

Bay Minette Planning Commission Agenda
Conference Room at City Hall
September 9, 2014
8:00 a.m.

1. Called to Order
2. Invocation and Pledge
3. Call of Roll
4. Approval of Minutes for August 12, 2014 Regular Meeting
5. Old Business: None
6. New Business:
 - Site Plan Review for Quincy Compressor Expansion located at 701 North Dobson Avenue
 - Site Plan Review for The First Baldwin County located at 303 D'Olive Street
7. Reports:
 - A. Mayor/Council
 - B. Attorney
 - C. Commissioner's Comments
8. Adjourn

**Bay Minette Planning Commission
Regular Meeting Minutes**

Minutes of August 12, 2014

Monthly Meeting No. 8

The Bay Minette Planning Commission met in Regular Session on Tuesday, July 8, 2014. The meeting was called to order by Mayor Wills at 8:00 a.m., in the Council Chambers located in Bay Minette City Hall, in Bay Minette, Alabama; this being the proper place, date and hour as advertised to hold such meeting.

ROLLCALL During the 8:00 a.m. Roll Call the following members were present:

Robert A. "Bob" Wills, Mayor
John Biggs, City Council Member
Oscar Waters, Building Official
Ed Pepperman, Commission Member
John Peavy, Commission Member

Members who arrived at 8:25 a.m.:

Todd Stewart, Chairman
A. C. Ulmer, Commission Member

Absent were:

Karmen Still, Vice Chairperson
Al Thompson, Commission Member

Other person in regular attendance:

Rita Findley, City Clerk
Leslie Johnston, SARPC Representative

GUESTS Guests present:

Debra Stringer
Gigi Ambrecht, AT&T
Natalie Bolling, Law Office of Barker Donelson, Bearman,
Caldwell & Berkowitz,

**INVOCATION/
PLEDGE** City Attorney Lewis offered the invocation and led the pledge.

ITEM 4. Mayor Wills asked the planning commission to review the minutes of the July 8, 2014 meeting. Commission Member Biggs made a motion to approve the minutes for the July 8, 2014 meeting. The motion was seconded by Commission Member Pepperman and the motion carried.

ITEM 5 Mayor Wills introduced item 5, Old business: There was no new business.

ITEM 6. Mayor Wills introduced Item 6: New Business:

- Non-Profit shelter for homeless U. S. Veterans requested by Debra Stinger with Lighthouse of the Angels, Inc. Mayor Wills recognized Ms. Stringer. Ms. Stringer presented her plans and announced that she has options on a piece of property located outside the city planning jurisdiction. Mayor Wills explained that the City has no zoning control over the property in questions and referred her to the Baldwin County Zoning Commission.
- AT&T request for a variance for a proposed telecommunications facility to be located at 111 South Hoyle Avenue. Mayor Wills recognized Ms. Bolling, who explained the need for the telecommunications tower. Commission Member Pepperman made a motion to recommend the proposed facility to the Board of Zoning Adjustments. The motion was seconded by Commission Member Peavy and the motion carried with the Mayor abstaining.

ITEM 7. Reports:

A. Mayor/Council Report:

Mayor Wills reported on:

- Improvements at Holly Hills Municipal Golf Course
- Baldwin County High School Football team
- Baldwin County High school Campus cleanup
- Quincy Compressor's expansion
- Hand Avenue paving project
- Grant for Sidewalk
- Airport Phase II Parallel Taxiway

B. Attorney Report
No Report

C. Commissioner's Report
No Report

ITEM 8. With no further business, Mayor Wills adjourned the meeting at
8:55 a.m.

DONE THIS THE 12th DAY OF AUGUST 2014

Robert A. "Bob" Wills
Mayor

ATTEST:

Rita Findley
City Clerk

City of Bay Minette

Mayor
Robert A. Wills

City Clerk
Rita Findley



District 1 Danleigh Corbett
District 3 John W. Biggs

District 2 Kathy Dobbins
District 4 Dollie Mims

District 5
Chris Norman

"A Family Place"

City of Bay Minette

Application for Site Plan

This is to certify that I (we) the undersigned do hereby request the City of Bay Minette to grant a Site Plan Review to determine the use and location of site meets the regulations within the Zoning Ordinance.

1. Owner/Developer's Contact Information:

- a) Name: QUINCY COMPRESSOR, LLC
- b) Address: 701 N DOBSON AVE 251-422-2150
BAY MINETTE, AL 36507 CHRIS KNUFFMAN

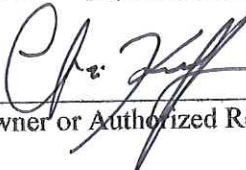
2. Current Zoning Classification: M-2

3. Location of the Proposed Site Plan: 701 N. DOBSON AVE

4. Proposed Site Use: PLANT EXPANSION

5. Character of Adjacent Sites: R/B SEE SURVEY

Dated this 25 Day of AUGUST, 2014


Owner or Authorized Representative

Site Plan Application Fee \$100.00



August 22, 2014

City of Bay Minette Planning Commission
 Mr. Oscar Waters
 Bay Minette, AL 36507

RE: Quincy Compressor Expansion - Parking

Dear Sirs:

Quincy Compressor is expanding our manufacturing operations in Bay Minette, and is planning to add an approximately 42,000 sq. ft² addition to our existing facility, which opened in 1980.

We will begin manufacturing reciprocating compressors, work that was previously done in our plant in Quincy, IL. The expansion provides for 45 additional parking spaces. Bayshore Construction of Bay Minette, AL is the general contractor of this project, with Richard Helton of Daphne, AL as the project architect.

Below is our current parking situation, with 92 available slots. (Excluding visitor parking) We currently operate one shift, with approximately 9 people on a second shift. Typically employees on the first shift have staggered start times from 05:00 to 08:00 and various end times, based on production requirements:

		August 2014		
		Existing Parking Spots	Employees	Available
First Shift 8:00-17:00	Front Parking Area	107	74	36
	Parking in Rear of Building	131	75	53
Totals		238	149	89
Second Shift 15:00-24:00	Front Parking Area		0	
	Parking in Rear of Building		9	
Totals			9	
Third Shift 23:00-7:00	Front Parking Area		0	
	Parking in Rear of Building		0	
Totals			0	
Grand Total		238	158	

We expect to add 45 parking spaces in the addition, which is expected to be completed in March 2015. Also during this time, we expect to add 85 additional employees, with a high number of the employees working on the second and third shift. If an overlap occurs between the first and second shift, we still expect to have 37 open parking slots available in the rear parking area behind the building (71 First Shift- 34 Second Shift)

		March 2015				
		Additional Parking	Additional Employees	Total Parking Available	Total Employees	Empty Available Slots
First Shift 8:00-17:00	Front Parking Area	0	15	107	89	18
	Parking in Rear of Building	45	30	176	105	71
Totals		45	45	283	194	89
Second Shift 15:00-24:00	Front Parking Area		0		0	
	Parking in Rear of Building		25		34	
Totals			25		34	
Third Shift 23:00-7:00	Front Parking Area		0		0	
	Parking in Rear of Building		15		15	
Totals			15		15	
Grand Total		45	85	283	243	

By the end of 2015, we may add an additional 25 employees based on production requirements on all three shifts. We feel that the additional parking in March 2015 will allow for this expansion, and we would have a minimum of 74 available slots. If an overlap occurs between the first and second shift, we still expect to have 14 open parking slots available in the rear parking area behind the building (58 First Shift- 44 Second Shift)

		Anticipated Future 2015			
		Additional Employees	Total Parking Available	Total Employees	Empty Available Slots
First Shift 8:00-17:00	Front Parking Area	2	107	91	16
	Parking in Rear of Building	13	176	118	58
Totals		15	283	209	74
Second Shift 15:00-24:00	Front Parking Area	0		0	
	Parking in Rear of Building	10		44	
Totals		10		44	
Third Shift 23:00-7:00	Front Parking Area	0		0	
	Parking in Rear of Building	15		15	
Totals		15		15	
Grand Total		25	283	268	

Quincy does not anticipate operating any other vehicles in the area except forklift on the site.

Quincy would also like to request a waiver of the one green space per every 12 vehicles in the new parking area based on the fact that the parking is essentially screened by the building, has a natural buffer to the west, and Quincy can add the additional area required (90sf) at the parking to the landscaping elsewhere on site.

Regards,

Chris Knuffman
 Project Manager
 Quincy Compressor
 701 North Dobson
 Bay Minette, AL
Chris.knuffman@quincycompressor.com
 251-422-2150

Filing fee Quincy Compressor Planning Com payment

BAYSHORE CONSTRUCTION CO., INC
GENERAL CONTRACTOR
P.O. BOX 1481
BAY MINETTE, AL 36507
(251) 937-3333

1828

61-8/820 7310
2100022321212

DATE 8-26-14

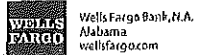
PAY
TO THE
ORDER OF

City of Bay Minette

\$ 100.⁰⁰

One hundred and ^{no}/₁₀₀

DOLLARS



Wells Fargo Bank, N.A.
Alabama
wellsfargo.com

FOR

Planning Com. - Quincy's

Margaret B. Redmon

⑈0000001828⑈ ⑆062000080⑆ 2100022321212⑈

RICHARD R. HELTON

A R C H I T E C T

1004 Dogwood Avenue West
Daphne, AL 36526
503-490-3596
rrharch@aol.com
AL#3639

Mr. Oscar Waters
Chief Building Official
City of Bay Minette, AL
300 Hoyle Avenue
Bay Minette, AL 36507

Re: Planning Commission Submittal
Quincy Compressor Expansion

Dear Mr Waters:

Attached are the Planning Commission submittal documents for the Quincy Compressor Expansion project.

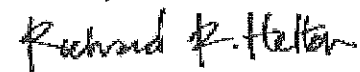
The project consists of a new addition of 37,000 square feet to the south of the existing building along with a new Covered Storage Pad of 4,590 square feet. 45 new parking spaces will be added to the existing employee parking lot at the west side of the building and 5 new loading docks and two future loading docks will be added. The 3 existing loading docks on the west side will be covered over with the new building expansion.

The existing fence and crepe myrtle trees along the fence will be removed. 11 new 3" caliper Live Oaks and 17 new 3 gallon multi-trunk Crepe Myrtles will be added along with additional shrubs and solid sod as shown on the Landscape Plan Sheet AS1.1. New landscaping irrigation will be added as per sheet AS1.2.

A letter from the Owner is also attached indicating the parking spaces provided will meet the requirements of their staggered shift arrangement for employee parking. The existing parking lot will be upgraded to meet current code requirements for accessible parking spaces as shown on sheet AS1.0.

Please let me know if you need any additional information on the project for the Planning Commission review and approval.

Sincerely,



Richard R. Helton, Architect AL#3639

quincycompressor.com

701 North Dobson Avenue | Bay Minette, AL 36507



August 22, 2014

City of Bay Minette Planning Commission
Mr. Oscar Waters
Bay Minette, AL 36507

RE: Quincy Compressor Expansion - Parking

Dear Sirs:

Quincy Compressor is expanding our manufacturing operations in Bay Minette, and is planning to add an approximately 42,000 sq. ft² addition to our existing facility, which opened in 1980.

We will begin manufacturing reciprocating compressors, work that was previously done in our plant in Quincy, IL. The expansion provides for 45 additional parking spaces. Bayshore Construction of Bay Minette, AL is the general contractor of this project, with Richard Helton of Daphne, AL as the project architect.

Below is our current parking situation, with 92 available slots. (Excluding visitor parking) We currently operate one shift, with approximately 9 people on a second shift. Typically employees on the first shift have staggered start times from 05:00 to 08:00 and various end times, based on production requirements:

		August 2014		
		Existing Parking Spots	Employees	Available
First Shift 8:00-17:00	Front Parking Area	107	74	36
	Parking in Rear of Building	131	75	53
Totals		238	149	89
Second Shift 15:00-24:00	Front Parking Area		0	
	Parking in Rear of Building		9	
Totals			9	
Third Shift 23:00-7:00	Front Parking Area		0	
	Parking in Rear of Building		0	
Totals			0	
Grand Total		238	158	

We expect to add 45 parking spaces in the addition, which is expected to be completed in March 2015. Also during this time, we expect to add 85 additional employees, with a high number of the employees working on the second and third shift. If an overlap occurs between the first and second shift, we still expect to have 37 open parking slots available in the rear parking area behind the building (71 First Shift- 34 Second Shift)

		March 2015				
		Additional Parking	Additional Employees	Total Parking Available	Total Employees	Empty Available Slots
First Shift 8:00-17:00	Front Parking Area	0	15	107	89	18
	Parking in Rear of Building	45	30	176	105	71
	Totals	45	45	283	194	89
Second Shift 15:00-24:00	Front Parking Area		0		0	
	Parking in Rear of Building		25		34	
	Totals		25		34	
Third Shift 23:00-7:00	Front Parking Area		0		0	
	Parking in Rear of Building		15		15	
	Totals		15		15	
Grand Total		45	85	283	243	

By the end of 2015, we may add an additional 25 employees based on production requirements on all three shifts. We feel that the additional parking in March 2015 will allow for this expansion, and we would have a minimum of 74 available slots. If an overlap occurs between the first and second shift, we still expect to have 14 open parking slots available in the rear parking area behind the building (58 First Shift- 44 Second Shift)

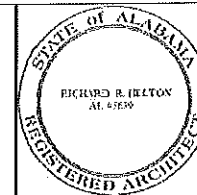
		Anticipated Future 2015			
		Additional Employees	Total Parking Available	Total Employees	Empty Available Slots
First Shift 8:00-17:00	Front Parking Area	2	107	91	16
	Parking in Rear of Building	13	176	118	58
	Totals	15	283	209	74
Second Shift 15:00-24:00	Front Parking Area	0		0	
	Parking in Rear of Building	10		44	
	Totals	10		44	
Third Shift 23:00-7:00	Front Parking Area	0		0	
	Parking in Rear of Building	15		15	
	Totals	15		15	
Grand Total		25	283	268	

Quincy does not anticipate operating any other vehicles in the area except forklift on the site.

Quincy would also like to request a waiver of the one green space per every 12 vehicles in the new parking area based on the fact that the parking is essentially screened by the building, has a natural buffer to the west, and Quincy can add the additional area required (90sf) at the parking to the landscaping elsewhere on site.

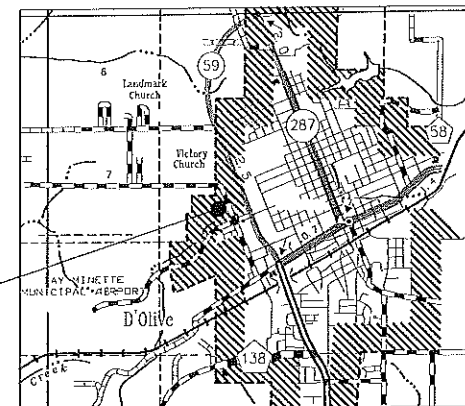
Regards,

Chris Knuffman
 Project Manager
 Quincy Compressor
 701 North Dobson
 Bay Minette, AL
Chris.knuffman@quincycompressor.com
 251-422-2150

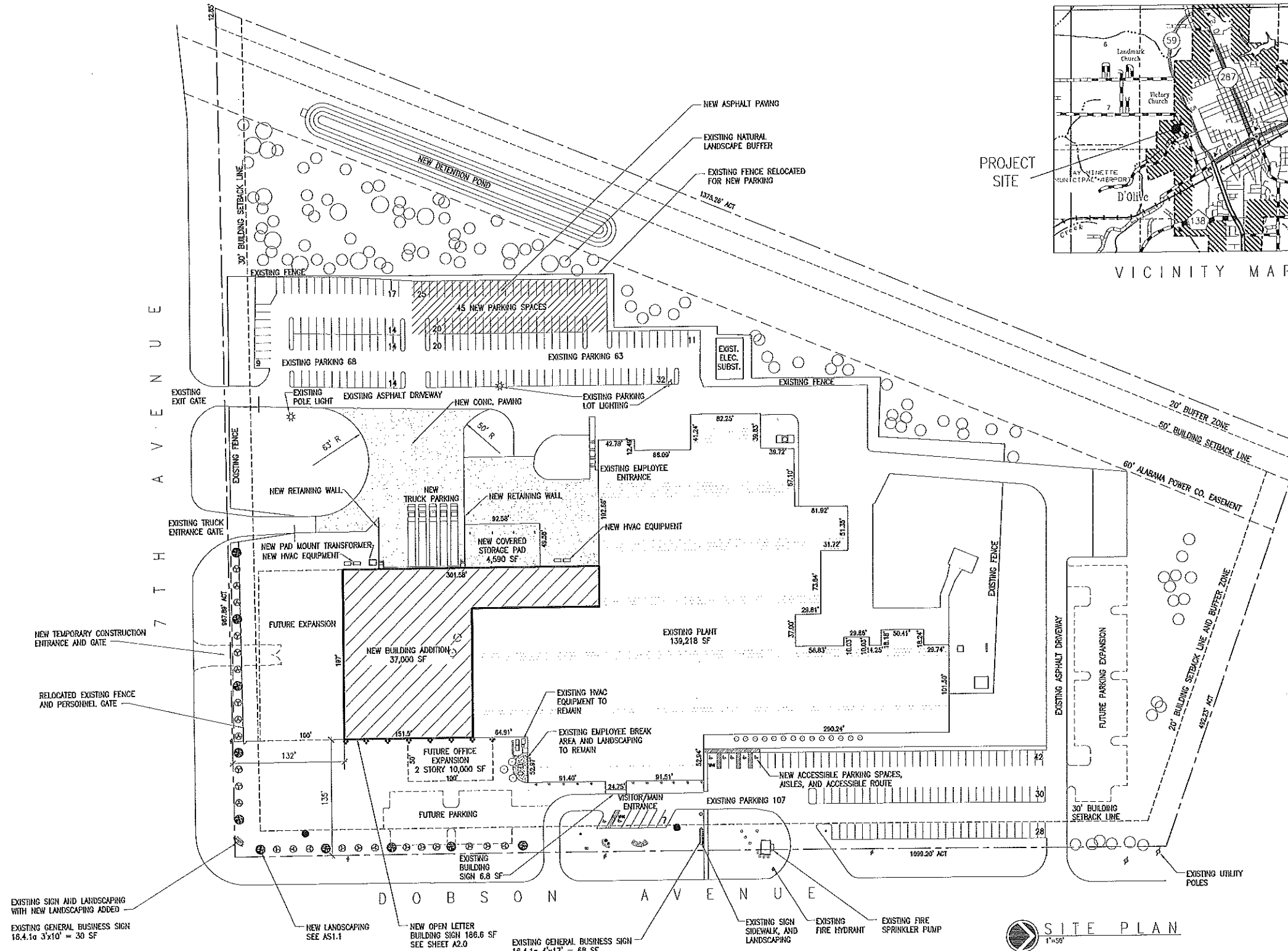


RICHARD R. HELTON
ARCHITECT
1004 Dogwood Avenue West
Daphne, AL 36526
rhelton@rhl.com
503-490-3596
AL ARCHITECT #3639

BAYSHORE
CONSTRUCTION COMPANY, INC.
1705 HARD AVENUE
BAY MINETTE, AL 36507



VICINITY MAP



SITE PLAN
1"=50'

LEGAL DESCRIPTION OF PROPERTY:
FROM THE ONE-HALF SECTION CORNER ON THE SOUTH LINE OF SECTION 8, TOWNSHIP 2 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA, FROM N-00°20'-W 664.2 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY OF SEVENTH STREET, SAID POINT BEING THE SOUTHWEST CORNER OF BLOCK 215 OF THE HAND LAND COMPANY'S ADDITION TO THE TOWN OF BAY MINETTE, ALABAMA, ACCORDING TO THE OFFICIAL MAP OR PLAT THEREOF RECORDED IN DEED BOOK 4 N.S., AT PAGES 158-161, BALDWIN COUNTY, ALABAMA RECORDS, AND THE POINT OF BEGINNING; THENCE RUN N-67°30'-E ALONG NORTH RIGHT OF WAY OF SEVENTH STREET 979.4 FEET TO THE WEST RIGHT OF WAY OF DOBSON AVENUE, SAID POINT BEING THE SOUTHWEST CORNER OF BLOCK 209 OF SAID HAND LAND COMPANY'S ADDITION TO THE TOWN OF BAY MINETTE, ALABAMA; THENCE RUN N-22°30'-W ALONG SAID WEST RIGHT OF WAY OF DOBSON AVENUE 1100.7 FEET TO THE SOUTH SIDE OF A LAKE; THENCE RUN S-86°44'-W ALONG THE SOUTH SIDE OF SAID LAND 492.7 FEET TO THE NORTH-SOUTH ONE-HALF SECTION LINE OF SAID SECTION 8; THENCE RUN S-00°20'-E ALONG SAID ONE-HALF SECTION LINE 1364.1 FEET TO THE POINT OF BEGINNING.

SITE DATA TABLE:

OWNER:
QUINCY COMPRESSOR, LLC
701 NORTH DOBSON AVENUE
BAY MINETTE, ALABAMA 36507

ZONING:
M-2

ACREAGE:
TOTAL ACREAGE: 20.11 AC± (876,099.97 SQ. FT.)

BUILDING REQUIREMENTS:
EXISTING BUILDING HEIGHT: 20.63' FEET
NEW BUILDING HEIGHT: 20.63'

MAXIMUM BUILDING HEIGHT PER ZONING REGULATIONS
4 STORES OR 50 FEET

LANDSCAPE AREA REQUIRED 15% LANDSCAPE AREA PROVIDED
131,410 SQ. FT. / 132,450 SQ. FT. (FRONT AND SIDE YARDS)

BUILDING AREA:
EXISTING PLANT: 139,218 SQ. FT.
NEW BUILDING ADDITION: 37,000 SQ. FT.
NEW COVERED STORAGE PAD: 4,590 SQ. FT.

EXISTING PARKING NEW PARKING
238 SPACES / 45 SPACES

TOTAL PARKING ACCESSIBLE SPACES REQUIRED PER 2012 IBC 1106.1
283 SPACES / 7 SPACES-2 VAN ACCESSIBLE

ACCESSIBLE SPACES PROVIDED
7 SPACES-2 VAN ACCESSIBLE

SIGNS

EXISTING SIGNS: (1) GENERAL BUSINESS SIGN AT SOUTHEAST CORNER OF PROPERTY 35x10' : 30 SF
(1) GENERAL BUSINESS SIGN AT MAIN ENTRANCE 4x17' : 6.8 SF
(1) EXISTING BUILDING SIGN 4x2'-6" x 0.8 : 6.8 SF

NEW SIGN
(1) BUILDING SIGN AT SOUTH EAST CORNER OF NEW ADDITION 9'4"x25"-233.25 x 0.8 = 186.6 SF

TOTAL SIGN AREA NEW AND EXISTING:
16.4.3 BUILDING SIGN : 2 SF X FRONT ENTRY FACADE 207.66 = 415.3 SF ALLOWED. ACTUAL SIGN AREA 186.6 + 6.8 = 193.4 SF
16.4.1 GENERAL BUSINESS SIGN CORNER LOT 2 ALLOWED 150 SF MAXIMUM. ACTUAL SIGN AREA 98 SF
16.4.3 NO BUSINESS ALLOWED MORE THAN 500 SF OF SIGNAGE. TOTAL ACTUAL SIGN AREA: 193.4 + 98 SF = 291.4 SF

RELEASED FOR CONSTRUCTION

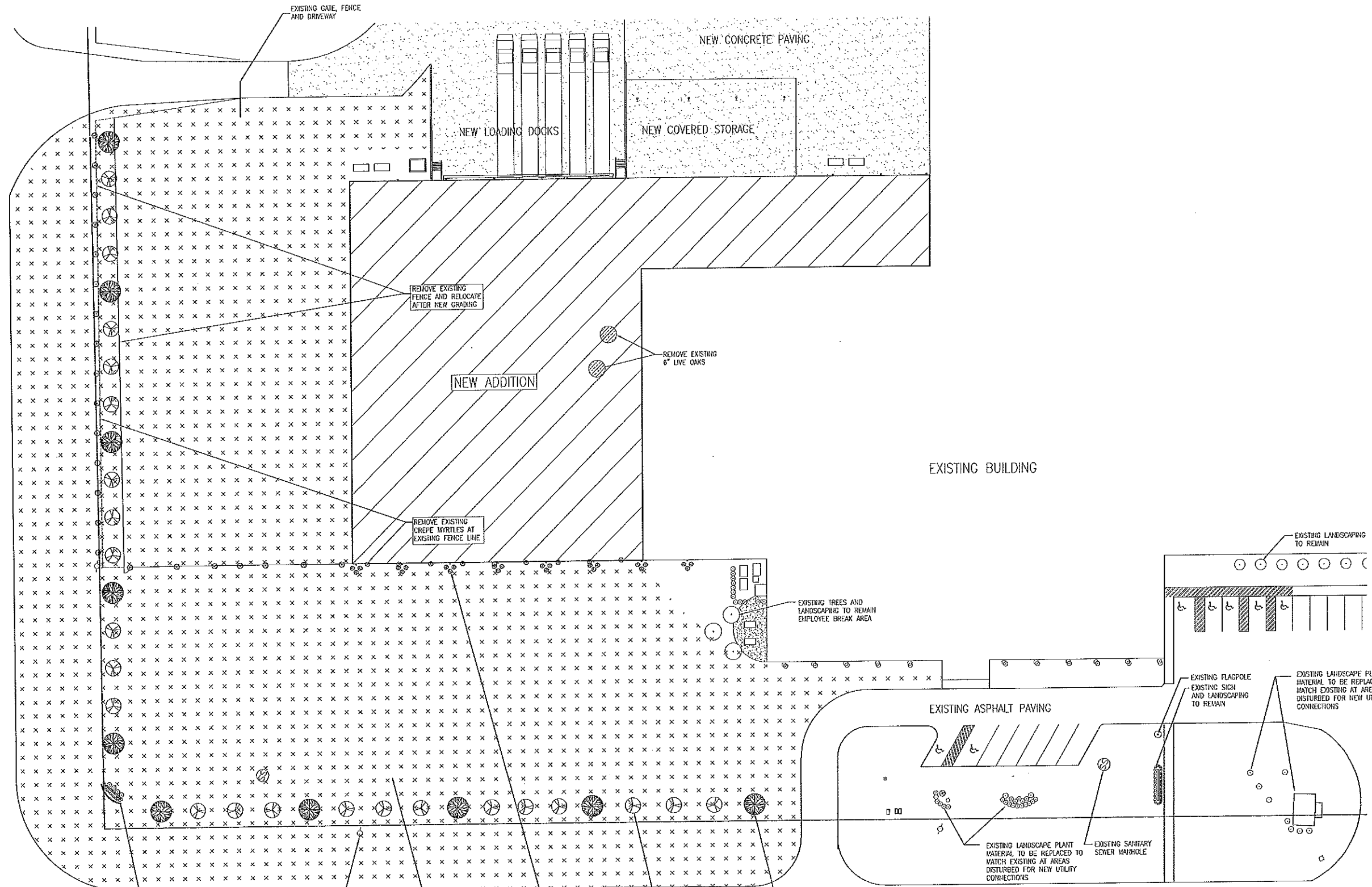
YES: NO:

ISSUE DATE	DESCRIPTION
1. 08-22-14	SCHEMATIC
2. 04-16-2014	SCHEMATIC UPDATE
3. 05-07-2014	PRICING
4. 07-02-2014	CONST DOCUMENT REV
5. 07-25-2014	OWNER REVISIONS
6. 08-12-2014	PLANNING COMM SUBMIT

PROJECT NO: 041400

SHEET NO:
AS 1.0

7 T H A V E N U E



DOBSON AVENUE

EXISTING SIGN AND LANDSCAPING TO REMAIN
(17) NEW 3 GALLON ENCORE AZALEA AUTUMN IVORY
AZALEA X ROBLEY PIPP

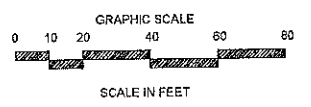
EXISTING UTILITY POLES

NEW SOLID SOD CENTIPEDE
EREMOCHLOA OPHUROIDES

(21) 5 GALLON DWARF INKBERRY,
SHAMROCK
ILEX GLABRA

(17) NEW 3 GALLON MULTI-TRUNK CREPE MYRTLE
MUSKOGEE
LAGERSTOEMA INDICA MUSKOGEE

(11) NEW 3" CALIPER LIVE OAK
QUERCUS VIRGINIANA



PLANT LEGEND

	NEW SOLID SOD CENTIPEDE EREMOCHLOA OPHUROIDES		NEW 3 GALLON ENCORE AZALEA AUTUMN IVORY AZALEA X ROBLEY PIPP
	NEW 3" CALIPER LIVE OAK QUERCUS VIRGINIANA		EXISTING TREE/LANDSCAPE PLANT TO REMAIN
	NEW 5 GALLON DWARF INKBERRY, SHAMROCK ILEX GLABRA		EXISTING TREE/LANDSCAPE PLANT TO BE REMOVED
	NEW 3 GALLON MULTI-TRUNK CREPE MYRTLE MUSKOGEE LAGERSTOEMA INDICA MUSKOGEE		

11277 - QUINCY COMPRESSOR
© 2014 ALAN D. HOLT, ASLA
LANDSCAPE ARCHITECT
ALABAMA LICENSE NUMBER 512
P.O. BOX 2549, PANAMA CITY, FL 32402
TELEPHONE: (850) 914-9005 • E-MAIL: alan@alanholtllc.com

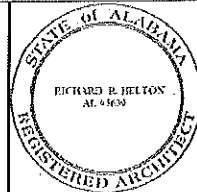
QUINCY COMPRESSOR

BAY MINNETTE, AL

DATE	DESCRIPTION
02/25/24	PERMIT DRAWING

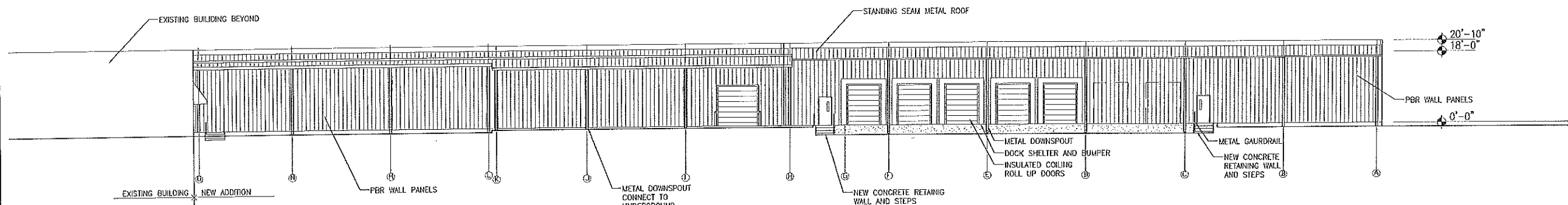


LANDSCAPE PLAN SHEET NUMBER
AS-1.1
ONE OF TWO



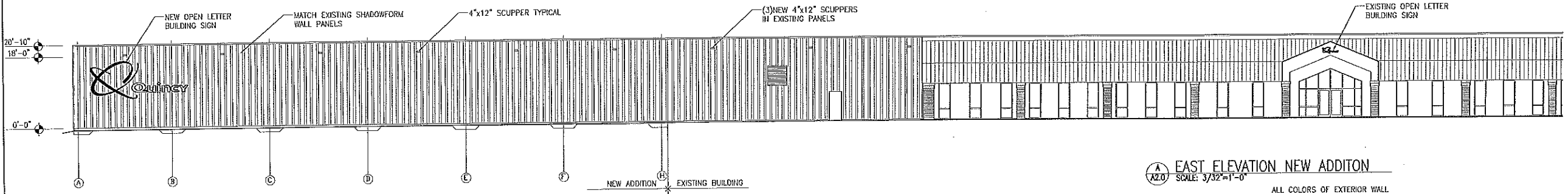
RICHARD R. HELTON
ARCHITECT
1064 Dogwood Avenue West
Daphne, AL 36526
rhrarch@aol.com
803-490-3598
AL ARCHITECT #36839

BAYSHORE
CONSTRUCTION COMPANY, INC.
1705 HAND AVENUE
BAY MINETTE, AL 36507



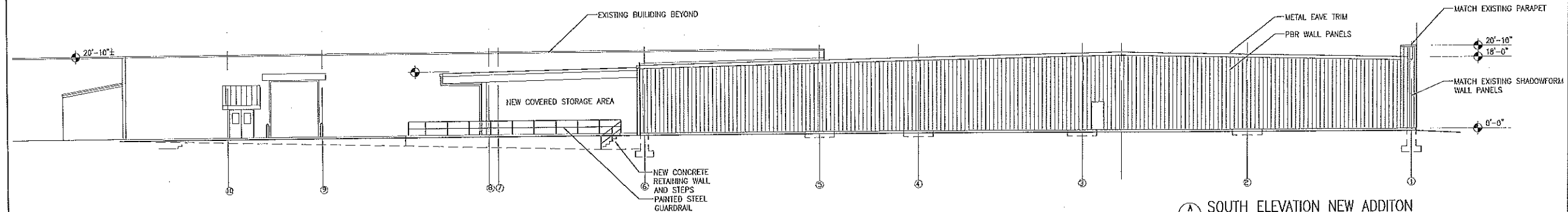
WEST ELEVATION NEW ADDITION
SCALE: 3/32"=1'-0"

ALL COLORS OF EXTERIOR WALL PANELS AND EAVE TRIM SHALL MATCH THE EXISTING BUILDING



EAST ELEVATION NEW ADDITION
SCALE: 3/32"=1'-0"

ALL COLORS OF EXTERIOR WALL PANELS AND EAVE TRIM SHALL MATCH THE EXISTING BUILDING



SOUTH ELEVATION NEW ADDITION
SCALE: 3/32"=1'-0"

ALL COLORS OF EXTERIOR WALL PANELS AND EAVE TRIM SHALL MATCH THE EXISTING BUILDING

EXTERIOR ELEVATIONS

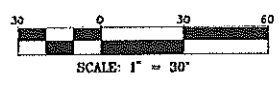
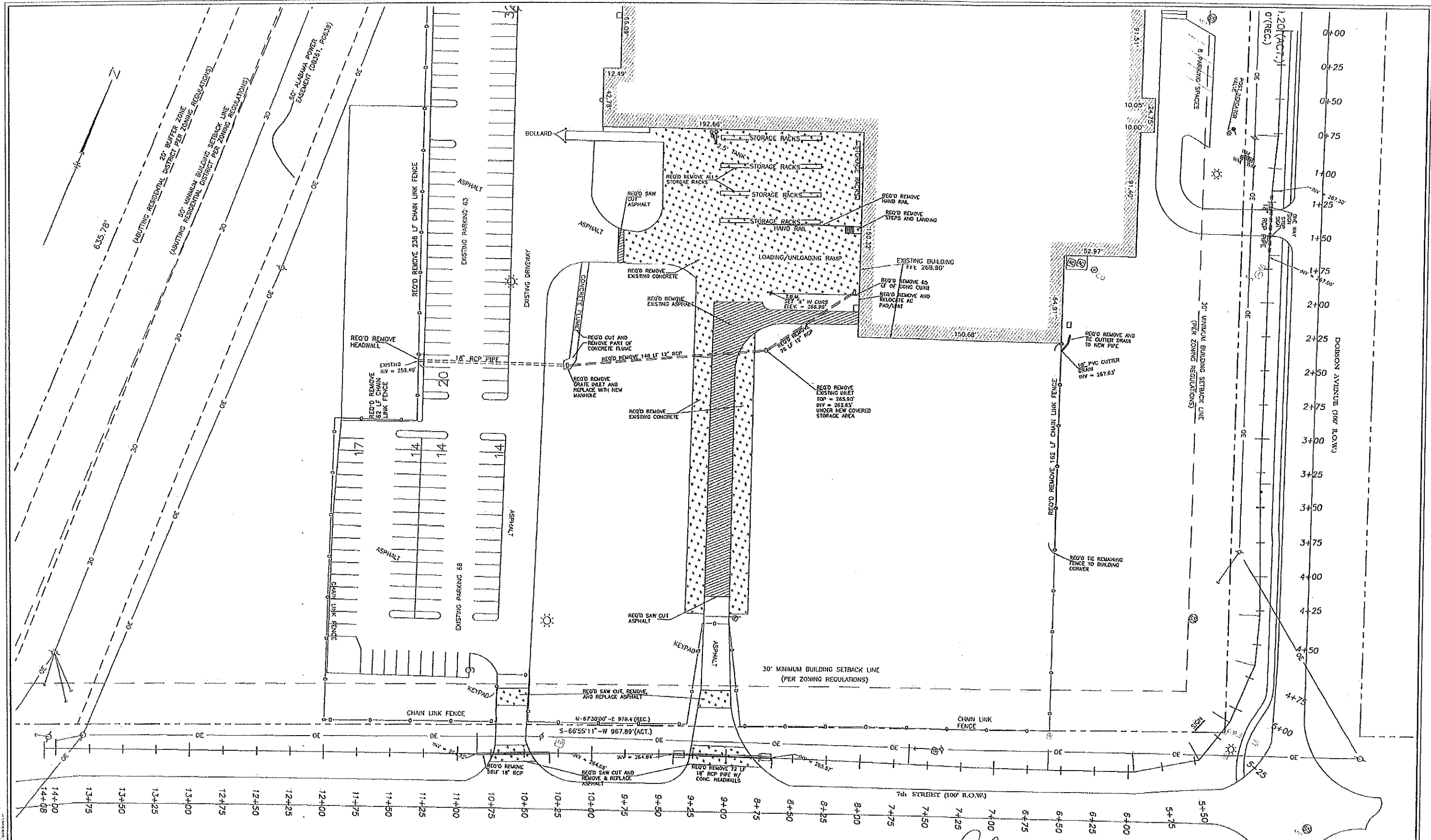
RELEASED FOR CONSTRUCTION
YES:
NO:

ISSUE DATE	DESCRIPTION
1. 08-28-14	SCHEMATIC
2. 01-16-2014	SCHEMATIC UPDATE
3. 05-07-2014	PRACFIS
4. 07-03-2014	CONRET DOC/OWNER REV
5. 07-25-2014	OWNER REVISIONS
6. 08-13-2014	PLANNING COMM SUBMIT

PROJECT NO: 04-14-09

SHEET NO:

A 2.0



REMOVAL LEGEND
 [Hatched pattern] REQ'D REMOVE ASPHALT
 [Stippled pattern] REQ'D REMOVE CONCRETE

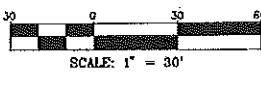
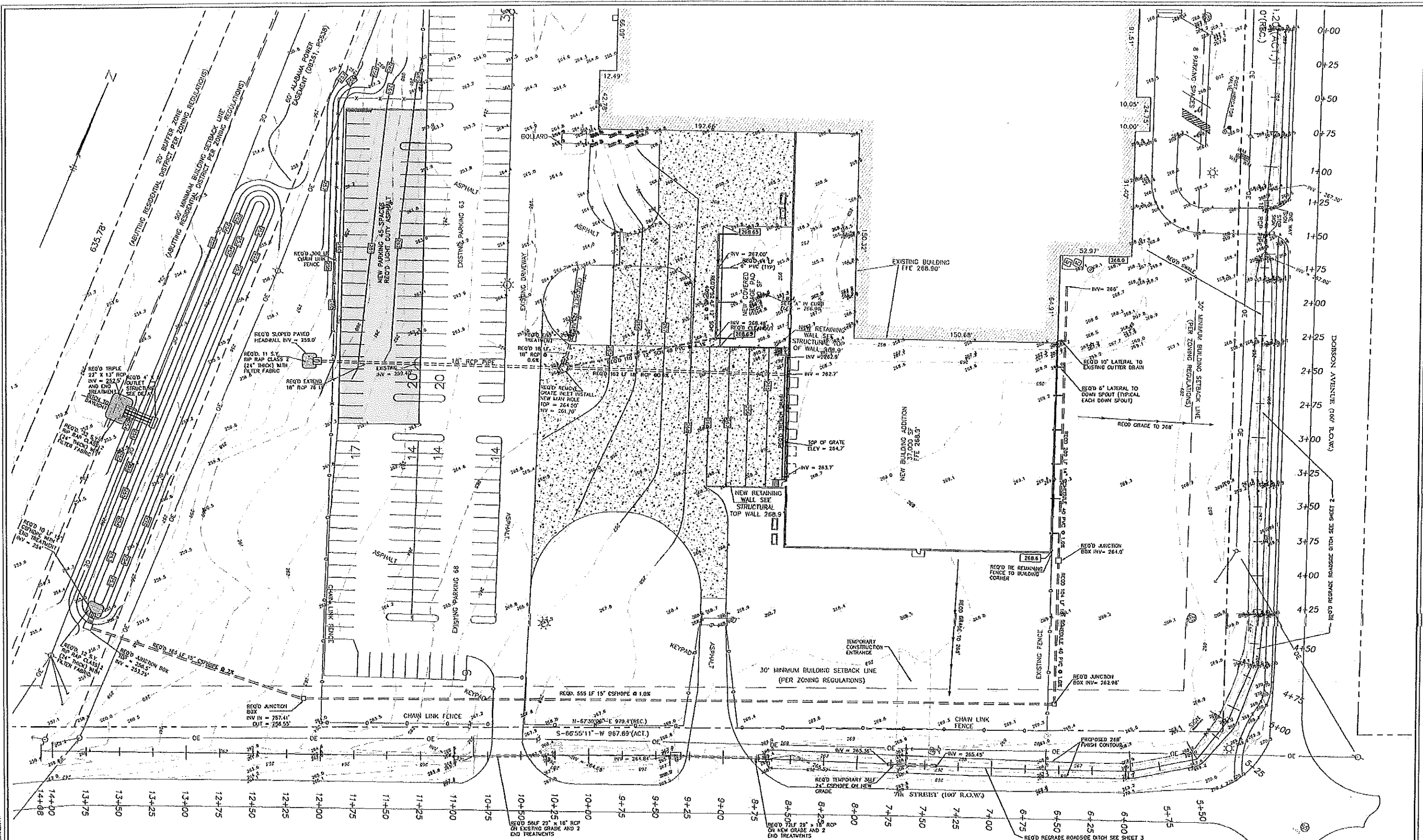
- Notes:
- Standards of Practice for Land Surveying in Alabama require that "the horizontal position of physical features must be plotted to 1/20th inch of final map scale". Dimensions "snapped" from the electronic version of this map should be considered to be no more accurate than 1/20th of the map scale noted. Critical clearance dimensions must be field checked.
 - Type of Survey: Topographic.
 - Field Date(s): April 15, May 27, 2014.
 - Boundary and more topographic survey data from drawing "3459ALTA-client.dwg" provided by client.
 - This drawing does not reflect an easement or title search by the surveyor. easements or claims of easements may exist.

RELEASED FOR PERMITTING

DATE: JULY 2, 2014

DONALD W. ROWE, P.E.
 ALABAMA LICENSED PROFESSIONAL ENGINEER
 REGISTRATION NUMBER 9339-E
 PRINTS NOT VALID UNLESS THEY BEAR AN ORIGINAL SEAL

REVISIONS	DEMOLITION PLAN QUINCY COMPRESSOR		
07/31/14 EXTEND TOPOGRAPHIC SURVEY	PREPARED FOR BAY SHORE CONSTRUCTION		
08/07/14 CORRECT CONC. & ASPHALT HATCHING	ROWE SURVEYING AND ENGINEERING COMPANY, INC. CONSULTING ENGINEERS CA-0033-LS		
08/07/14 BUILDING ELSION CHANGED	3755 COTTAGE HILL ROAD MOBILE, ALABAMA 36609		
08/07/14 REVISIONS	ISS: 34760	PLAT DATE: July 24, 2014	SCALE: 1" = 30'
08/07/14 REVISIONS	FOR: 1824 / 40-42, 50-53	DATE: July 24, 2014	SHEET NO. 1 of 4



LEGEND

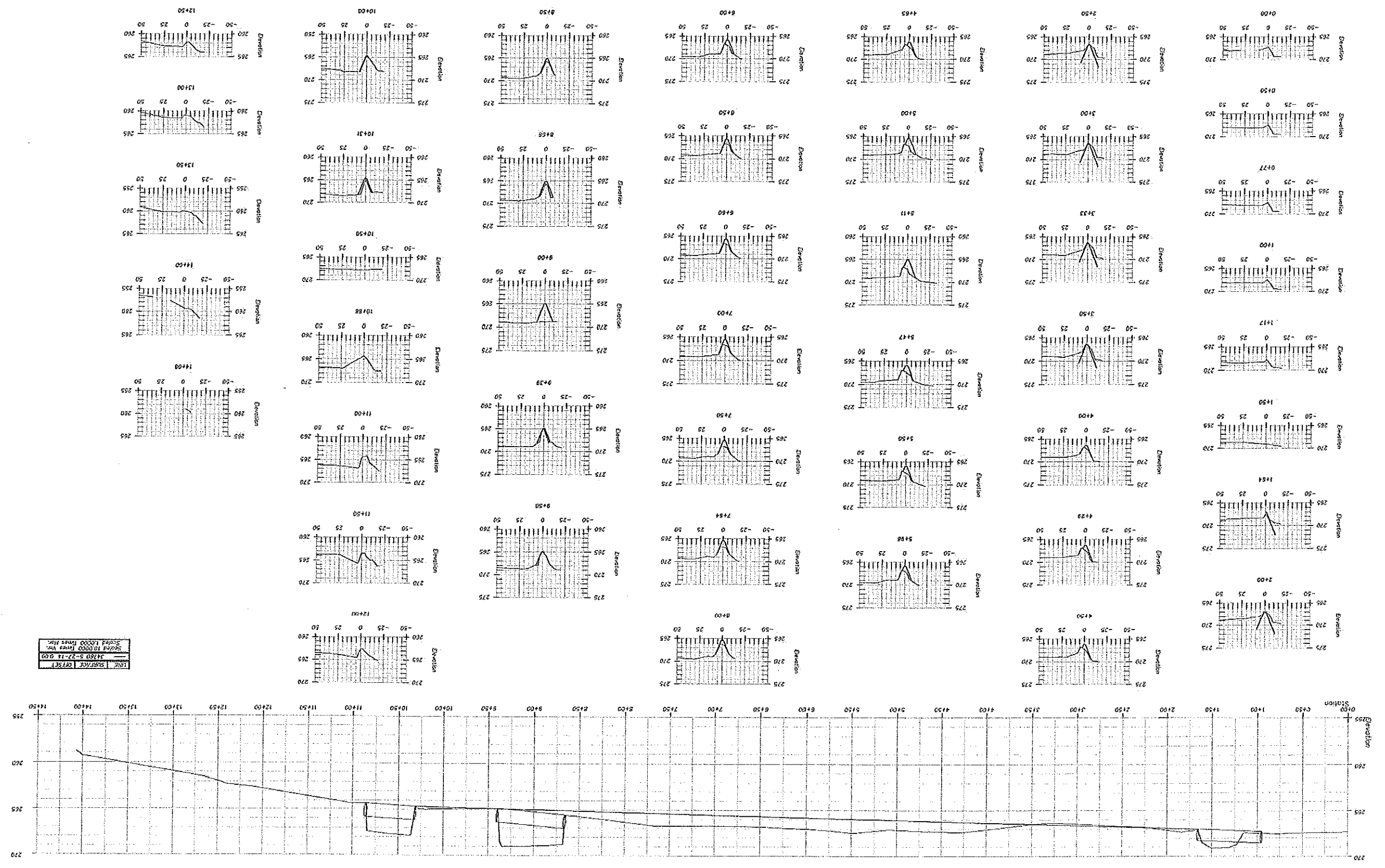
	REQD. LIGHT DUTY PAVEMENT
	REQD. HEAVY DUTY PAVEMENT
	REQD. CONCRETE PAVING

PREPARED FOR PERMITTING

REVISIONS: 07/31/14 EXTEND HYDROGRAPHIC SURVEY 08/07/14 CORRECT CONC. & ASPHALT MATCH-LINE 08/07/14 BUILDING PERSON CHANGED 08/26/14 PER CLIENT COMMENTS		GRADING AND DRAINAGE PLAN QUINCY COMPRESSOR PREPARED FOR BAY SHORE CONSTRUCTION ROWE SURVEYING AND ENGINEERING COMPANY, INC. CONSULTING ENGINEERS CA-0033-LS 3755 EDITHA HILL ROAD MOBILE, ALABAMA 36609 PHONE 251-666-2326 FAX 251-660-1040	
DRAWING: 34780.dwg DATE: 07/21/14 FILE: 1224 / 10-42-50-53	SCALE: 1" = 30' SHEET NO. 2 OF 4	PROJECT NO. 14-0000000000 DATE: JULY 21, 2014	

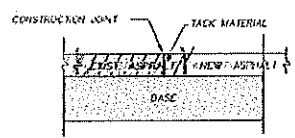
© COPYRIGHT 2014
 ALL RIGHTS RESERVED
 ROWE SURVEYING & ENGINEERING CO., INC.

PROFILES FOR PUMPINGS

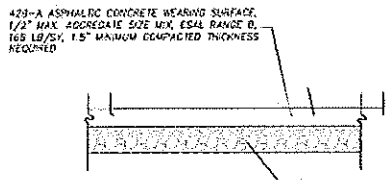


LINE SURFACE PROFILE
 3480 3-27-14 0.09
 Scaled 1:5000 (Horizontal)
 Scaled 1:500 (Vertical)

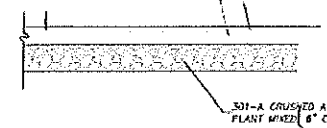
ROWNE SURVEYING AND ENGINEERING COMPANY, INC. CONSULTING ENGINEERS BAY SHORE CONSTRUCTION	DATE: 07/21/14 EXTENSION: QUINCY COMPRESSOR
ROWNE SURVEYING AND ENGINEERING COMPANY, INC. 3155 COLTAR HILL ROAD CORAL GABLES, FLORIDA 33134 PHONE: 305-444-3700 FAX: 305-444-1000	PROJECT NO.: 14-003-15 JOB NO.: 14-003-15 DATE: MAY 21, 2014 SCALE: 1" = 30'
ROWNE SURVEYING AND ENGINEERING COMPANY, INC. 3155 COLTAR HILL ROAD CORAL GABLES, FLORIDA 33134 PHONE: 305-444-3700 FAX: 305-444-1000	DATE: MAY 21, 2014 SCALE: 1" = 30'



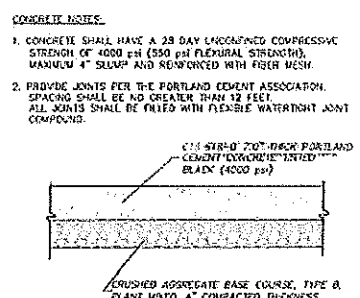
ASPHALT CONSTRUCTION JOINT
NOT TO SCALE



LIGHT DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



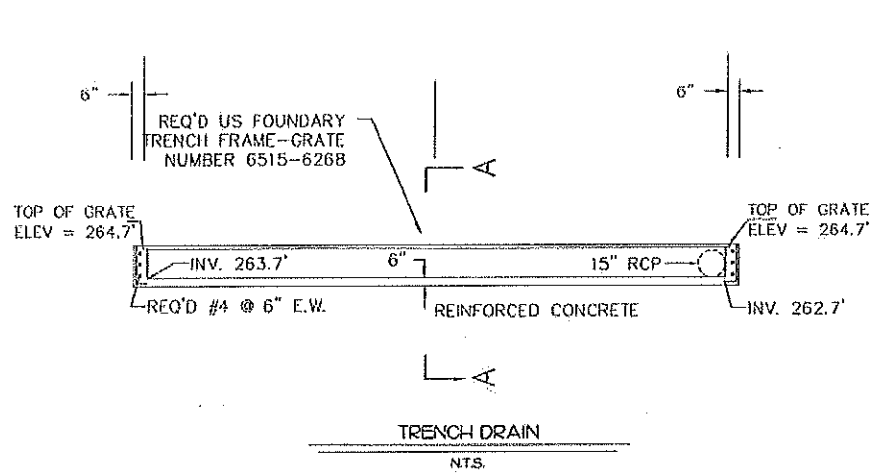
HEAVY DUTY ASPHALT PAVEMENT SECTION
NOT TO SCALE



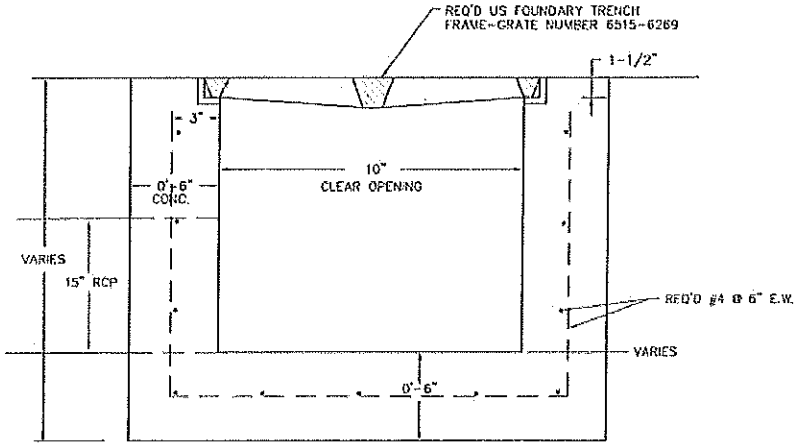
CONCRETE PAVEMENT SECTION
NOT TO SCALE

CONCRETE NOTE:
1. CONCRETE SHALL HAVE A 28 DAY UNCOMPRESSED COMPRESSIVE STRENGTH OF 4000 PSI (550 PSI FLEXURAL STRENGTH), MINIMUM 4" SLUMP AND REINFORCED WITH FIBER MESH.
2. PROVIDE JOINTS PER THE PORTLAND CEMENT ASSOCIATION. SPACING SHALL BE NO GREATER THAN 12 FEET. ALL JOINTS SHALL BE FILLED WITH FLEXIBLE WATERPROOF JOINT COMPOUND.

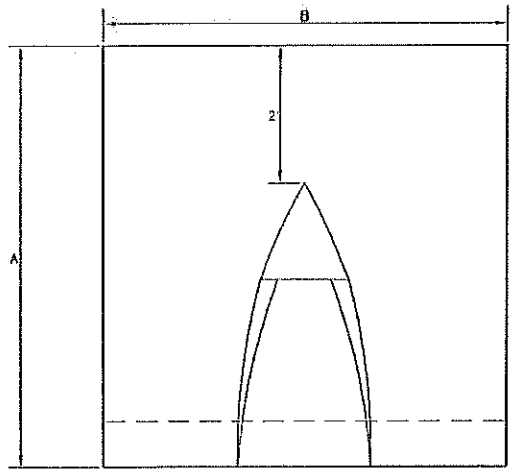
- CONSTRUCTION NOTES
1. ALL LABOR AND MATERIALS SHALL CONFORM TO STANDARD SPECIFICATIONS OF THE ALABAMA DEPARTMENT OF TRANSPORTATION, 2008 EDITION.
 2. THE WORD OF THE ENGINEER AND/OR INSPECTOR SHALL BE FINAL ON ANY MATTER.
 3. SUBGRADE/EMBANKMENT/PAVEMENT REQUIREMENTS ARE THE ALABAMA DEPARTMENT OF TRANSPORTATION.
 4. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROPER COMPACTION ON ANY AND ALL UTILITY DITCHES.
 5. ALL UNPAVED AREAS WITHIN THE RIGHT-OF-WAY AND ALL AREAS THAT HAVE BEEN GRADED, CUT, OR FILLED SHALL RECEIVE SOLID SOO.
 6. PRICES BID ON DITCH EXCAVATION AND CULVERT PIPE TO INCLUDE ANY CLEARING AND GRUBBING THAT MAY BE REQUIRED.
 7. ALL CONCRETE TO BE 3,000 P.S.I. MINIMUM COMPRESSIVE STRENGTH REQUIRED IN 28 DAYS.
 8. THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE TESTING LABORATORY OF HIS WORKING SCHEDULE IN ORDER THAT THE PROPER SAMPLE MAY BE OBTAINED AND TEST MADE.
 9. ROADWAY FILL AND EMBANKMENT SHALL BE COMPACTED AS REQUIRED IN LAYERS NOT TO EXCEED 8".
 10. ALL EXCESS EXCAVATION TO BE SPREAD AS DIRECTED BY ENGINEER OR HALLED FROM SITE AT NO EXTRA PAYMENT.
 11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND SHALL COORDINATE CONSTRUCTION WITH REPRESENTATIVES OF ANY UTILITY LOCATED IN THE CONSTRUCTION AREA.
 12. ALL LIGHTING OF THE SITE AND THE PARKING AREA WILL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF DAPHNE.
 13. INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL DEVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF THE PUBLIC IN THE AREA OF CONSTRUCTION OF THIS PROJECT.



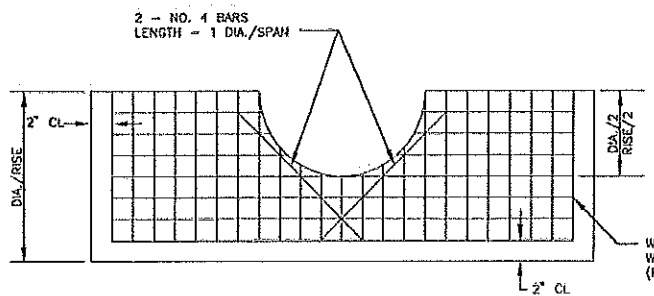
TRENCH DRAIN
N.T.S.



SECTION A-A
N.T.S.



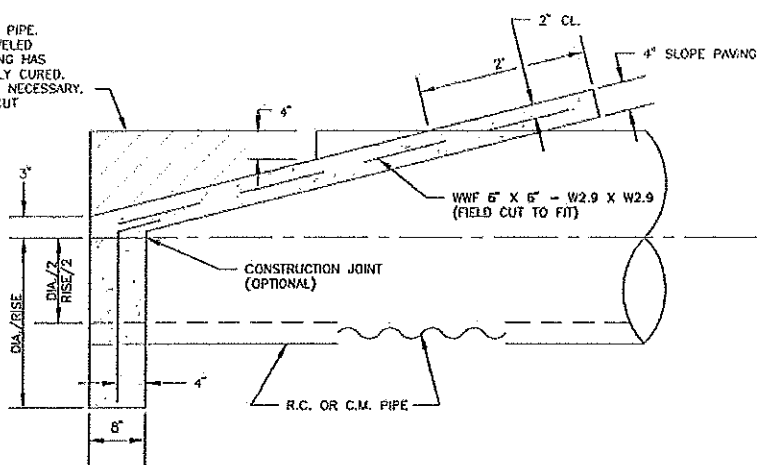
PLAN VIEW
NO SKEW



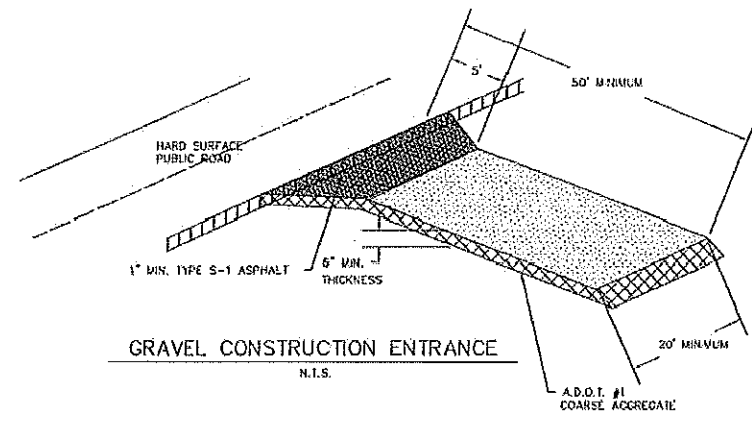
END VIEW - CONCRETE PIPE

- GENERAL NOTES
1. THE FILL SHALL BE PLACED AND FINISHED AND ALL SHORING REMOVED BEFORE ANY CONCRETE SHALL BE PLACED ON SLOPES.
 2. QUANTITIES SHOWN INCLUDES TWO (2) COMPLETE HEADWALLS.
 3. WHERE 6:1 FRONT SLOPES ARE REQUIRED, THEY SHALL BE WARFED TO FIT 4:1 INSTALLATION.
 4. 8" THICK END WALL SHALL BE PERPENDICULAR TO FLOW LINE, WARP AND DRESS ADJACENT FILL TO FIT SKEWED CONDITIONS. EDGES OF PAVING PLACED UPON FRONT SLOPE SHALL BE PARALLEL TO SLOPE LINE.
 5. DETAIL AND QUANTITIES SHOWN ON THIS DRAWING APPLIES TO REINFORCED CONCRETE AND CORRUGATED METAL PIPES.
 6. SLOPE PAVED HEADWALL WITHOUT GRATE SHALL BE CLASS 1, HEADWALL WITH GRATE SHALL BE CLASS 2.
 7. PIPES LARGER THAN 30" IN DIAMETER SHALL HAVE A CLASS 2 END TREATMENT WHEN TERMINATED WITHIN THE CLEAR ZONE.
 8. ADDITIONAL 4" THICK TOEWALL 12" DEEP WILL BE REQUIRED ON 30° AND 45° SKEW. SEE DIMENSION "D" ON PLAN VIEW.

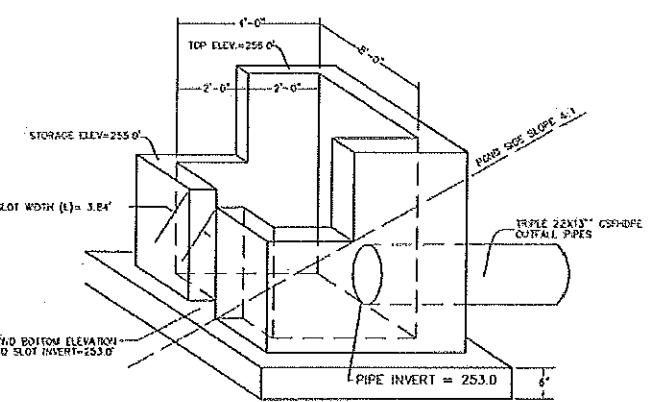
REMOVE HATCHED PORTION OF PIPE. CONCRETE PIPE SHALL BE BEVELED BY SAWING AFTER SLOPE PAVING HAS BEEN PLACED AND SUFFICIENTLY CURED. SOME HAND FINISHING MAY BE NECESSARY. METAL PIPE SHALL BE SHOP CUT AND REPAIRED.



SLOPE PAVED HEADWALL FOR REINFORCED CONCRETE AND CORRUGATED METAL ROADWAY PIPE
SIDE VIEW



GRAVEL CONSTRUCTION ENTRANCE
N.T.S.



OUTFALL STRUCTURE
NOT TO SCALE

REVISIONS:	DETAILS QUINCY COMPRESSOR
07/31/14 EXTEND TOPOGRAPHIC SURVEY	PREPARED FOR BAY SHORE CONSTRUCTION
08/26/14 ADD GRAVEL CONST. ENTRANCE DETAIL	ROWE SURVEYING AND ENGINEERING COMPANY, INC. CONSULTING ENGINEERS CA-0033-LS
	3735 EASTACE HULL ROAD WADSWORTH, ALABAMA 36093 PHONE: 251-668-2768 FAX: 251-660-1040
DRAWING: 34720-4-2 SCALE:	DATE: July 21, 2014 SCALE: 1" = 30'
NO: 34720 REV: 1B24 / 4D-42	SHEET NO: 4 OF 4

City of Bay Minette

Application for Site Plan

This is to certify that I (we) the undersigned do hereby request the City of Bay Minette to grant a Site Plan Review to determine the use and location of site meets the regulations within the Zoning Ordinance.

1. Owner/Developer's Contact Information:

a) Name: The First, Baldwin County

b) Address: 1207 North McKenzie Street

Foley, AL 36535

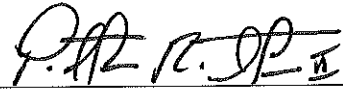
2. Current Zoning Classification: B-2

3. Location of the Proposed Site Plan: 303 D'Olive Street

4. Proposed Site Use: Proposed Temporary Bank Site

5. Character of Adjacent Sites: Business/Commercial

Dated this 26 Day of AUGUST, 2014.



Owner or Authorized Representative

Site Plan Application Fee \$100.00

City of Bay Minette

Application for Site Plan

This is to certify that I (we) the undersigned do hereby request the City of Bay Minette to grant a Site Plan Review to determine the use and location of site meets the regulations within the Zoning Ordinance.

1. Owner/Developer's Contact Information:

a) Name: The First, Baldwin County

b) Address: 1207 North McKenzie Street
Foley, AL 36535

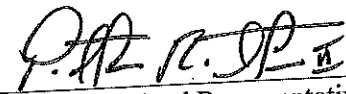
2. Current Zoning Classification: B-2

3. Location of the Proposed Site Plan: 303 D'Olive Street

4. Proposed Site Use: Proposed Temporary Bank Site


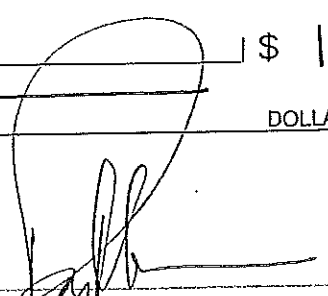
5. Character of Adjacent Sites: Business/Commercial

Dated this 26 Day of AUGUST, 2014.



Owner or Authorized Representative

Site Plan Application Fee \$100.00

HUTCHINSON MOORE & RAUCH, LLC		1110
P O BOX 1127 DAPHNE, AL 36526 (251) 626-2626		61-8/620 20009 2000688088002
DATE <u>8/21/14</u>		
PAY TO THE ORDER OF <u>City of Bay Minette</u>	\$ <u>100⁰⁰</u>	
<u>One hundred & 00/100</u>	DOLLARS	
FOR _____		
WELLS FARGO Wells Fargo Bank, N.A. Alabama wellsfargo.com		
MP		
⑈0000001110⑈ ⑆062000080⑆ 2000688088002⑈		



City of Bay Minette
Planning Commission
Site Plan Review Check List

Date 8/26/14

Project The First Bank Site

Applicant Hutchinson, Moore & Rauch, LLC

The Site Plan Review Check List is to be presented at the initial inquiry for site plan review to acquaint the applicant of the necessary documents and design plans that are necessary for placement on the Planning Commission agenda. Upon reception of these necessary elements; this checklist will be completed by the Planning and Zoning Administrator and attached to design plans, along with a completed application. All members of the Planning Commission will receive the Site Plan Review Checklist, design plans and completed application prior to the scheduled Site Plan Review.

Necessary elements for the site plan review (Section 8.9): Completed Applications along with design plans that shall include site plans, architectural plans with landscaping plans as stated. A site plan shall be prepared, signed and sealed by an architect or an engineer that is currently licensed in the State of Alabama. It is noted by the State Codes of Alabama that the services of a registered architect shall be required on all buildings for public assembly over 2500 square feet. All design plans shall be drawn to scale. Drawing scale must be large enough to be readable (no smaller than 1 inch = 50 feet). Plans shall address the following requirements:

- A. The location and size of the site (dimensions, size in square footage and acreage) including topography along with a legal description and a current certified survey.
- B. A vicinity map showing the site relation to surrounding property.
- C. The recorded ownership and developer's interest.
- D. Date, scale, north arrow, title, and names and contact information for property owner(s), developer, engineer, architect and landscape designer (if applicable), including current license numbers.
- E. The relationship to the site to existing development in the area including streets, utilities, residential, and commercial development, and physical features of the land including significant ecological features. This information can be combined with requirements for the vicinity map specified in this section.
- F. Zoning classification of site and of adjacent properties. (Article VI)
- G. The density or intensity of land use to be allocated to all parts of the site together with tabulations by acreage and percentages thereof itemized by use and density.

- H. The location, size and character of any common open space, commonly owned facilities and form of organization which will own and maintain any common opens space and such facilities.
- I. Adjacent public and/or private streets including lot(s) frontage, dimensions, surface type, and existing or proposed access. (Section 7.9)
- J. Front, side and rear setbacks (Section 8.12)
- K. The use and maximum height, bulk, location and dimensions of all buildings (existing and proposed) and any other structures to be located on the site.
- L. Parking design standards and improvement requirements (Section 9.2) and Off-street loading and unloading space. (Section 9.3)
- M. Front, side and rear architectural elevations. These elevations shall indicate:
 - 1. Design character of buildings and structures
 - 2. Specific materials existing/planned for use on building and structures, including colors of any and all materials employed, with their locations indicated on the elevations
 - 3. Height of buildings and structures (Section 7.3)
 - 4. Roofs and overhangs
 - 5. Special design features (if applicable) may include compliance with the American Disabilities Act Requirements
 - 6. Yard requirement (7.4)
- N. Location, size and type of signage, any pre-existing, non-conforming signs must meet the current sign regulations. (Article XVI)
- O. The substance of covenants, grants of easements or other restrictions which will be imposed upon the use of land, buildings and structures, including proposed easements or grants for public utilities or other purposes. (Section 7.12)
- P. Landscape and Tree Protection (Article X), includes off street parking, buffer requirements and special designs.
- Q. Surface Drainage and Erosion and sediment control (Section 7.13 and 7.14)
- R. Screening, Lighting and Space. (Section 7.16)
- S. Location of garbage disposal facilities/buffer (if applicable)
- T. In case of plans which call for development over a period of years, a schedule showing the proposed times within which applications for building permits are intended to be filed.
- U. Where required by ALDOT, the applicant will provide proof that the driveway permit application has been submitted to ALDOT. If a traffic study is required the applicant shall provide copies of the study to the Building Department.

- W. Any additional data, plans or specifications which the applicant or the City believes is pertinent and which will assist in clarifying the application including, but not limited to plans for screening, lighting and space, surface drainage, erosion and sediment control, water and sewer connections, landscaping, and signs.

This checklist corresponds to the City of Bay Minette Zoning Ordinance as well as reflecting the City Comprehensive Plan. It is designed to aid the applicant and serve as a tool for the Bay Minette Planning Commission decisions. While each site plan application is unique, it is imperative to follow the Zoning Ordinance and Comprehensive Plan guidelines to achieve the desired goals of our community while supporting the future growth and development.

Planning and Zoning Administrator

Fire Inspector

Comments:

August 20, 2014

RE: Bay Minette Bank Site

To whom it may concern:

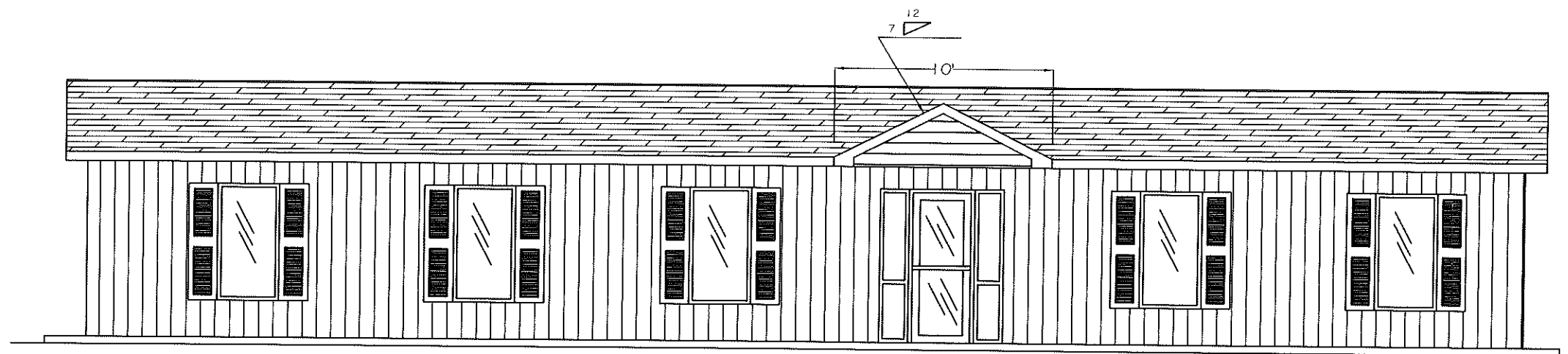
I hereby authorize Hutchinson, Moore & Rauch, LLC to act as my agent for the above referenced project.

Sincerely,

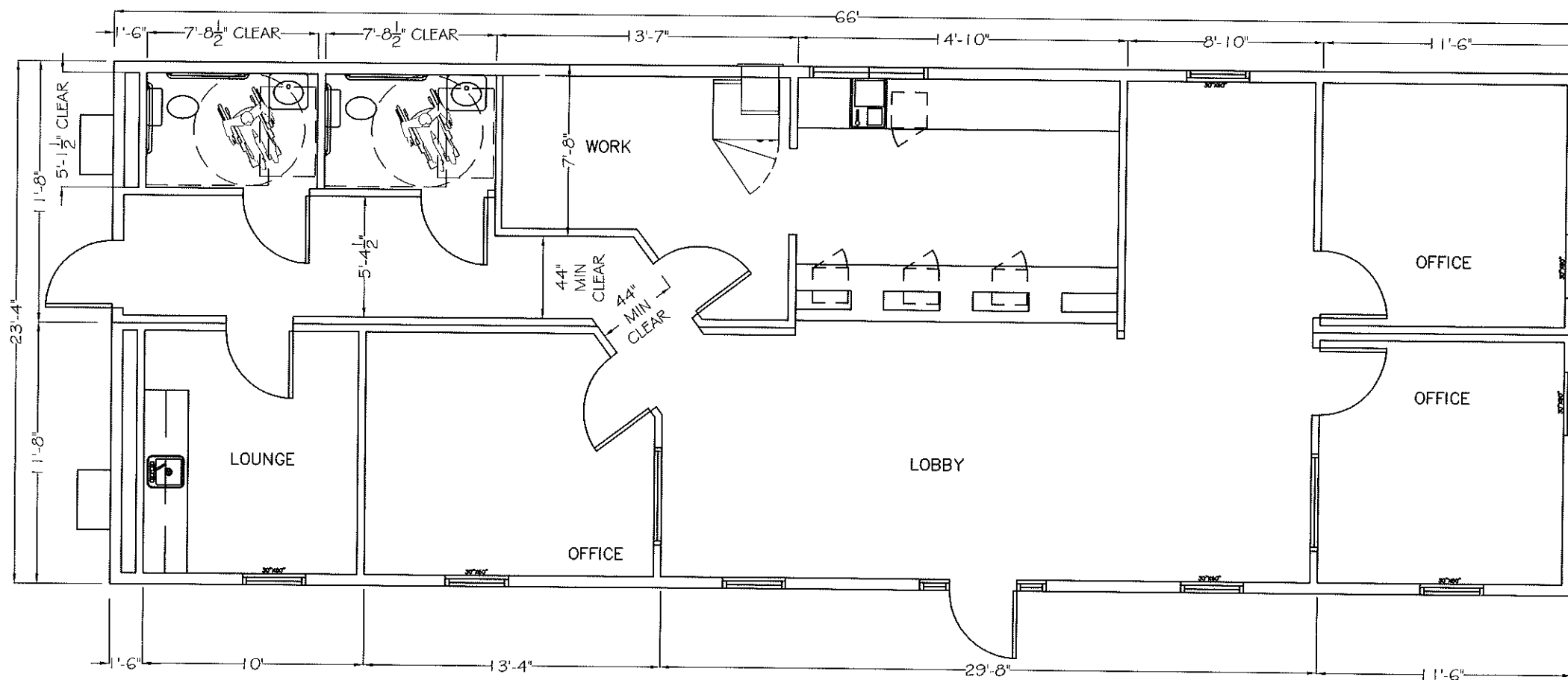
The First of Baldwin County

Wade Neth

A handwritten signature in blue ink, appearing to read "W. Neth", written over the printed name "Wade Neth".



2 FRONT ELEVATION
A-201 SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
A-201 SCALE: 1/4" = 1'-0"

DISCLAIMER
This is not an engineered drawing. Do not use for any purpose other than that intended. The user assumes all liability for any use not intended by the designer. No warranty is made by the designer for the information provided.

RESTRICTED
This material is the exclusive property of NABS, Inc. and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without permission from NABS, Inc.

NABS, Inc.
1999 North Amador, Ste. 224
Wichita KS 67203
(316) 821-9590
www.nabsinc.com

SEAL

NO.	REVISIONS	DATE	BY:

ISSUE DATE

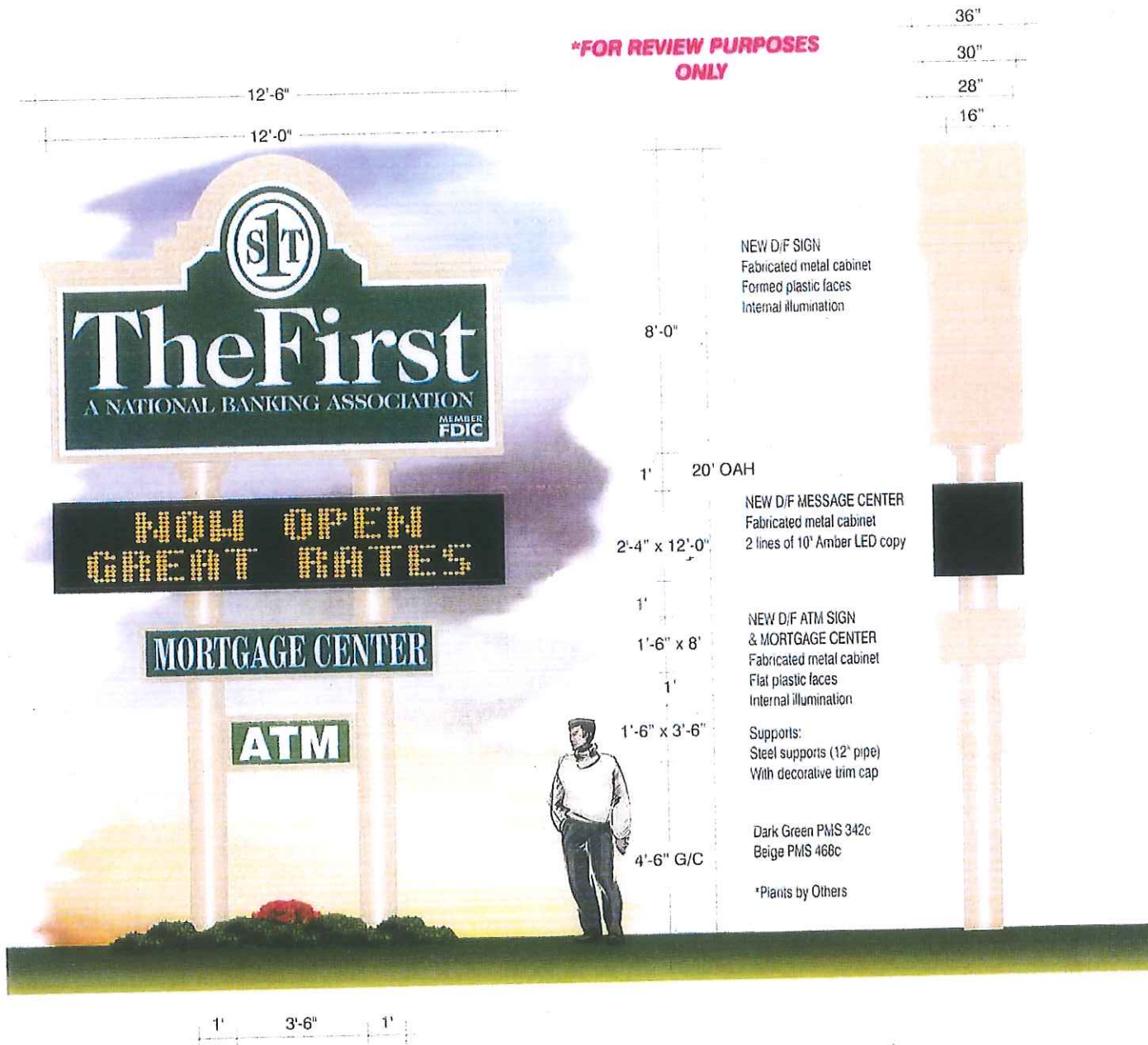
DRAWN BY: M. TURNER
CHECKED BY: J. DIEKER

PROJECT#:
2466 FP

SHEET TITLE:
FLOOR PLAN

SHEET:
A-201

SHT: OF:



***FOR REVIEW PURPOSES ONLY**

NEW D/F SIGN
Fabricated metal cabinet
Formed plastic faces
Internal illumination

NEW D/F MESSAGE CENTER
Fabricated metal cabinet
2 lines of 10' Amber LED copy

NEW D/F ATM SIGN
& MORTGAGE CENTER
Fabricated metal cabinet
Flat plastic faces
Internal illumination

Supports:
Steel supports (12" pipe)
With decorative trim cap

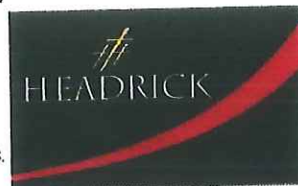
Dark Green PMS 342c
Beige PMS 466c

*Plants by Others

NOTE: Construction restrictions may cause dimensions to vary slightly

THIS LOGO/ART IS THE PROPERTY OF THE HEADRICK SIGNS & GRAPHICS AND IS NOT TO BE DUPLICATED OR COPIED

IT WAS CREATED FOR THE SOLE PURPOSE OF VIEWING BY RECIPIENT. IT IS NOT TO BE RELEASED TO OUTSIDE PARTIES. IF NO CONTRACT IS INITIATED WITH THE HEADRICK SIGNS & GRAPHICS, THE ART IS TO BE RETURNED IN FULL. ANY DUPLICATION AND OR COPYING OF THIS ART, IN PART OR WHOLE IS PROHIBITED. ANY VIOLATION OF THESE TERMS WILL RESULT IN PENALTIES AND PROSECUTION UNDER COPYRIGHT LAWS. SHOULD YOU NOT PURCHASE YOUR SIGN FROM US, YET YOU DESIRE TO PURCHASE THIS LOGO/ART AND USE IT AT YOUR DISCRETION. THE COST WILL BE \$ 250.00



ONE FREEDOM SQUARE LAUREL, MS 39440-3367 PHONE 601-649-1977 / FAX 601-425-2411 / E-MAIL: hsc@headricks.com

CUSTOMER :		The First Bank		Bay Minette, AL
SCALE	1/4" = 1' - 0"	APPROVED BY		
DATE	08/20/14	PAGE	1	SKETCH NO ML - 2708 - 08 - 14
REVISION DATE		DRAWN BY <i>M. L. ...</i>		

**DRAINAGE CALCULATIONS
AND
DETENTION OUTFALL DETAILS
FOR**



**TEMPORARY BANK SITE
BAY MINETTE, ALABAMA**

Prepared By:



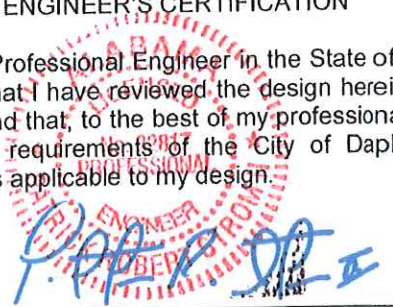
**DRAINAGE CALCULATIONS
AND
DETENTION OUTFALL DETAILS**

FOR

**TEMPORARY BANK SITE
BAY MINETTE, ALABAMA**

ENGINEER'S CERTIFICATION

I, the undersigned, a Licensed Professional Engineer in the State of Alabama holding Certificate Number 32817, hereby certify that I have reviewed the design herein which was done under my direct control and supervision and that, to the best of my professional knowledge and to the best of my belief, conforms to the requirements of the City of Daphne and to all other rules, regulations, laws and ordinances applicable to my design.

A red circular professional engineer seal for the State of Alabama is stamped over the text. The seal contains the text "STATE OF ALABAMA", "PROFESSIONAL ENGINEER", and "CERTIFICATE NUMBER 32817". Overlaid on the seal is a blue ink signature that reads "P. R. STROM II".

Patrick R. Strom II, P.E.
August 28, 2014

Name of Project to which this Certificate Applies: The First, Temporary Bank Site

**THE FIRST
TEMPORARY BANK SITE**

**DRAINAGE CALCULATIONS AND
DETENTION OUTFALL DETAILS**

INDEX

INTRODUCTION NARRATIVE

LOCATION MAP AND BOUNDARY/TOPOGRAPHIC
SURVEY

OVERALL SITE PLAN

GRADING AND DRAINAGE PLAN

RUNOFF COEFFICIENTS

DETENTION POND CALCULATIONS

OUTFALL PIPE CALCULATIONS

OUTFALL CONTROL STRUCTURE DETAILS

INTRODUCTION NARRATIVE

Introduction Narrative

The proposed site is located at 303 D'Olive Street, on the corner of US Highway 31 (D'Olive Street) and Moog Avenue. The property consists of 0.5 acres and is vacant with no existing buildings. The property is currently zoned B-2, General Business District. The neighboring property to the east and west is also zoned B-2, as well as the properties to the south across D'Olive Street.

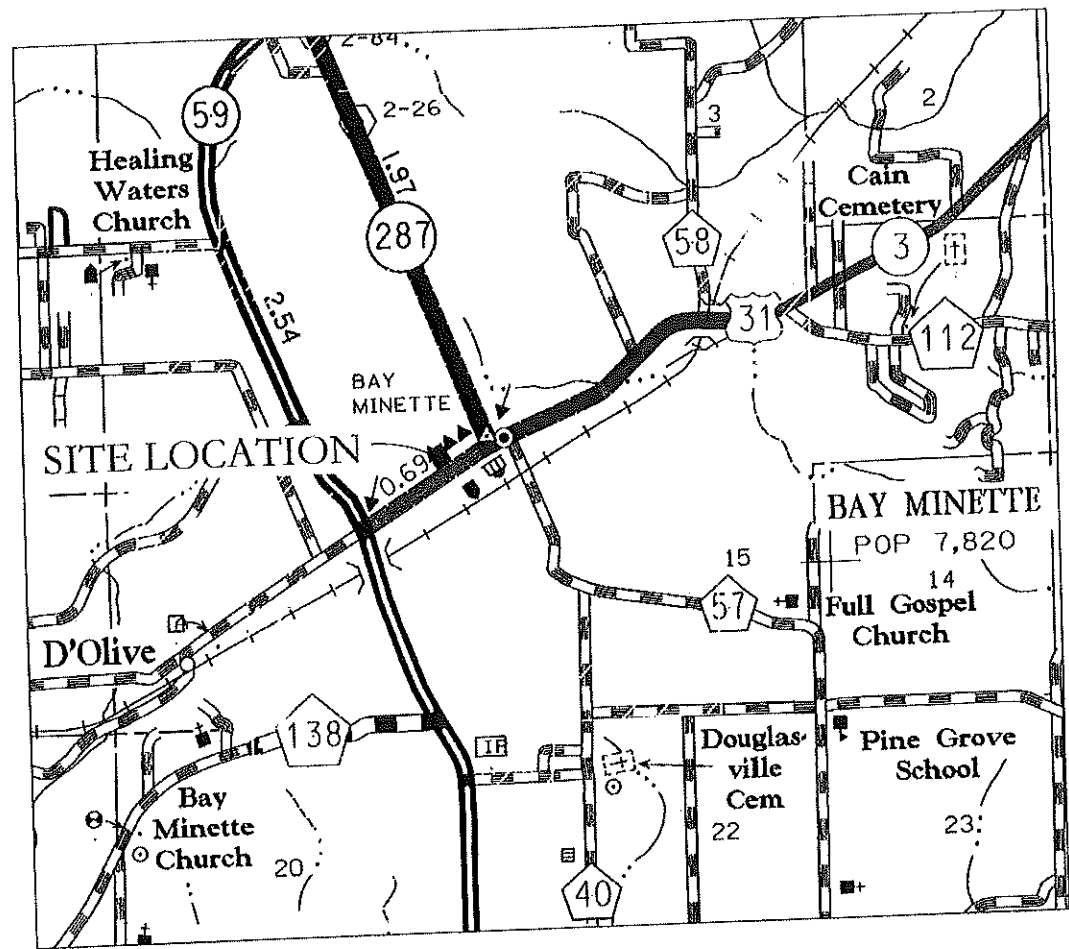
The potential owner is proposing to construct a temporary bank office and will eventually construct a permanent bank building with drive-thru service. As part of the site development the potential owner is planning to improve the areas within the right-of-way (ROW) along Moog Avenue and 2nd Street.

Currently, the property is approximately 70% covered in asphalt remaining from the prior development. The topography of the property allows the stormwater to surface drain across the site from the northeast to the southwest where it eventually outfalls into the drainage system located in the ROW of D'Olive Street. Ditches located along the north and west sides of the property also catch runoff from the site and adjoining roadways as well as areas upstream and convey it to the southwest corner of the site.

As part of the proposed development the temporary site will be graded so that the stormwater runoff sheet flows across the parking areas to the south where it will be captured, detained and released into the ROW drainage system. Since the improvements in the ROW are impacting the overall runoff release, this area has been included in the overall detention calculations and allowed to bypass the detention systems. This increases the total project area to 0.89 acres. Runoff rates for both pre and post development conditions were calculated using the rational method. These calculations were completed separately for the pre-developed, post-developed temporary site and post developed permanent or final site. The weighted runoff coefficient for the post developed final site was used in the detention calculations to provide additional detention for the initial temporary site as well as any adjustments needed while transitioning to the final site during construction.

The detention pond, with a capacity of 3,512 cubic feet, will exceed the storage capacity of a 50 year, 24 hour storm event which requires a total storage of 1,914 cubic feet. The outfall structure is designed to release the stormwater from the site at a flow rate equal to or less than the pre-developed discharge flow rate from a 50 year storm event minus the discharge from the ROW which bypassed the detention facility. Details related to the detention calculations and outfall structure is included in this report.

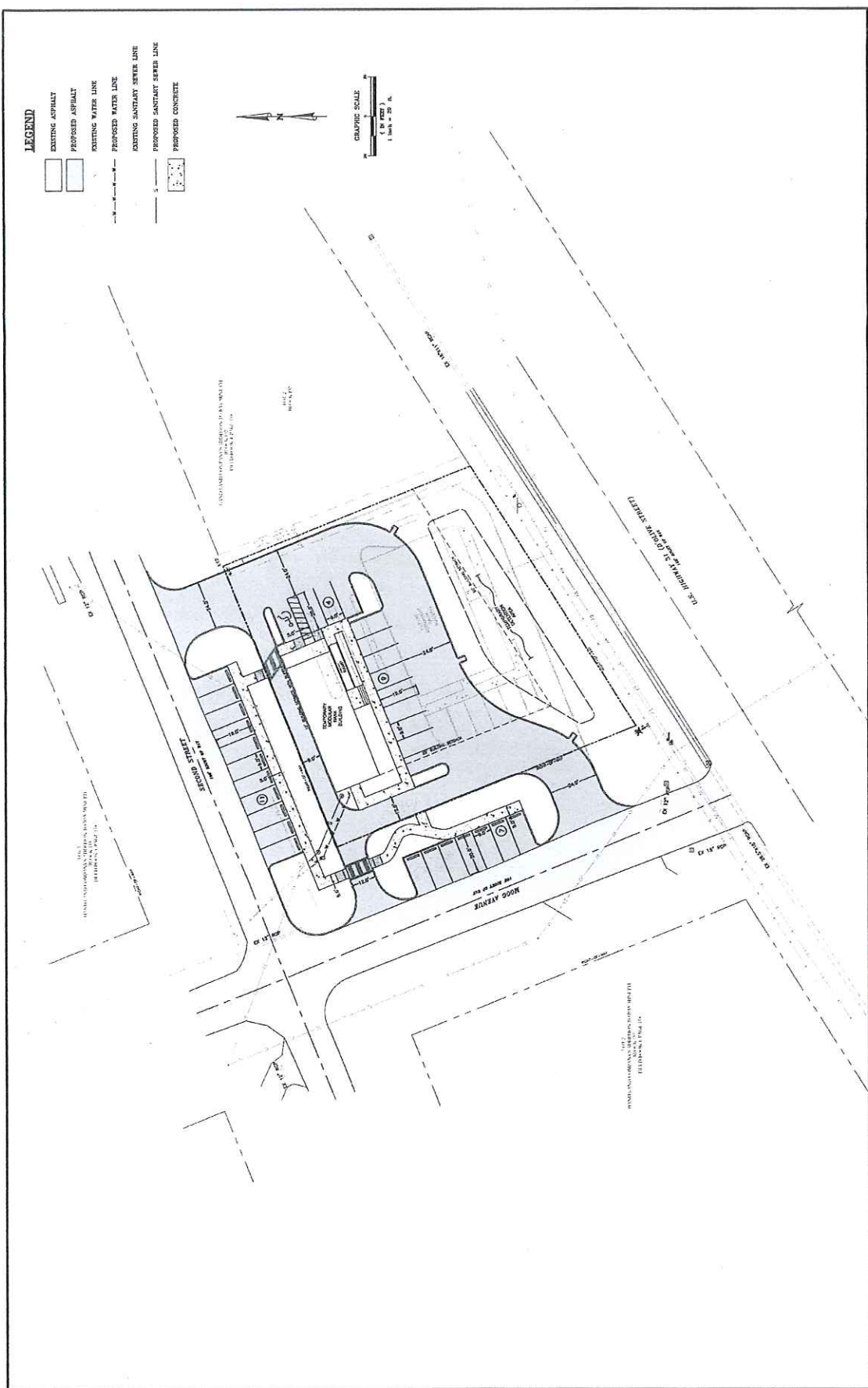
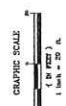
LOCATION MAP AND BOUNDARY/
TOPOGRAPHIC SURVEY



Location Map

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED CONCRETE

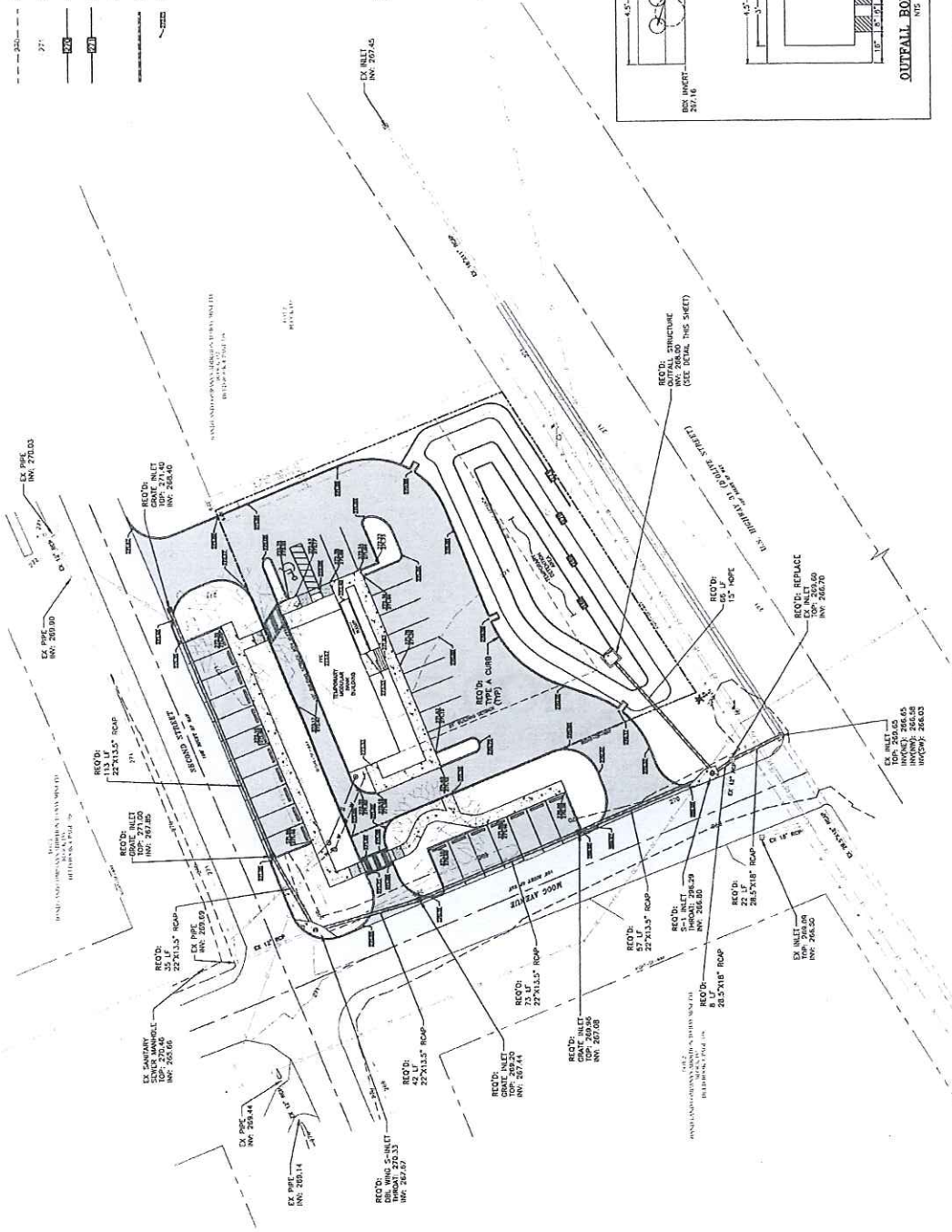
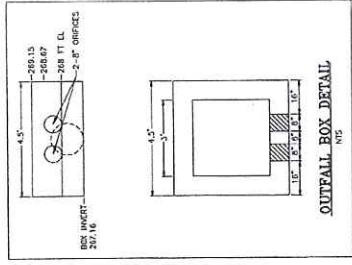
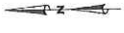


<p>HUTCHINSON, MOORE & RAUCH, LLC ENGINEERS & ARCHITECTS LAND MANAGER</p>		<p>BAY MINETTE TEMPORARY BANK SITE OVERALL SITE PLAN</p>	
<p>1 ST. LOUIS STREET, SUITE 1001 MOBILE, ALABAMA 36602</p>		<p>THE FIRST OF BALDWIN COUNTY</p>	
<p>TEL (251) 345-1841 FAX (251) 345-1843 mobile@hmr-engineers.com</p>		<p>DATE: AUGUST 2014</p>	
<p>PROJECT NO. 10297/ADT</p>		<p>SCALE: 1" = 20'</p>	
<p>DATE: _____</p>		<p>PROJECT NO. _____</p>	

GRADING AND DRAINAGE PLAN

LEGEND

- 2'-0" --- EXISTING 5' CONTOUR
- 1'-0" --- EXISTING 1' CONTOUR
- 0'-0" --- PROPOSED 5' CONTOUR
- 0'-0" --- PROPOSED 1' CONTOUR
- --- EXISTING STORM DRAIN
- --- PROPOSED STORM DRAIN
- --- PROPOSED SPOT GRADE



HUTCHINSON, MOORE & RAUCH, LLC		ENGINEERS & SURVEYORS LAND PLANNERS	
1 ST. LOUIS STREET, SUITE 1001 MOBILE, ALABAMA 36602		TEL (251) 345-1841 FAX (251) 345-1843 mh@hcmrpa.com	
IIMR		IMR	
BAY MINETTE TEMPORARY BANK SITE GRADING & DRAINAGE PLAN		THE FIRST OF BALDWIN COUNTY	
PROJECT NO. F0099/4017 SCALE: 1"=20' DATE: AUGUST 2004		DRAWN BY: ADI CHECKED BY: PMS SHEET NO. 5 OF 9	

DETENTION POND CALCULATIONS

Detention Pond Area and Volume

The proposed detention facility is located on the south end of the property. The pond will be fully stabilized with sod. The top Elevation of the Pond is at elevation 270 and the bottom is at elevation 268. The storage depth of the pond is 1.15 ft and there is an additional 10 inches (EL 270) of freeboard.

The pond storage volume will be:

Area EL 270 = 5,061 SF

Area EL 269 = 2,897 SF

Area EL 268 = 1,203 SF

$$(5,061 + 2,897 + 1,203) / 3 \times 1.15 \text{ ft} = 3,512 \text{ cf}$$

Storage Volume required for a 50 year storm event = 1,914 cf

The discharge from the detention pond will be released and controlled by orifice and weir openings in the outfall structure (refer to the attached detention pond and outfall structure design worksheet).

Outfall Pipe Size

The outlet pipe from the pond must be sized to carry the runoff from a 100 year storm event from the site and off-site flow. The total post development runoff from the project drainage area is 7.24 cfs. Therefore, a 15" HDPE Storm Drain pipe will be used with a slope of 0.5% (refer to the outfall pipe calculations). The outfall pipe will be tied to the existing grate inlet in the southwest corner of the site and the piping directly downstream from this inlet, which ties into the ROW drainage system, will be upsized to a 28.5 x 18" RCAP to accommodate the potential additional flow.

DETENTION POND AND OUTFALL STRUCTURE DESIGN

PRE-DEVELOPMENT											
Pond Design Calculations				I (in/hr)	(acres)	C	* Qo (cfs)	Tc (min)			
Qo= Pre-Development Flow Qi= Post-Development Inflow from Pond Drainage Area 50yr Storm				9	0.89	0.65	3.1	10			
* Flow allowed after deducting the flow from the area allowed to by-pass the pond.											
TIME Minutes	T (sec)	I (in/hr) 50yr	Post Dev C	Pond Drainage Area (acres)	Qi (cfs)	Vi	Vo	Required Storage (Ft ^3)			
5	300	10.2	0.74	0.89	6.7	2015.3	942.8	1073			
10	600	9	0.74	0.89	5.9	3556.4	1085.1	1671	Off-Site Acres <input type="text" value="0"/>		
15	900	8	0.74	0.89	5.3	4741.9	2827.7	1914	2 yr I (in/hr) <input type="text" value="0"/>		
20	1200	7	0.74	0.89	4.6	5532.2	3770.3	1782	C <input type="text" value="0"/>		
25	1500	6.5	0.74	0.89	4.3	6421.4	4712.9	1709	2 yr Off-Site Flow (cfs) = <input type="text" value="0"/>		
30	1800	5.75	0.74	0.89	3.8	6816.5	5855.4	1161			
35	2100	5.25	0.74	0.89	3.5	7261.1	6598.0	663			
40	2400	4.75	0.74	0.89	3.1	7508.0	7540.6	-33			
45	2700	4.5	0.74	0.89	3.0	8002.0	8483.1	-481			
50	3000	4.25	0.74	0.89	2.8	8397.2	9425.7	-1029			
55	3300	4	0.74	0.89	2.6	8693.5	10368.3	-1675	Off-Site Acres <input type="text" value="0"/>		
60	3600	3.75	0.74	0.89	2.5	8891.1	11310.8	-2420	25 yr I (in/hr) <input type="text" value="0"/>		
				Area(acres) allowed to by-pass Pond =		0.31				C <input type="text" value="0"/>	
										25 yr Off-Site Flow (cfs) = <input type="text" value="0.00"/>	
ORIFICE FLOW: $Q = CdAo(2GH)^{1/2}$ ** Off-site runoff flow + pre-development on-site runoff flow				Per Orifice Q (cfs)		Per Orifice Cd		HEAD (ft) above center of orifice		Depth (ft) of water in pond	
Number of Orifices	Orifice Description (dia. Inches)	Allowable Pre-dev Q (cfs) **									
2	8	3.1			1.6		0.62		0.3489		
										100yr I (in/hr) <input type="text" value="0"/>	
										C <input type="text" value="0"/>	
										100 yr Off-Site Flow (cfs) = <input type="text" value="0"/>	
EMERGENCY OVERFLOW FOR 100-YR STORM RECTANGULAR WEIR FLOW: $Q = CdL(H)^{1.5}$											
Ht of weir above invert of orifice (ft)	H (ft) above weir crest	New Head Above Orifice (ft)	New Q (cfs) thru orifice	Q (cfs) 100 yr	100 yr Q weir must control	Weir Cd	Minimum Weir LENGTH (ft)				
1.0	0.5	1.17	3.75	7.24	3.49	3.00	3.29				

OUTFALL PIPE CALCULATIONS

Culvert Calculator Report Pond Outfall

Solve For: Discharge

Culvert Summary			
Allowable HW Elevation	270.00 ft	Headwater Depth/Height	2.27
Computed Headwater Elev.	270.00 ft	Discharge	7.92 cfs
Inlet Control HW Elev.	269.21 ft	Tailwater Elevation	268.30 ft
Outlet Control HW Elev.	270.00 ft	Control Type	Outlet Control

Grades			
Upstream Invert	267.16 ft	Downstream Invert	266.80 ft
Length	72.00 ft	Constructed Slope	0.005000 ft/ft

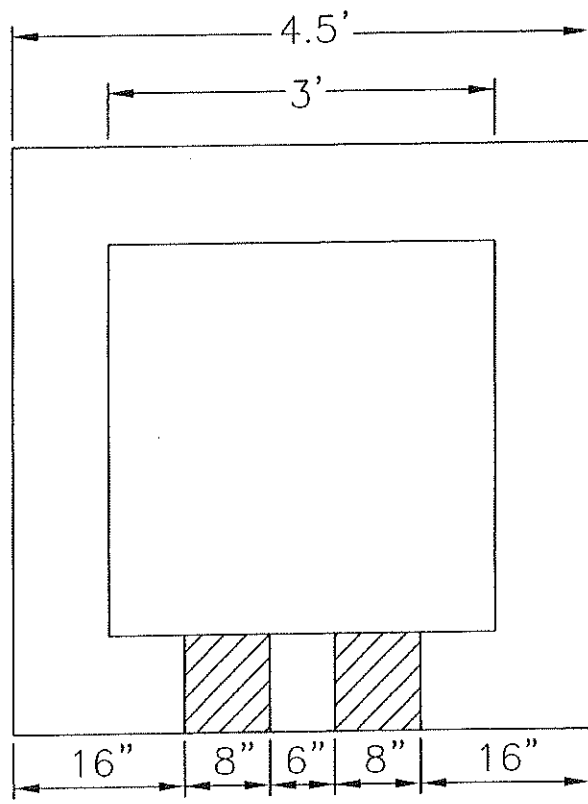
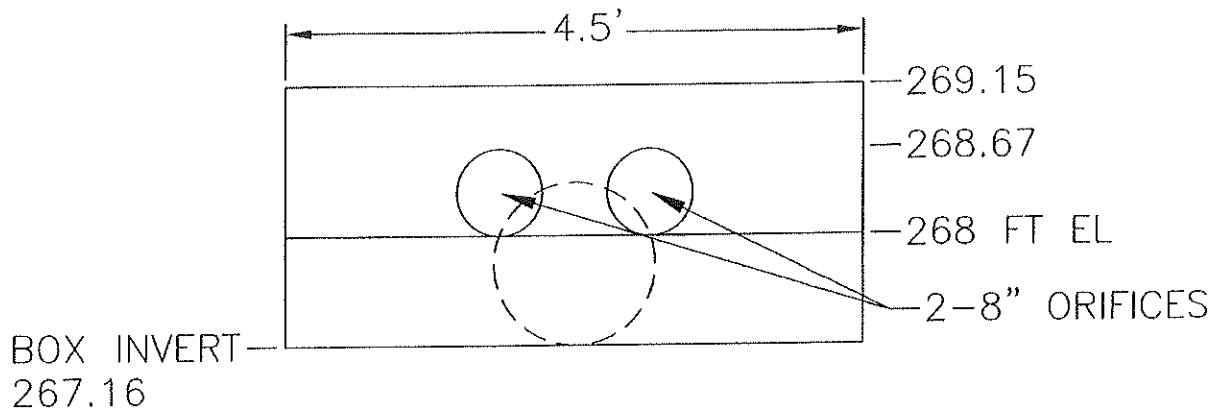
Hydraulic Profile			
Profile	Pressure Profile	Depth, Downstream	1.50 ft
Slope Type	N/A	Normal Depth	N/A ft
Flow Regime	N/A	Critical Depth	1.11 ft
Velocity Downstream	6.46 ft/s	Critical Slope	0.011412 ft/ft

Section			
Section Shape	Circular	Mannings Coefficient	0.012
Section Material	HDPE (Smooth Interior)	Span	1.25 ft
Section Size	15 inch	Rise	1.25 ft
Number Sections	1		

Outlet Control Properties			
Outlet Control HW Elev.	270.00 ft	Upstream Velocity Head	0.65 ft
Ke	0.20	Entrance Loss	0.13 ft

Inlet Control Properties			
Inlet Control HW Elev.	269.21 ft	Flow Control	Submerged
Inlet Type	Beveled ring, 33.7° bevels	Area Full	1.2 ft ²
K	0.00180	HDS 5 Chart	3
M	2.50000	HDS 5 Scale	B
C	0.02430	Equation Form	1
Y	0.83000		

OUTFALL CONTROL
STRUCTURE DETAILS



OUTFALL BOX DETAIL

NTS