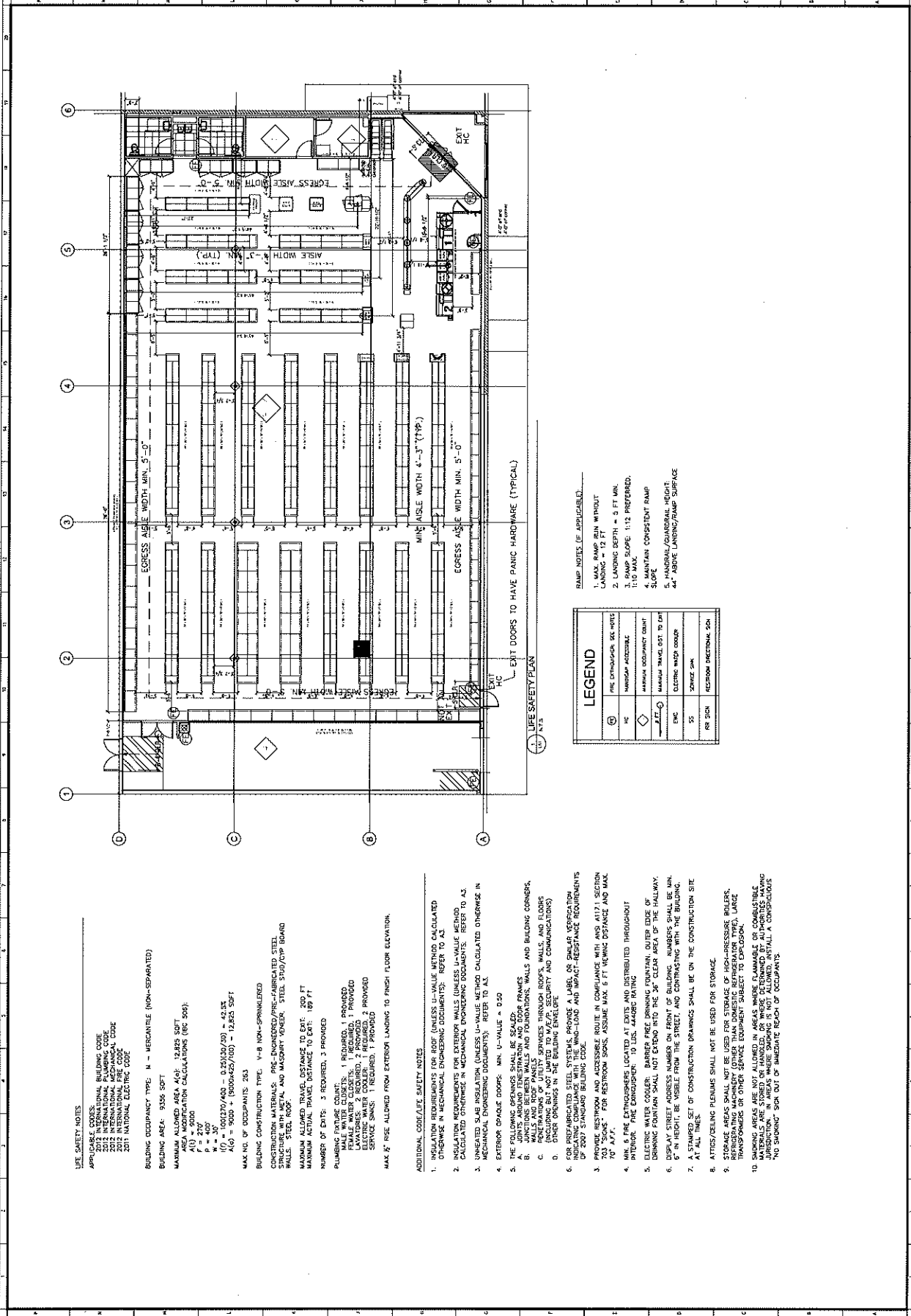
NEW RETAIL STORE

BAY WHITE, ALABAMA

PROJECT: 18.09.17
DRAWN: [Name]
DATE: 8/30/2017

LIFE SAFETY PLAN

SHEET 45
LS1



- RAMP NOTES (IF APPLICABLE):
1. MAX. RAMP RISE WITHOUT LANDING = 1/2 FT
 2. LANDING DEPTH = 5 FT MIN. 1:12 MAX. SLOPE 1:12 PREFERRED.
 3. MAINTAIN CONSISTENT RAMP SLOPE
 4. MAINTAIN CONSISTENT RAMP SLOPE
 5. HORIZONTAL/ANGULAR HEIGHT: 4\"/>

LEGEND	
(A)	ENC. ENCLOSURE, SEE NOTES
HC	HORIZONTAL ACCESSIBLE
OC	MINIMUM OCCUPANT COUNT
EXIT	MINIMUM TRAVEL DIST. TO EXIT
ENC	ELECTRIC WIRE DUCT
SS	SHOWERS
RR SIGN	RECREATIONAL SIGN

LIFE SAFETY NOTES

APPLICABLE CODES:
 2015 INTERNATIONAL BUILDING CODE
 2015 INTERNATIONAL PLUMBING CODE
 2015 INTERNATIONAL MECHANICAL CODE
 2015 INTERNATIONAL FIRE CODE
 2011 NATIONAL ELECTRIC CODE

BUILDING OCCUPANCY TYPE: M - MERCANTILE (NON-SEPARATED)
 BUILDING AREA: 9356 SQ FT
 MAXIMUM ALLOWED AREA A101: 12,825 SQ FT
 AREA MODIFICATION CALCULATIONS (IBC 509):
 $P = 277$
 $Q = 400$
 $A101 = 9000 + (9000 \times 400 / 277) = 12,825$
 $A101 = 9000 + (9000 \times 400 / 100) = 12,825$ SQ FT

MAX. NO. OF OCCUPANTS: 283
 BUILDING CONSTRUCTION TYPE: V-B NON-SPRINKLED
 CONSTRUCTION MATERIALS: PRC-ENGINEERED/PRE-FABRICATED STEEL STRUCTURE WITH METAL AND MASONRY VENEER, STEEL 3/100/07P BOARD WALLS, STEEL ROOF.
 MAXIMUM ALLOWED TRAVEL DISTANCE TO EXIT: 200 FT
 MINIMUM ACTUAL TRAVEL DISTANCE TO EXIT: 69 FT
 NUMBER OF EXITS: 3 REQUIRED, 3 PROVIDED
 PLUMBING FIXTURE COUNT:
 FEMALE WATER CLOSETS: 1 REQUIRED, 1 PROVIDED
 ELECTRIC WATER COOLER: 1 REQUIRED, 2 PROVIDED
 SERVICE SINKS: 1 REQUIRED, 1 PROVIDED
 MAX. RISE ALLOWED FROM EXTERIOR LANDING TO FINISH FLOOR ELEVATION.

ADDITIONAL CODE/LIFE SAFETY NOTES

1. INSULATION REQUIREMENTS FOR ROOF (UNLESS U-VALUE METHOD CALCULATED OTHERWISE IN MECHANICAL ENGINEERING DOCUMENTS): REFER TO A3
2. INSULATION REQUIREMENTS FOR EXTERIOR WALLS (UNLESS U-VALUE METHOD CALCULATED OTHERWISE IN MECHANICAL ENGINEERING DOCUMENTS): REFER TO A3
3. UNHEATED SLAB INSULATION (UNLESS U-VALUE METHOD CALCULATED OTHERWISE IN MECHANICAL ENGINEERING DOCUMENTS): REFER TO A3
4. EXTERIOR GLAZED DOORS: MIN. U-VALUE = 0.30
5. THE FOLLOWING OPENINGS SHALL BE SEALED:
 A. JUNCTIONS BETWEEN WALLS AND FOUNDATIONS, WALLS AND BUILDING CORNERS,
 B. PENETRATIONS OF UTILITY SERVICES THROUGH ROOFS, WALLS, AND FLOORS (INCLUDING BUT NOT LIMITED TO M/A/P, SECURITY AND COMMUNICATIONS)
 C. OTHER OPENINGS IN THE BUILDING ENVELOPE
6. THE FOLLOWING REQUIREMENTS SHALL BE MET FOR ALL VESTIBULES INDICATING COMPLIANCE WITH THE MINIMUM LOAD AND IMPACT RESISTANCE REQUIREMENTS OF 2007 STANDARD BUILDING CODE:
 A. PROVIDE RESTROOM AND ACCESSIBLE ROUTE IN COMPLIANCE WITH ANS A117.1 SECTION 407.4.1.1 FOR RESTROOM SHOWERS, ASSUME MAX. 5 FT VIEWING DISTANCE AND MAX. 6\"/>

7. A STAMPED SET OF CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES.
 8. ATTICS/CEILING PLenums SHALL NOT BE USED FOR STORAGE.
 9. STORAGE AREAS SHALL NOT BE USED FOR STORAGE OF HIGH-PRESSURE BOILERS, REFRIGERATORS, AIR CONDITIONERS, OR OTHER SERVICE EQUIPMENT SUBJECT TO EXPLOSION. LARGER STORAGE AREAS ARE NOT ALLOWED IN AREAS WHERE FLAMMABLE OR COMBUSTIBLE MATERIALS ARE STORED OR HANDLED, OR WHERE DETERMINED BY AUTHORITIES HAVING JURISDICTION. STORAGE AREAS SHALL BE CLEARLY MARKED AND SHALL BE INSTALLED A CONSISTENT NO. SIGNING SIGN OUT OF IMMEDIATE REACH OF OCCUPANTS.

1 LIFE SAFETY PLAN
 EXIT DOORS TO HAVE PANIC HARDWARE (TYPICAL)



NEW RETAIL STORE

RAY MOTT, ALABAMA

PROJECT	TRACOR '58 09 17
DRAWN	AIG
DATE	8/30/2017
REVISED	

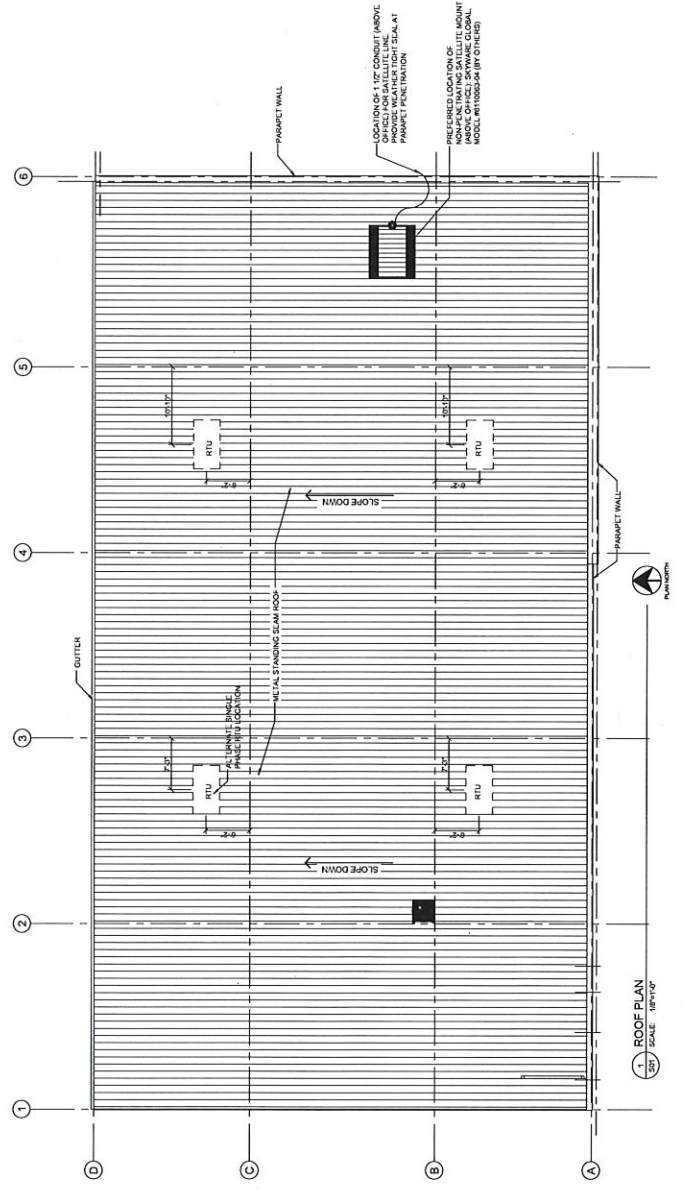
SHEET TITLE
ROOF PLAN & NOTES

SKETCH
S1

- PRE-ENGINEERED METAL BUILDINGS NOTES**
- 1. THE PRE-ENGINEERED METAL BUILDING STRUCTURE, CONCRETE FOUNDATION, AND INTERIOR CONCRETE SLAB SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND REGULATIONS. THE DESIGNER'S RESPONSIBILITIES SHALL NOT BE DELEGATED TO THE MANUFACTURER OF THE METAL BUILDING SYSTEMS. THE MANUFACTURER OF THE METAL BUILDING SYSTEMS SHALL BE CERTIFIED TO THE 2006 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE 2006 EDITION OF THE INTERNATIONAL ROOFING INSTITUTE (IRI) REQUIREMENTS. THE MANUFACTURER OF THE METAL BUILDING SYSTEMS SHALL PROVIDE A METAL BUILDING CERTIFICATION PROGRAM.
 - 2. THE STRUCTURE SHALL INCLUDE THE DESIGN, MANUFACTURE, ERECTION, INSTALLATION AND MAINTENANCE OF THE COMPLETE METAL BUILDING SYSTEM. THE STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION MANUAL. THE METAL BUILDING MANUFACTURER SHALL BE CERTIFIED TO THE 2006 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE 2006 EDITION OF THE INTERNATIONAL ROOFING INSTITUTE (IRI) REQUIREMENTS. THE MANUFACTURER OF THE METAL BUILDING SYSTEMS SHALL PROVIDE A METAL BUILDING CERTIFICATION PROGRAM.
 - 3. THE FRONT FACIA SHALL HAVE 12" PORNS INDENTED INTO THE METAL PANELS. THESE PORNS SHALL BE COLORED OVER WITH A COLOR MATCHING THE METAL PANELS. THE PORNS SHALL BE LOCATED AT 1' ON CENTER ALONG THE ENTIRE LENGTH OF THE BUILDING. THE PORNS SHALL BE LOCATED AT 1' ON CENTER ALONG THE ENTIRE LENGTH OF THE BUILDING. THE PORNS SHALL BE LOCATED AT 1' ON CENTER ALONG THE ENTIRE LENGTH OF THE BUILDING.

EXTERIOR FINISHES	INTERIOR FINISHES	ROOF FINISHES	WALL FINISHES	FLOOR FINISHES	TRUSS FINISHES	CEILING FINISHES	MECHANICAL FINISHES	ELECTRICAL FINISHES	PLUMBING FINISHES	MECHANICAL FINISHES	ELECTRICAL FINISHES	PLUMBING FINISHES
DOWN DOWNS	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME
DOWN DOWNS	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME
DOWN DOWNS	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME
DOWN DOWNS	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME
DOWN DOWNS	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME	COOL DOME

1. REFER TO SHEET T1 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.
- STANDING SEAM METAL ROOF, THERMAL EMITTANCE = 85, SOLAR REFLECTANCE = 70



1. ROOF PLAN
SCALE: 1/8" = 1'-0"



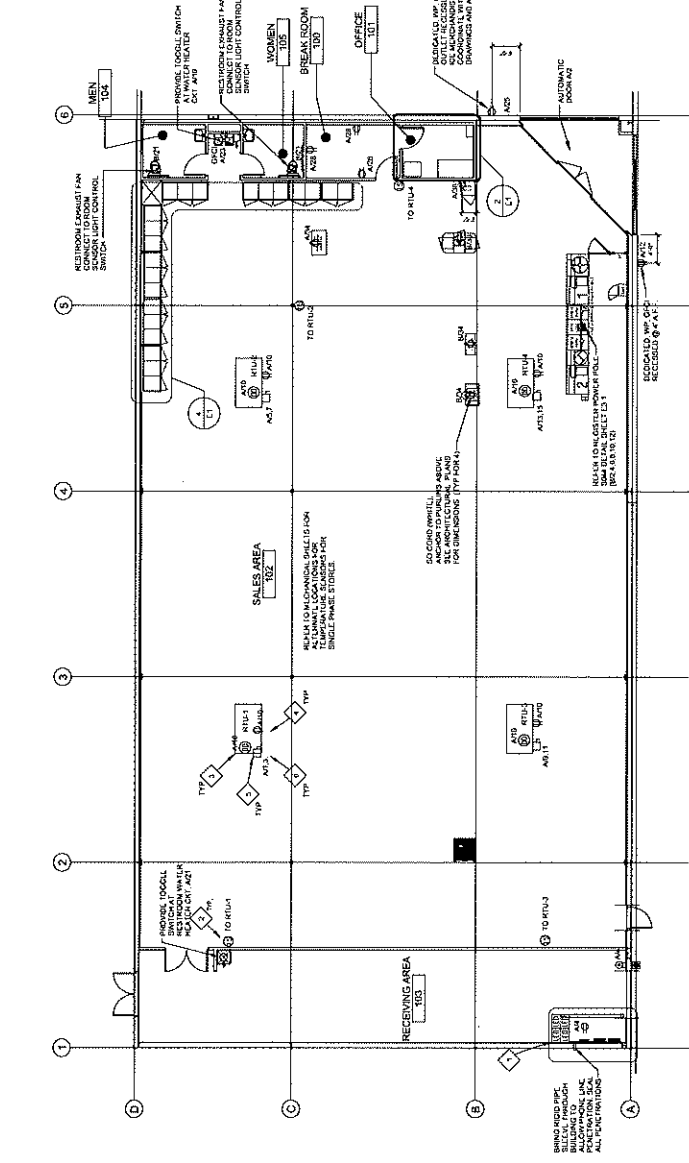
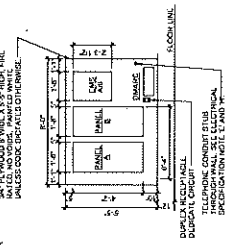
NEW RETAIL STORE
 BAY VENTURE ALABAMA

PROJECT NO.	18007-58-09-17
DATE	8/30/2017
REVISIONS	
SHEET TITLE	
POWER PLAN	
SHEET NO.	
E1	

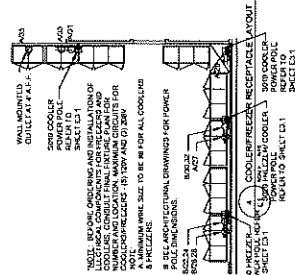
- ELECTRICAL SPECIFICATIONS**
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 - ALL WIRING SHALL BE A MINIMUM AMP 2 PHASE SERVICE TO BE SUPPLIED BY THE OWNER.
 - ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 - ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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 - ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

- LEGEND**
- BUZZER (TYP. WITH #P203 SW)
 - COMMERCIAL GRADE W/OUT
 - COMMERCIAL GRADE W/OUT
 - COMMERCIAL GRADE W/OUT
 - COMMERCIAL GRADE W/OUT
 - COMMERCIAL GRADE W/OUT
 - COMMERCIAL GRADE W/OUT
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 - COMMERCIAL GRADE W/OUT

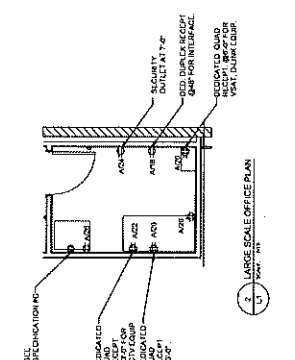
- ELECTRICAL KEYED NOTES**
1. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 2. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 3. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 4. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 5. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 6. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 7. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 8. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 9. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
 10. ALL WIRING SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.



POWER PLAN
 SCALE: 1/8" = 1'-0"



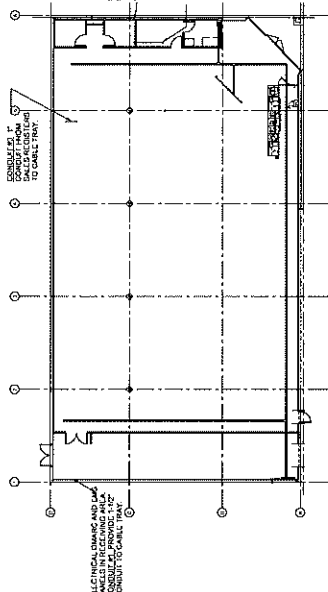
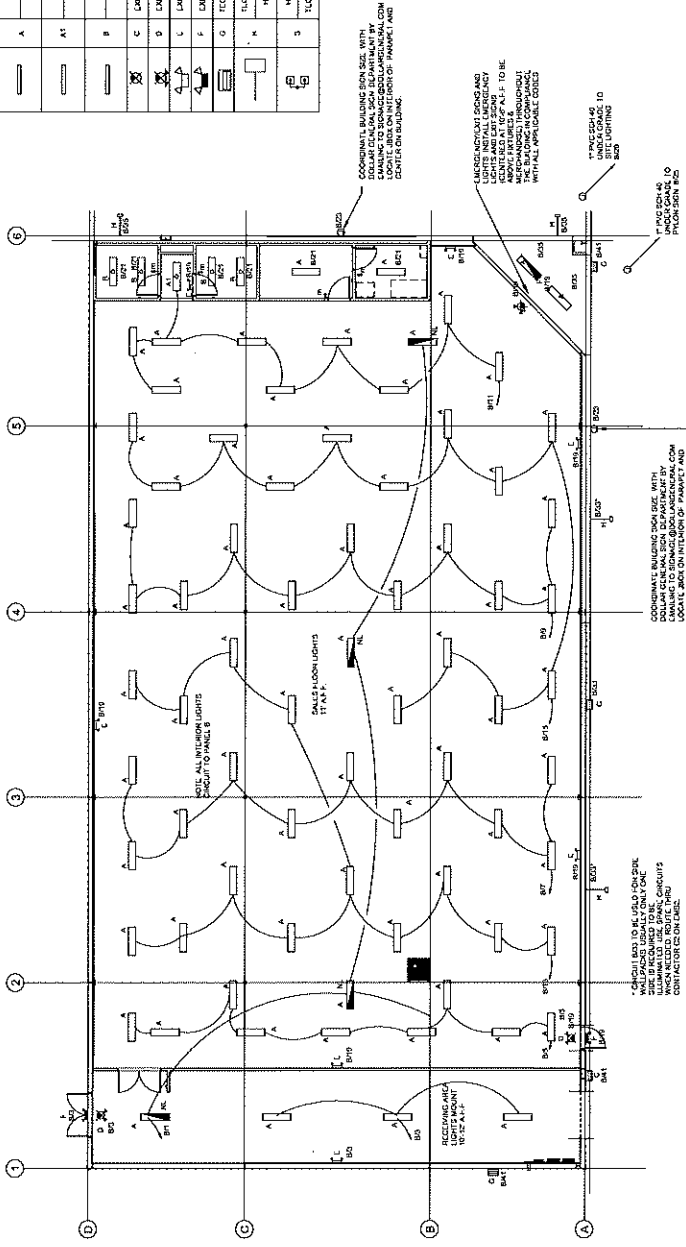
ELECTRICAL PANEL RECEPTACLE LAYOUT
 SCALE: 1/8" = 1'-0"



LARGE SCALE OFFICE PLAN
 SCALE: 1/4" = 1'-0"



SYMB	TYPE	MANF	PART #	DESCRIPTION	COUNT/WAITS
—	A	CL1	41527101	4' LED STRIP EMC R15 FT CABLE	75
—	A1	CL1	41527101	4' LED STRIP EMC R15 FT CABLE	3
—	B	CL2	41527101	4' LED STRIP EMC R15 FT CABLE	4
—	C	CL3	41527101	4' LED STRIP EMC R15 FT CABLE	0
—	D	CL4	41527101	4' LED STRIP EMC R15 FT CABLE	2
—	E	CL5	41527101	4' LED STRIP EMC R15 FT CABLE	7
—	F	CL6	41527101	4' LED STRIP EMC R15 FT CABLE	3
—	G	CL7	41527101	4' LED STRIP EMC R15 FT CABLE	4
—	H	CL8	41527101	4' LED STRIP EMC R15 FT CABLE	4
—	I	CL9	41527101	4' LED STRIP EMC R15 FT CABLE	4
—	J	CL10	41527101	4' LED STRIP EMC R15 FT CABLE	1



1. LIGHTING PLAN
 SCALE: 1/8" = 1'-0"

2. CABLE TRAY AND CONDUIT DIAGRAM
 SCALE: 1/8" = 1'-0"



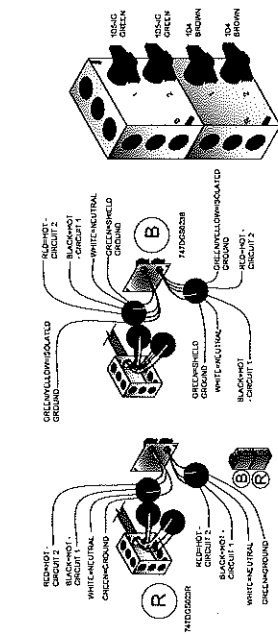
NEW RETAIL STORE
BAY WETRE, ALABAMA

PROJECT NO: 96-09-17
DRAWN BY: AIG
DATE: 8/30/2017
REVISIONS:

SHEET TITLE:
POWER POLE DETAILS

SHEET NO:

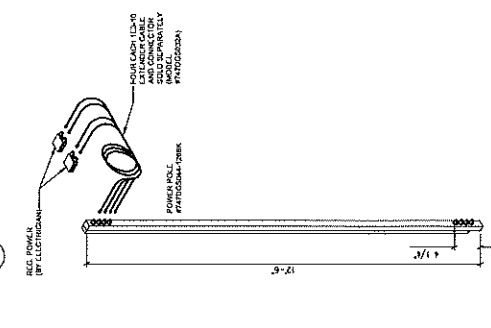
E3.1



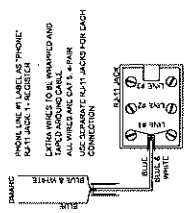
REGISTER ELECTRICAL COMPONENTS

Qty	EQP PART NO.	EQP PART DESCRIPTION	Manufacturer
1	747050258	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050259	Double channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050260	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050261	Double channel 10' x 2" x 1/4" (10' Channel)	D & P

NOTE: BEFORE ORDERING AND INSTALLATION OF ALL POWER POLES, THE CONTRACTOR MUST OBTAIN THE FINAL EXTERIOR PLAN FOR NUMBER AND LOCATION. MAXIMUM HEIGHT FOR REGISTER IS 10'-0". MAXIMUM HEIGHT FOR REGISTER WITH COOLER IS 12'-0". COOLERS AT SHAW REGISTER - (D) 150"

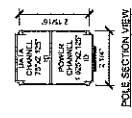
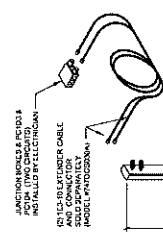


REGISTER POWER POLE
C.S.1

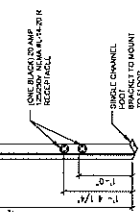


PHONE WIRING FOR REGISTER
C.S.2

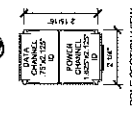
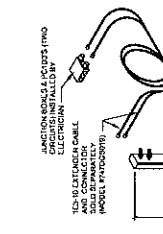
ALL POWER POLES TO BE BLACK



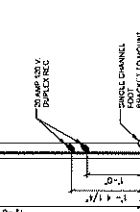
POLE SECTION VIEW



REGISTER POWER POLE



POLE SECTION VIEW

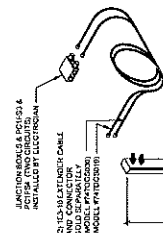


COOLER POWER POLE

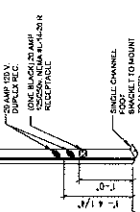
COOLER REGISTER POWER POLES

Qty	EQP PART NO.	EQP PART DESCRIPTION	Manufacturer
1	747050258	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050259	Double channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050260	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050261	Double channel 10' x 2" x 1/4" (10' Channel)	D & P

REGISTER COOLER POWER POLE
C.S.3



POLE SECTION VIEW



REGISTER POWER POLE

REGISTER POWER POLES

Qty	EQP PART NO.	EQP PART DESCRIPTION	Manufacturer
1	747050258	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050259	Double channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050260	Single channel 10' x 2" x 1/4" (10' Channel)	D & P
1	747050261	Double channel 10' x 2" x 1/4" (10' Channel)	D & P



NEW RETAIL STORE
BAY WHEAT, ALABAMA

PROJECT: 18-09-17
DRAWN: AC
DATE: 8/30/2017
REVISIONS:

SHEET TITLE: ELECTRICAL PANELS
SHEET NO: E5

UTILITY TRANSFORMER FAULT CALCULATION - SCHEMATIC 18-09-17

UTILITY	TYPE	PHASE	VOLTS	AMPS	IMPEDANCE	SCHEMATIC
1	PHASE	A	120	100	0.0000	SCHEMATIC 18-09-17
2	PHASE	B	120	100	0.0000	SCHEMATIC 18-09-17
3	PHASE	C	120	100	0.0000	SCHEMATIC 18-09-17
4	NEUTRAL	N	120	100	0.0000	SCHEMATIC 18-09-17
5	GROUND	G	120	100	0.0000	SCHEMATIC 18-09-17

UTILITY TRANSFORMER FAULT CALCULATION - SCHEMATIC 18-09-17

UTILITY	TYPE	PHASE	VOLTS	AMPS	IMPEDANCE	SCHEMATIC
1	PHASE	A	120	100	0.0000	SCHEMATIC 18-09-17
2	PHASE	B	120	100	0.0000	SCHEMATIC 18-09-17
3	PHASE	C	120	100	0.0000	SCHEMATIC 18-09-17
4	NEUTRAL	N	120	100	0.0000	SCHEMATIC 18-09-17
5	GROUND	G	120	100	0.0000	SCHEMATIC 18-09-17

UTILITY TRANSFORMER FAULT CALCULATION - SCHEMATIC 18-09-17

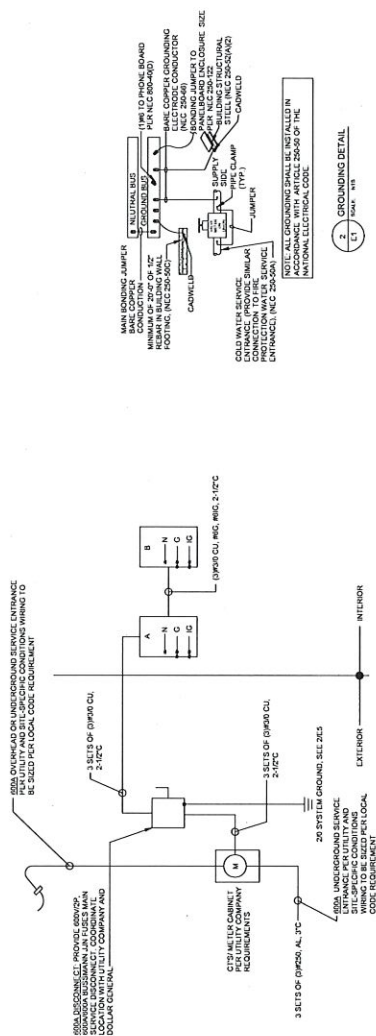
UTILITY	TYPE	PHASE	VOLTS	AMPS	IMPEDANCE	SCHEMATIC
1	PHASE	A	120	100	0.0000	SCHEMATIC 18-09-17
2	PHASE	B	120	100	0.0000	SCHEMATIC 18-09-17
3	PHASE	C	120	100	0.0000	SCHEMATIC 18-09-17
4	NEUTRAL	N	120	100	0.0000	SCHEMATIC 18-09-17
5	GROUND	G	120	100	0.0000	SCHEMATIC 18-09-17

UTILITY TRANSFORMER FAULT CALCULATION - SCHEMATIC 18-09-17

UTILITY	TYPE	PHASE	VOLTS	AMPS	IMPEDANCE	SCHEMATIC
1	PHASE	A	120	100	0.0000	SCHEMATIC 18-09-17
2	PHASE	B	120	100	0.0000	SCHEMATIC 18-09-17
3	PHASE	C	120	100	0.0000	SCHEMATIC 18-09-17
4	NEUTRAL	N	120	100	0.0000	SCHEMATIC 18-09-17
5	GROUND	G	120	100	0.0000	SCHEMATIC 18-09-17

EQUIPMENT SCHEDULE

MARK	DESCRIPTION	LOAD	PHASE	TYPE	REMARKS
RTU1	ROOF TOP UNIT (14.8VVA)	14.8VVA	3PH	BA	PHASE UNBALANCED
RTU2	ROOF TOP UNIT (14.8VVA)	14.8VVA	3PH	BA	PHASE UNBALANCED
RTU3	ROOF TOP UNIT (14.8VVA)	14.8VVA	3PH	BA	PHASE UNBALANCED
RTU4	ROOF TOP UNIT (14.8VVA)	14.8VVA	3PH	BA	PHASE UNBALANCED



600A STANDARD SERVICE

NEW RETAIL STORE
BAY WHEAT, ALABAMA

PROJECT: 18-09-17
DRAWN: AC
DATE: 8/30/2017
REVISIONS:

SHEET TITLE: ELECTRICAL PANELS
SHEET NO: E5

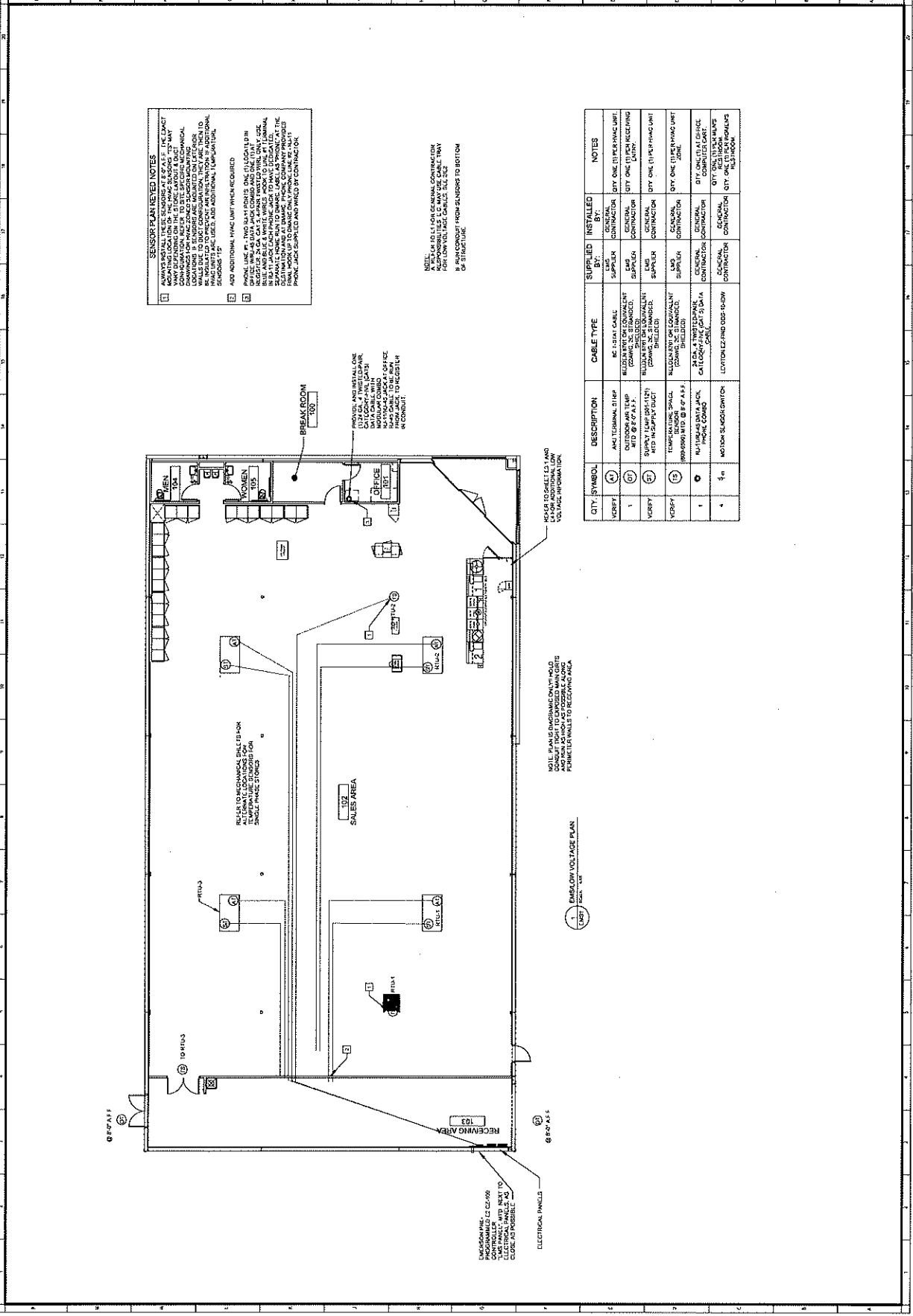
AIG
ENGINEERING CONSULTANTS
THE EVANS GROUP, INC.
1000 UNIVERSITY DRIVE
ANN ARBOR, MI 48106
PH: 734.763.8100
WWW.EVANSGROUP.COM

NEW RETAIL STORE
BY WESTFIELD, MICHIGAN

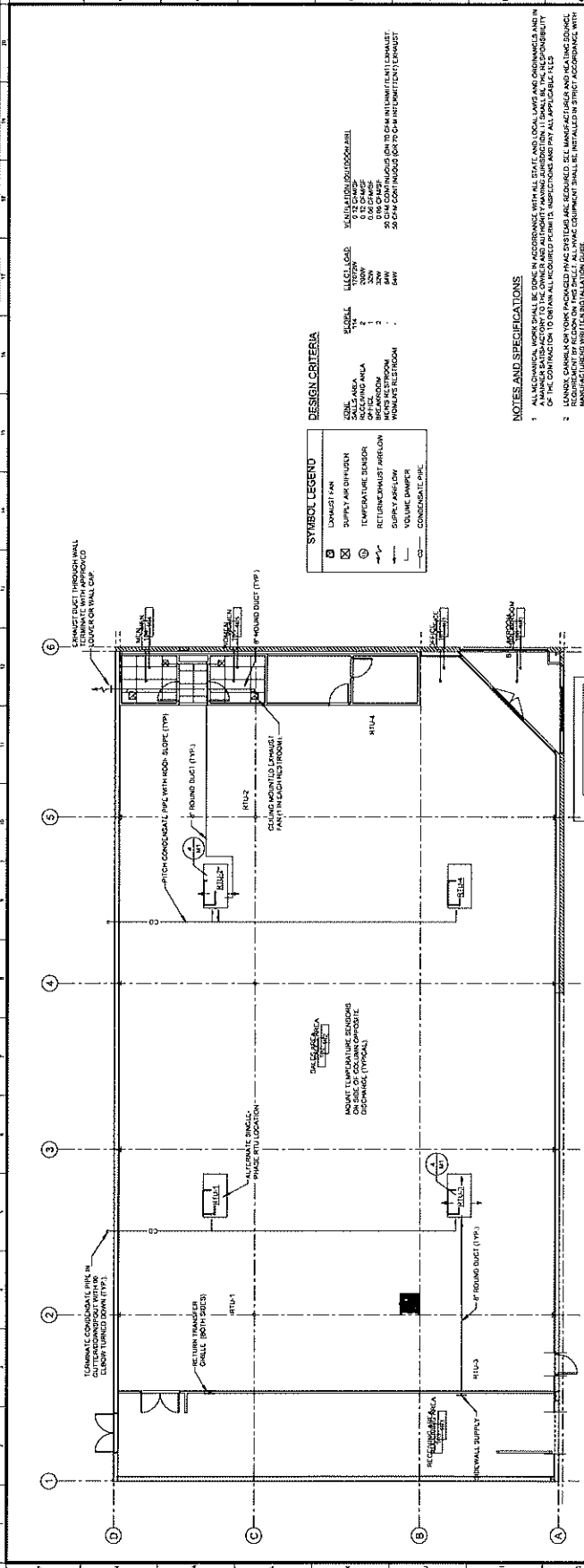
PROJECT NO. 2017-001
DATE 8/30/2017
REVISIONS

SHEET TITLE
EMV LOW VOLTAGE PLAN

SHEET NO.
EMS1



QTY	SYMBOL	DESCRIPTION	CABLE TYPE	SUPPLIER	INSTALLER	NOTES
1	①	INDUSTRIAL STRIP OUTDOOR USE (30 FT) W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	INDUSTRIAL STRIP (30 FT), 25 AMP (20 FT) (20 FT), 10 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	
1	②	MOTION SENSORS W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	MOTION SENSORS (20 FT), 10 AMP (20 FT) (20 FT), 25 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	
1	③	MOTION SENSORS W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	MOTION SENSORS (20 FT), 10 AMP (20 FT) (20 FT), 25 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	
1	④	MOTION SENSORS W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	MOTION SENSORS (20 FT), 10 AMP (20 FT) (20 FT), 25 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	
1	⑤	MOTION SENSORS W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	MOTION SENSORS (20 FT), 10 AMP (20 FT) (20 FT), 25 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	
4	⑥	MOTION SENSORS W/ 10 AMP (20 FT) AND W/ 25 AMP (20 FT)	MOTION SENSORS (20 FT), 10 AMP (20 FT) (20 FT), 25 AMP (20 FT)	GENERAL CONTRACTOR	QTY ONE (1) PER INVOICE UNIT	



DESIGN CRITERIA

ZONE	LOAD	SCALE	UNIT	UNIT
WORKERS RESTROOM	WORKERS RESTROOM	1	1	1
WORKERS RESTROOM	WORKERS RESTROOM	2	2	2
WORKERS RESTROOM	WORKERS RESTROOM	3	3	3
WORKERS RESTROOM	WORKERS RESTROOM	4	4	4

NOTES AND SPECIFICATIONS

1. ALL EQUIPMENT SHALL BE IN ACCORDANCE WITH ALL STATE, LOCAL, STATE AND FEDERAL REQUIREMENTS, AS WELL AS ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS AND PAY ALL APPLICABLE FEES.
2. LONGER CHANNELS FOR WORK PROVIDED SHALL BE USED AND REDUCED. SEE MANUFACTURER'S AND LOCAL CODES FOR SIZES AND SPACING. ALL CHANNELS SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDED SUPPORTS AND BRACING. ALL CHANNELS SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDED SUPPORTS AND BRACING.
3. PROVIDE CONDENSING PIPING AS SPECIFIED BY DOLAR GENERAL, NATIONAL ACCORDS WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONDENSING PIPING SHALL BE THROD DUCTED THROUGH THE WALLS AND CEILING. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
4. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
5. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
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11. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
12. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
13. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
14. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.

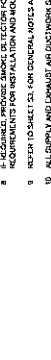
EQUIPMENT SCHEDULE

- RTU-1, RTU-2, RTU-3, RTU-4
 LENOX Z28664S/NP
 5 TON HVAC UNIT
 AIRFLOW: 2,000 CFM @ 1.0" ESP
 TOTAL COOLING CAPACITY: 57,100 BTUH
 TOTAL SENSIBLE CAPACITY: 43,700 BTUH
 AT 95 DEG F AMBIENT TEMPERATURE AND
 80 DEG F DB/67 DEG F WB ENTERING AIR TEMPERATURE
 ELECTRIC HEAT: 16.9 MW
 AIR FLOW: 1,000 CFM
 MOTOR: 572 POUNDS AIR DAMPER
 VOLTAGE: 240VAC, 1-PHASE

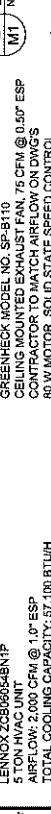
MODES OF OPERATION

- ALL RESTROOM EXHAUST FANS SHALL BE SWITCHED WITH RESTROOM LIGHTS.
 RTU'S SHALL CYCLE TO SATISFY THERMOSTAT DEMAND AS CONTROLLED BY EMS.

EMHS HVAC WIRING DETAIL



TYPICAL SUPPLY BRANCH CONNECTION DETAIL



SYMBOL LEGEND

- EXHAUST FAN
- SUPPLY AIR DIFFUSER
- TEMPERATURE SENSOR
- RETURN/EXHAUST AIRFLOW
- SUPPLY AIRFLOW
- VOLUME DAMPER
- CONDENSATE PIPE

DESIGN CRITERIA

WORKERS RESTROOM

NOTES AND SPECIFICATIONS

1. ALL EQUIPMENT SHALL BE IN ACCORDANCE WITH ALL STATE, LOCAL, STATE AND FEDERAL REQUIREMENTS, AS WELL AS ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS AND PAY ALL APPLICABLE FEES.
2. LONGER CHANNELS FOR WORK PROVIDED SHALL BE USED AND REDUCED. SEE MANUFACTURER'S AND LOCAL CODES FOR SIZES AND SPACING. ALL CHANNELS SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDED SUPPORTS AND BRACING. ALL CHANNELS SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDED SUPPORTS AND BRACING.
3. PROVIDE CONDENSING PIPING AS SPECIFIED BY DOLAR GENERAL, NATIONAL ACCORDS WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. CONDENSING PIPING SHALL BE THROD DUCTED THROUGH THE WALLS AND CEILING. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
4. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.
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14. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN. PROVIDE CONDENSING PIPING WITH CONDENSATE TRAP AND PUMP TO THE MAIN DRAIN.

EQUIPMENT SCHEDULE

RTU-1, RTU-2, RTU-3, RTU-4
 LENOX Z28664S/NP
 5 TON HVAC UNIT
 AIRFLOW: 2,000 CFM @ 1.0" ESP
 TOTAL COOLING CAPACITY: 57,100 BTUH
 TOTAL SENSIBLE CAPACITY: 43,700 BTUH
 AT 95 DEG F AMBIENT TEMPERATURE AND
 80 DEG F DB/67 DEG F WB ENTERING AIR TEMPERATURE
 ELECTRIC HEAT: 16.9 MW
 AIR FLOW: 1,000 CFM
 MOTOR: 572 POUNDS AIR DAMPER
 VOLTAGE: 240VAC, 1-PHASE

MODES OF OPERATION

ALL RESTROOM EXHAUST FANS SHALL BE SWITCHED WITH RESTROOM LIGHTS.
 RTU'S SHALL CYCLE TO SATISFY THERMOSTAT DEMAND AS CONTROLLED BY EMS.

EMHS HVAC WIRING DETAIL

2" FLEXIBLE CANVAS CONNECTION (TYP)
 HORIZONTAL AIR DUCT
 ROUND SUPPLY AIR DUCT
 VOLUME DAMPER
 TO DROP DIFFUSER

TYPICAL SUPPLY BRANCH CONNECTION DETAIL

HORIZONTAL AIR DUCT
 ROUND SUPPLY AIR DUCT
 VOLUME DAMPER
 TO DROP DIFFUSER



GENERAL NOTES

ALL HVAC INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL MECHANICAL CODE AND THE INTERNATIONAL PLUMBING CODE. CONTRACTOR IS TO VERIFY DIMENSIONS AND COORDINATE INSTALLATION WITH ACTUAL FIELD CONDITIONS. DIMENSIONS SHOWN ARE INSIDE FREE AREA OF ALL DUCTS. CONTRACTOR IS TO VERIFY DIMENSIONS AND COORDINATE WITH ACTUAL FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

INSTALLING SHEET METAL CONTRACTOR IS TO COORDINATE WITH ALL TRADES BEFORE INSTALLING ANY EQUIPMENT, DUCTWORK, ETC. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

CONTRACTOR IS TO PROVIDE FLEXIBLE NEOPRENE-IMPREGNATED GLASS FABRIC CONNECTIONS AT THE INLET AND OUTLET OF THE AIR HANDLING EQUIPMENT.

INSULATED METAL DUCT IS TO BE INSULATED WITH EXTERNAL DUCT WRAP (OWENS CORNING TYPE 75 OR EQUAL) OR INTERNALLY LINED. ALL DUCT INSULATION SHALL BE INSTALLED WITH A MINIMUM R VALUE OF 5.0. DUCT WRAP SHALL HAVE AN ALUMINUM FOIL VAPOR BARRIER WITH A MINIMUM THICKNESS OF 2 MILS. ALL LINED DUCTWORK SHALL HAVE A MINIMUM R VALUE OF 8.0. ALL DUCT INSULATION SHALL BE UL LISTED FOR FIRE AND SMOKE RATINGS, AND INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS FOR ITS INTENDED APPLICATION.

ALL DUCT WORK SHALL BE CONSTRUCTED OF 24 GAUGE (MINIMUM) GALVANIZED SHEET METAL. DUCT STIFFENERS SHALL BE INSTALLED TO PREVENT DUCT RATTLE, VIBRATION, SAGGING, OR BREATHING. SEAL ALL SHEET METAL JOINTS WITH TWO COATS OF MASTIC SEALER. ROUND DUCT JOINTS SHALL BE SECURED WITH A MINIMUM OF FOUR SHEET METAL SCREWS. ALL DUCT ELBOWS SHALL HAVE A THROAT RADIUS EQUAL TO THE DUCT WIDTH. SQUARE ELBOWS SHALL HAVE DOUBLE THICKNESS TURNING VANES. TRANSITION PIECES SHALL BE MADE WITH A SLOPE OF NOT LESS THAN 1 TO 5 AND PREFERABLY 1 TO 7.

CONDENSATE LINES ARE TO HAVE "P" TRAPS. ROUTE LINES AS INDICATED AND SPILL ONTO EXTERIOR SPLASH BLOCKS. CONDENSATE DRAIN LINES SHALL BE SLOPED FOR SUFFICIENT DRAINAGE TO THE EXTERIOR AT THE INDICATED LOCATIONS. COORDINATE WITH EAS PLANS.

THERMOSTAT SENSORS SHALL BE LOCATED AT THE INDICATED LOCATIONS. COORDINATE WITH EAS PLANS.

ALL OUTSIDE AIR INTAKES AND DIFFUSERS IS APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS.

ALL AIR HANDLING EQUIPMENT (RTUs, GRILLS, ETC.) SHALL BE INSTALLED IN A MANNER THAT WILL ENSURE QUIET, VIBRATION FREE OPERATION. ANY OFFENSIVE VIBRATION, NOISE, RATTLES, ETC. SHALL BE ELIMINATED BY THE CONTRACTOR PRIOR TO PROJECT CLOSE-OUT.

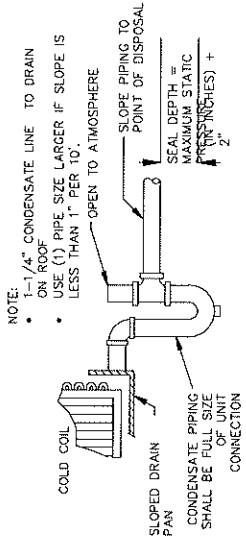
ALL INSTALLATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS GOVERNING THE INSTALLATION OF HVAC EQUIPMENT.

MECHANICAL CONTRACTOR SHALL FURNISH AND INSTALL ONE SET OF VENDOR RECOMMENDED FILTERS FOR RTUs. A COMPLETE SET OF NEW FILTERS SHALL BE INSTALLED AT THE TIME OF PROJECT CLOSE-OUT. THE MECHANICAL CONTRACTOR SHALL SUBSTANTIATE THE INDICATED HVAC AIRFLOWS 25%. THIS IS INTENDED TO BE A FIELD AIRFLOW CONFIRMATION AND A FORMAL TEST & BALANCE REPORT IS NOT REQUIRED.

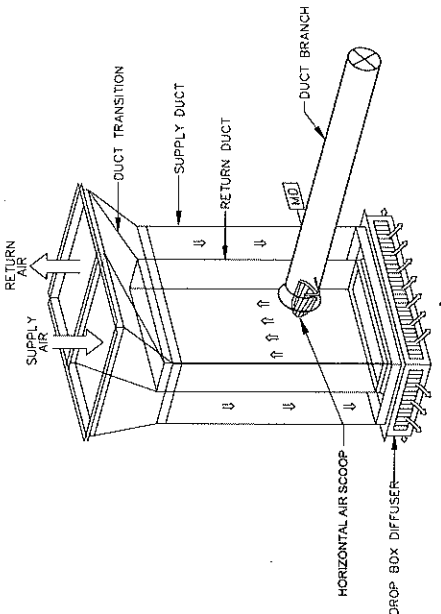
ROUND INSULATED DUCTWORK MAY BE IN LIEU OF RECTANGULAR INSULATED DUCTWORK ON THE BUILDING EXTERIOR.

PROVIDE A MINIMUM OF R-8 EXTERNAL INSULATION ON EXTERIOR DUCTWORK THAT IS INSTALLED WITHIN EXTERIOR WALL-MOUNTED WEATHER RESISTANT SHROUD.

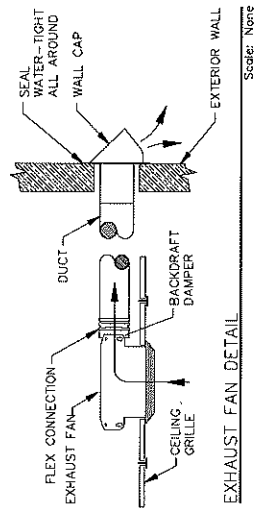
FLEXIBLE DUCT MAY BE SUBSTITUTED FOR ROUND METALLIC DUCTWORK AS NECESSARY.



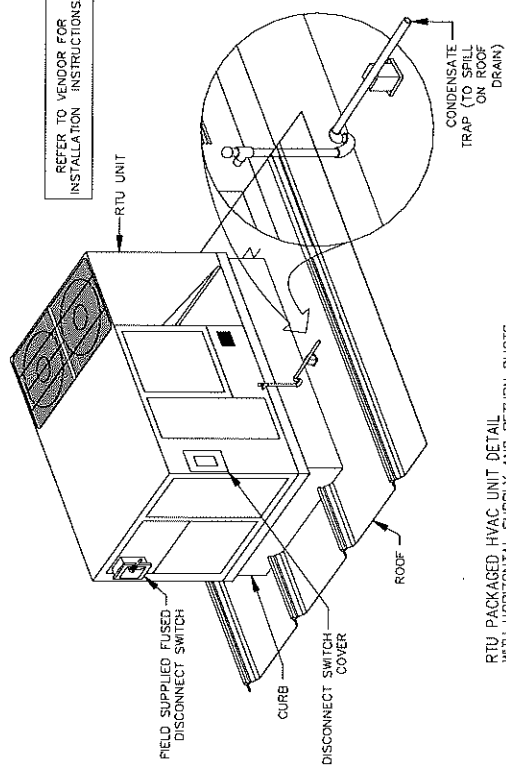
COIL CONDENSATE DRAIN PIPING DETAIL
 Scale: None



TYPICAL CONCENTRIC DUCT CONNECTION DETAIL
 Scale: None



EXHAUST FAN DETAIL
 Scale: None



RTU PACKAGED HVAC UNIT DETAIL
 WITH HORIZONTAL SUPPLY AND RETURN DUCTS
 Scale: None



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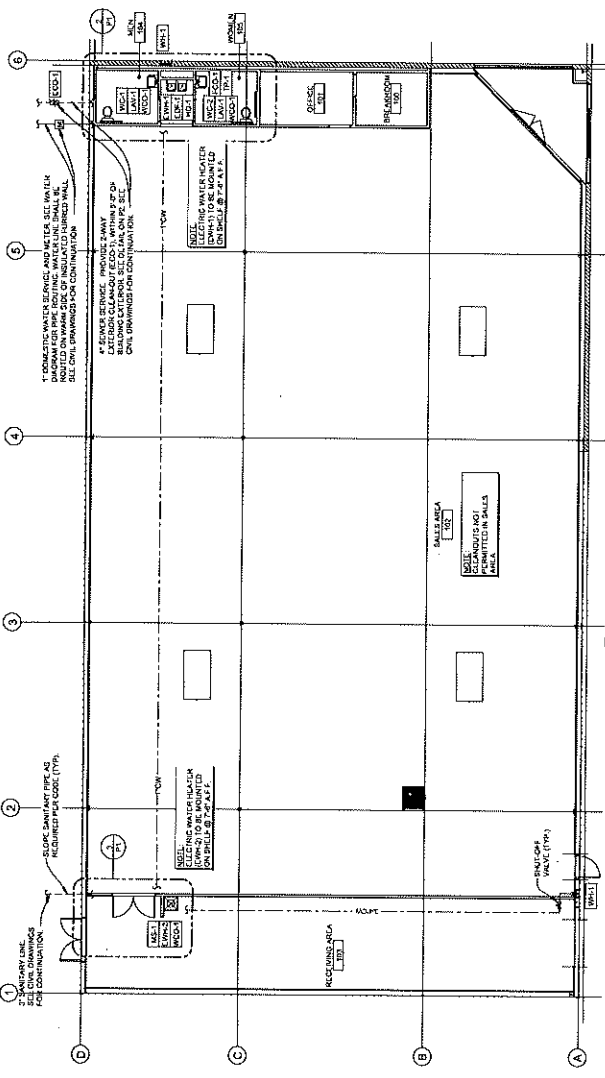
NEW RETAIL STORE
 BAY VILLE, ALABAMA

PROJECT 56.08.17
 SHEET AIG
 DATE 8/30/2017
 REVISIONS

SHEET TITLE
 PLUMBING P&S SCHEDULES

SHEET NO.
P1

- GENERAL PLUMBING NOTES**
1. PROVIDE ALL MENDING, SUPPORTS AND CARRIERS FOR FITTINGS.
 2. CONTRACTOR SHALL PROVIDE APPROVED ACCESS DOORS IN FURNISH HOLES FOR ALL VALVES AND TRAP PRINCIPLES WHICH MUST BE LOCATED IN ACCESSIBLE LOCATION.
 3. ALL WATER PIPING SHALL BE FITTED IN DIRECTION OF FLOW TO ALLOW FOR SYSTEM RUNNING.
 4. INSTALL WATER MAIN SHUT-OFF VALVE UPSTREAM FROM PRESSURE REGULATOR.
 5. INSTALL WATER PRESSURE REGULATOR WHERE AVAILABLE UTILITY PRESSURE EXCEEDS 75 PSI. SET PRESSURE REGULATOR AT 80 PSI.
 6. PROVIDE BACKFLOW PREVENTER ASSEMBLY WITH TAMPON RESISTANT ACCESS CABBINET FOR LOCAL CODE.
 7. ROUTE WATER PIPING IN SALES AREA OVERHEAD AS MUCH AS POSSIBLE.
 8. DRAIN, WASTE AND VENT LINES SHALL PASS INSPECTION UNDER HEADS OF WATER BY SYSTEM WITH VENTS TO TOP OF HIGHEST VENT STACK.
 9. WATER HEATER SHALL BE SUPPORTED ON CURB OR CONCRETE. GAS PIPING SHALL BE SUPPORTED BY BRACKETS AND WITH WATER TO WHICH APPROPRIATE GAS VALVE SHALL BE INSTALLED. WATER TO WHICH APPROPRIATE GAS VALVE SHALL BE INSTALLED. WATER TO WHICH APPROPRIATE GAS VALVE SHALL BE INSTALLED. WATER TO WHICH APPROPRIATE GAS VALVE SHALL BE INSTALLED.
 10. SUMP SYSTEM NOT ALLOWED WITHOUT WRITTEN APPROVAL BY SOLE AGENT.
 11. HOLDING TANK SYSTEMS NOT ALLOWED.
 12. LIFT STATING ARE NOT ALLOWED WITHOUT WRITTEN APPROVAL BY SOLE AGENT.
 13. CONTRACTOR RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS.
 14. ALL PLUMBING MATERIALS SHALL COMPLY WITH CODE.
 15. REFER TO SHEET P-1 ON MATCHLINE.



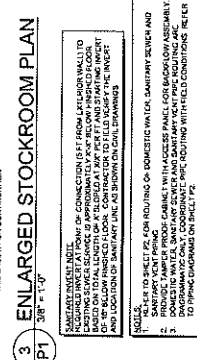
1 PLUMBING PLAN
 1/8" = 1'-0"

PLUMBING FIXTURE SCHEDULE

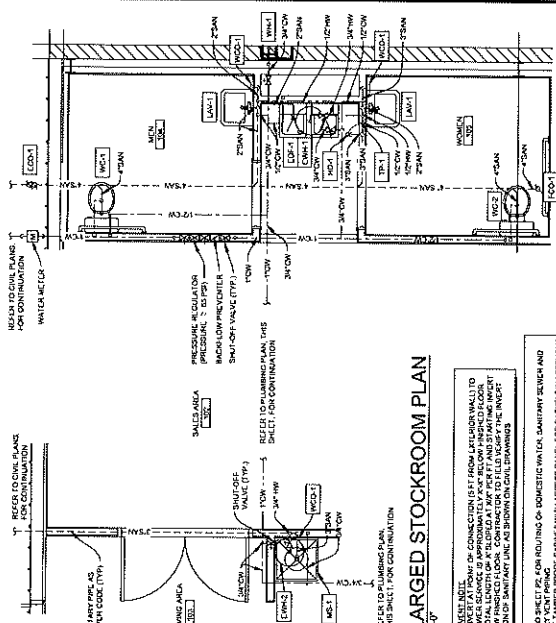
MARK	DESCRIPTION	HW CONNECTION	HW CONNECTION	HW CONNECTION	HW CONNECTION	PLUMBING CONNECTION	PLUMBING CONNECTION	PLUMBING CONNECTION	PLUMBING CONNECTION
LAV-1	ADA LAVATORY	1/2"	1/2"	2"	1/2"	1/2"	1/2"	1/2"	1/2"
WC-1	ADA WATER CLOSET	-	1/2"	4"	2"	1/2"	1/2"	1/2"	1/2"
WC-2	ADA WATER CLOSET WITH SHOWER	-	1/2"	4"	2"	1/2"	1/2"	1/2"	1/2"
EHW-1, 2	ELECTRIC WATER HEATER	3/4"	-	3/4"	-	-	-	-	-
NS-1	MOP SINK	3/4"	-	3/4"	-	-	-	-	-
DB-1	BARREL RICE ELECTRIC DRINKING FOUNTAIN	1/2"	-	1/2"	-	-	-	-	-
WH-1	WALL HYDRANT	3/4"	-	3/4"	-	-	-	-	-
WC-1	WALL CLEANOUT	-	-	-	-	-	-	-	-
HD-1	HUB DRAIN	1/2"	-	1/2"	-	-	-	-	-
TP-1	TRAP PRIMER	-	-	-	-	-	-	-	-
ED-1	EXTENDED CLEANOUT	-	-	-	-	-	-	-	-
HC-1	FLOOR CLEANOUT	-	-	-	-	-	-	-	-

SYMBOL LEGEND

--- SAN	SANITARY PIPING
--- SAN (NEW)	SANITARY PIPING BELOW
--- VCH	VENT PIPING
--- CW	COLD WATER PIPING
--- HW	HOT WATER PIPING
--- SW	SHUT-OFF VALVE
--- B/P	BACKFLOW PREVENTER
--- P/R	PRESSURE REGULATOR
--- W/C	WALL CLEANOUT
--- F/A	FREEZE ARRESTOR
--- S/E	SWAY EXTERIOR CLAMPFIT
--- C/D	ACROSS CLEANOUT



2 ENLARGED TOILET PLAN
 3/8" = 1'-0"



1 PLUMBING PLAN
 1/8" = 1'-0"

