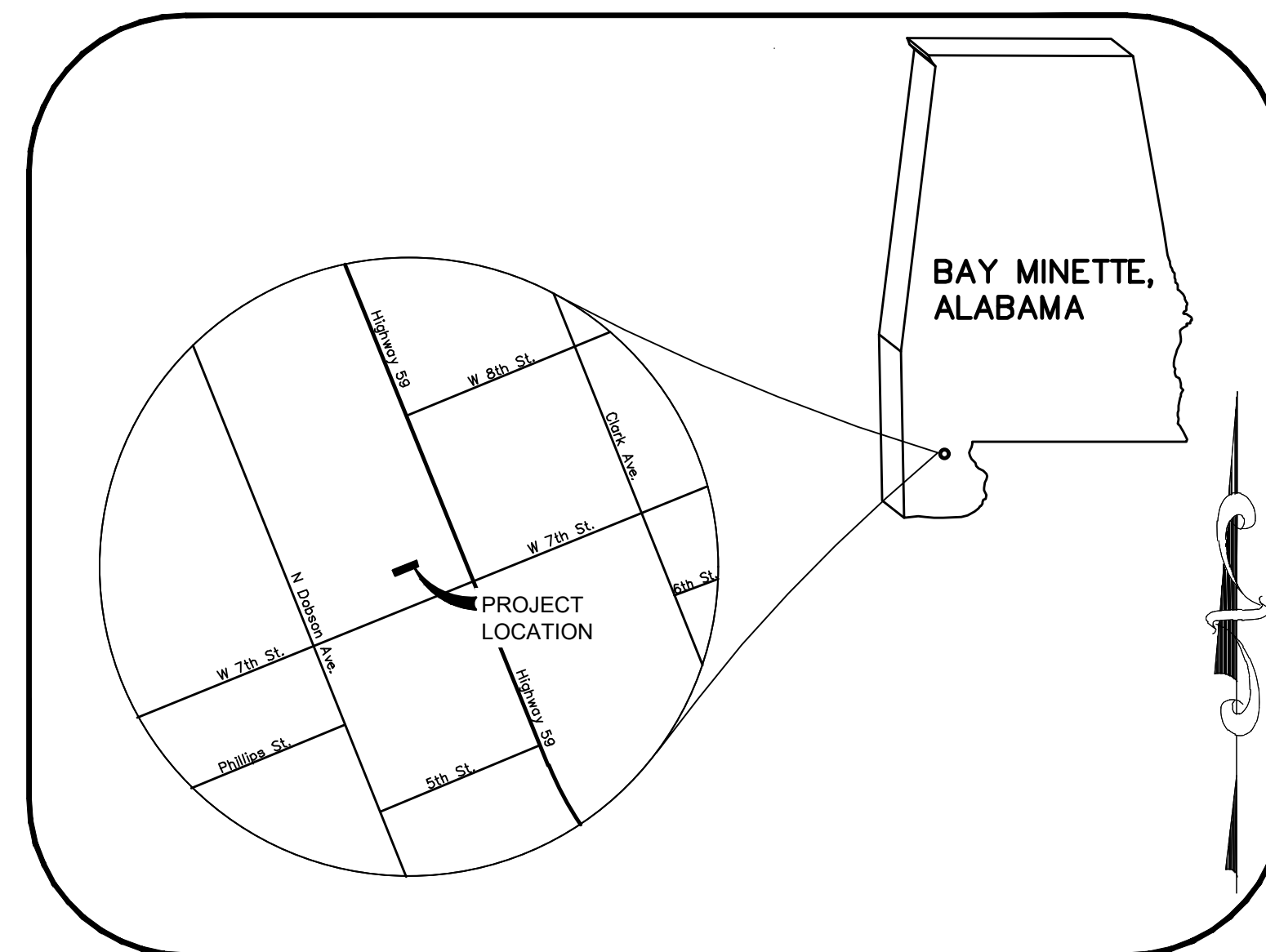


SITE DEVELOPMENT PLANS FOR  
MURPHY USA (RAZE/REBUILD)  
BAY MINETTE, ALABAMA  
1000 WEST 7TH STREET (WAL-MART SUPERCENTER #2739)



Know what's below.  
Call before you dig.



Vicinity Map

NOT TO SCALE

PLAN INDEX:

CIVIL ENGINEERING CONSULTANT

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TANK / PIPING CONSULTANT

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- E5 SECTION
- E6 SECTION
- F1 FOUNDATION PLAN

AGENCY

- CITY OF BAY MINETTE
- HEALTH DEPARTMENT
- STATE FIRE MARSHAL
- WAL-MART

DATE

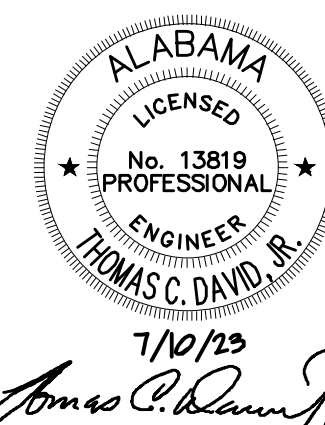
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BASED ON SURVEY BY:  
BECHTLER GREENFIELD SURVEYING, LLC.  
1430 WEST PEACHTREE ST. NW, SUITE 225  
ATLANTA, GA 30309  
EMAIL: info@bgsurveying.com  
PHONE: (770) 442-8181  
DATE: 11/16/22

REVISION	DATE	DESCRIPTION
REV-0	7/10/23	INITIAL BID SET DESIGN

JOB NO.: 12544	
DWG NO: 14407	
DATE	SHEET NO.
7/10/23	
REV-0	C-0

PAN AMERICAN ENGINEERS, LLC  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(318) 473-2100



GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY AND SECURITY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NO COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- CONSTRUCTION AND INSTALLATION OF 1,400 S.F. C-STORE, ALL UTILITY ENTRANCES, AND (1) 25,000 GALLON & (1) 26,000 GALLON UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- CONTRACTOR IS NOT TO START WORK UNTIL MURPHY OIL USA HAS RECEIVED WRITTEN AUTHORIZATION FROM WAL-MART AND WAL-MART STORE MANAGER HAS BEEN CONSULTED FOR SCHEDULING AND COORDINATION.
- THE GENERAL CONTRACTOR TO COORDINATE THE CANOPY SIGN LOCATIONS AND FREE-STANDING SIGNAGE WITH MURPHY'S DEVELOPMENT PROJECT MANAGER AND SIGN COMPANY.

WETLANDS NOTE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

FLOOD CERTIFICATION:

PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NO. 01003C0295M, DATED APRIL 19, 2019, PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED THROUGH MURPHY'S CONSTRUCTION WEBSITE (HTTPS://MURPHYUSA.PROJECTMATES.COM) INCLUDING Q&A, RFI'S, BID SUBMISSION, CHANGE ORDER REQUESTS, ETC. ONCE AWARDED THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S PROJECT MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

RESOURCE LIST:

- OWNER**  
MURPHY OIL USA, INC.  
200 PEACH STREET  
EL DORADO, AR 71730  
PM/CM: GAVEN BALLINGER  
(870) 866-7176
- CIVIL ENGINEER**  
PAN AMERICAN ENGINEERS  
1717 JACKSON STREET  
P.O. BOX 8599  
ALEXANDRIA, LA 71301  
CONTACT: WESLEY MILLER  
(318) 473-2100
- TANK AND PRODUCT PIPING**  
GALLOWAY  
6162 S. WILLOW DRIVE, SUITE 320  
GREENWOOD VILLAGE, COLORADO 80111  
CONTACT: DAVE JONES  
(303) 770-8884
- WAL-MART**  
WAL-MART SUPERCENTER STORE #2739  
701 McMEANS AVE.  
BAY MINETTE, AL 36507  
STORE MANAGER: VICTOR MORGAN III  
(251) 937-5558
- GEOTECHNICAL**  
UNITED CONSULTING  
625 HOLCOMB BRIDGE ROAD  
NORCROSS, GA 30071  
CONTACT: CHRIS ROBERDS  
(770) 209-0029
- BUILDING/CANOPY MANUFACTURER**  
FREY MOSS STRUCTURES  
1801 ROCKDALE INDUSTRIAL BLVD.  
CONYERS, GEORGIA 30012  
CONTACT: JENNIFER GOODMAN  
1-800-366-6385
- BUILDING/CANOPY DESIGN**  
GREENBERG FARROW  
3 EXECUTIVE DRIVE, SUITE 150  
SOMERSET, NJ 08873  
CONTACT: CHRIS CERBO  
(732) 537-0832





THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SHEET NO. C-1

7/10/23  
*Thomas C. David, Jr.*

REV-0	7/10/23	DATE	TCD	PRN	PM	WDM	JNS	DES	JNS	DRW
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**COMPOSITE SITE PLAN**  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE ALABAMA

NOTES

- A. PROPOSED LOCATION IS AN  
☐ OUT PARCEL  
☐ GRASSY AREA  
☐ LEASE LOT  
☒ EXISTING STATION IN PARKING AREA  
☐ EXISTING STATION IN OUT PARCEL
- B. PARKING  
683/4.4 EXISTING NUMBER OF PARKING SPACES / RATIO ON WAL-MART PARCEL  
0 TOTAL NUMBER OF SPACES TO BE REMOVED FROM WAL-MART PARCEL  
683/4.4 TOTAL NUMBER OF POST GAS SPACES REMAINING ON WAL-MART PARCEL  
153,724 WAL-MART BUILDING SQUARE FOOTAGE- (GROSS SQ-FT)
- C. TYPE OF STATION OPERATION:  
1,400 C-STORE 6 MPD 46'x122'-4" CANOPY SIZE  
- KIOSK - MPD - CANOPY SIZE
- D. PROPOSED SQUARE FOOTAGE OF OUT PARCEL AREA:  
12,780.84 S.F. 0.2934 ACREAGE  
PERCENTAGE OF OUTLOT USED: 100%
- E. ZONING REQUIREMENTS:  
B-2 EXISTING ZONING  
NONE ZONING REQUIREMENTS FOR STATION  
NONE PROPOSED ZONING CHANGES  
NONE RE-PLAT
- F. PROPOSED UTILITY EASEMENTS:  
ANSWER "YES" OR "NO" AND PARTIES INVOLVED:  
NO WATER  
N/A PUBLIC WITH N/A  
N/A PRIVATE WITH WAL-MART N/A  
N/A PRIVATE WITH 3rd PARTY N/A  
NO SEWER  
N/A PUBLIC WITH N/A  
N/A PRIVATE WITH WAL-MART N/A  
N/A PRIVATE WITH 3rd PARTY N/A  
NO UNDERGROUND ELECTRIC  
N/A PUBLIC WITH N/A  
N/A PRIVATE WITH WAL-MART N/A  
N/A PRIVATE WITH 3rd PARTY N/A  
NO UNDERGROUND TELEPHONE  
N/A PUBLIC WITH N/A  
N/A PRIVATE WITH WAL-MART N/A  
N/A PRIVATE WITH 3rd PARTY N/A
- G. OTHER NOTES:  
1. TRUCK ROUTE WAS DETERMINED USING AUTO-TURN WITH A WB-50 AS ITS VEHICLE.

PAN AMERICAN ENGINEERS, LLC  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(318) 478-2100  
CONTACT: WESLEY MILLER

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
EL DORADO, AR 71730

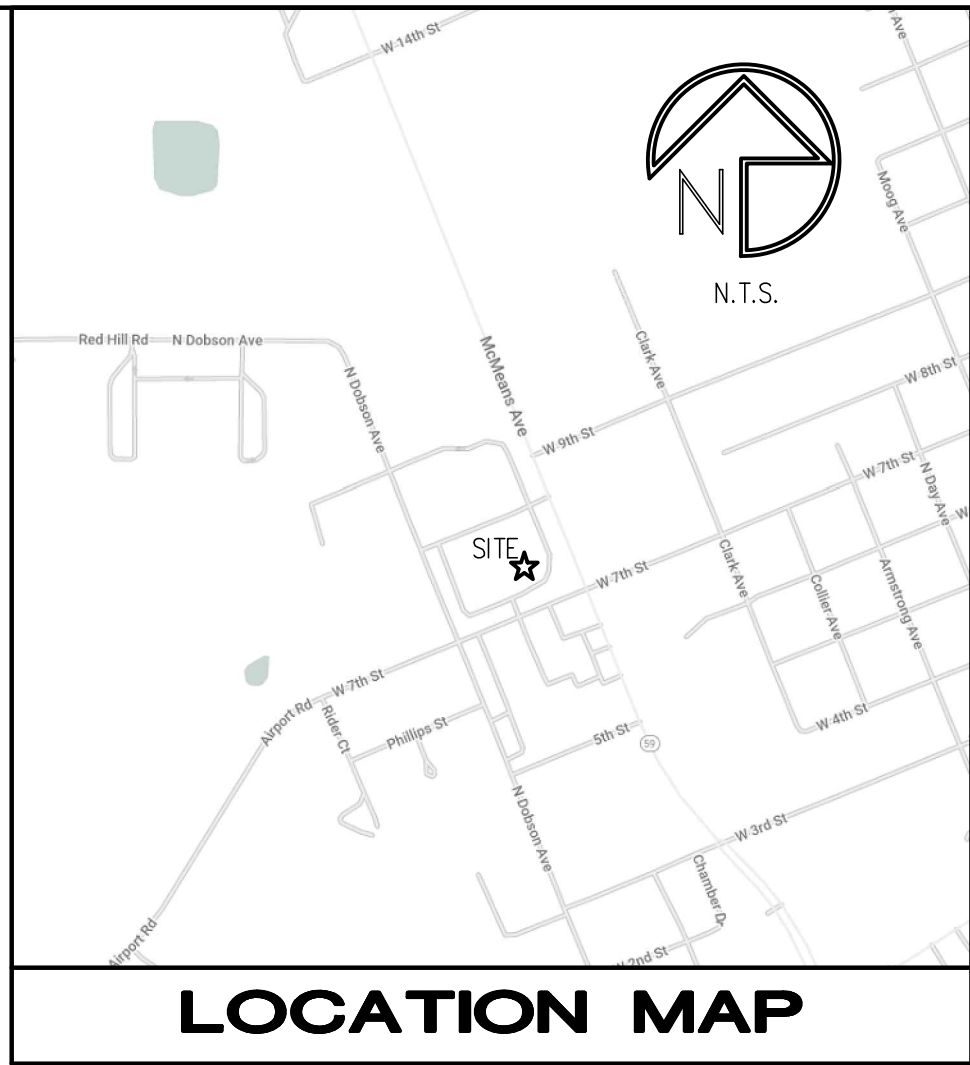
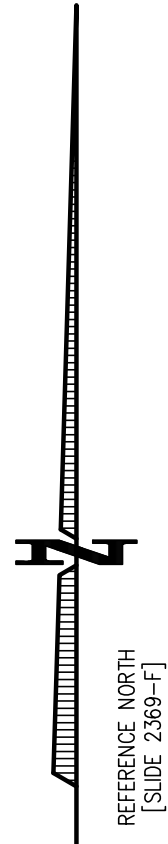
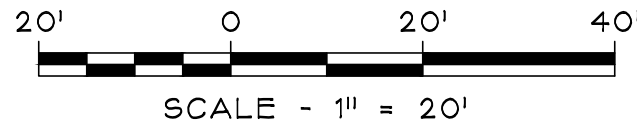
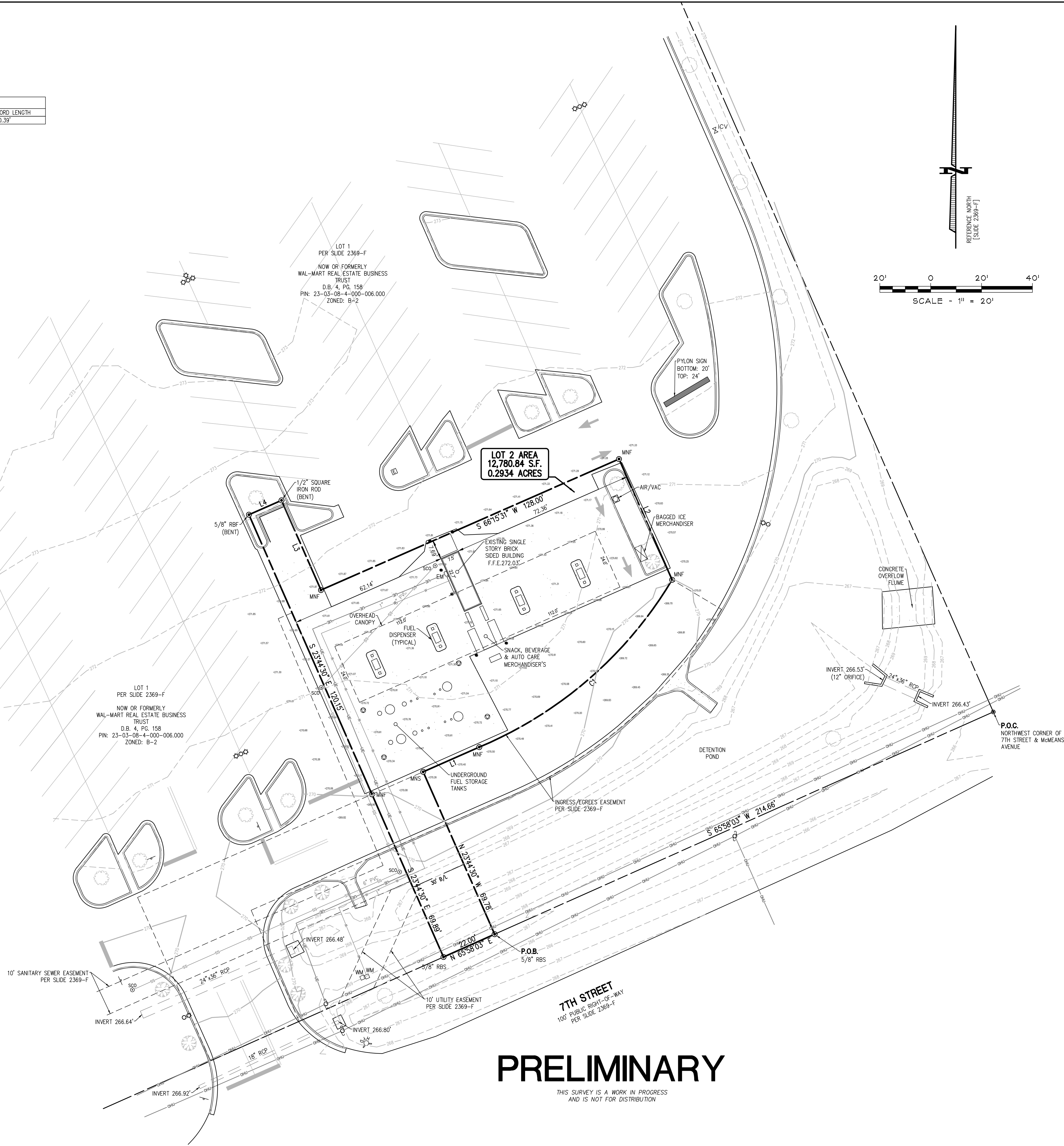


LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 66°15'30" E	24.10'
L2	N 23°44'30" W	51.90'
L3	N 23°44'30" W	38.54'
L4	S 66°15'30" W	14.00'

CURVE TABLE			
CURVE	RADIUS	ARC LENGTH	CHORD BEARING
C1	160.90'	102.09'	N 49°02'40" E

## LEGEND

	EXISTING BUILDING
	LAND LOT LINE (LL)
	PROPERTY LINE
	UTILITY POLE (UP), OVERHEAD LINES & GUY
	TREE LINE
	SANITARY SEWER MANHOLE (SSMH)
	FIBER OPTIC CABLE
	SANITARY CLEAN-OUT (SCO)
	SANITARY SEWER STUB OUT
	TELEPHONE MANHOLE/PEDESTAL
	STORM DRAIN PIPE WITH HEADWALL
	DOUBLE-WING CATCH BASIN
	SINGLE-WING CATCH BASIN
	JUNCTION BOX (JB)
	DROP OR CURB INLET (DI OR CI)
	FENCE
	DRAINAGE DITCH OR SWALE
	EXISTING 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING GRADE SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	RECORDED DATA
	PARKING SPACE COUNT
	LIGHT POLE (LP)
	ELECTRICAL TRANSFORMER BOX
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	WATER STUB OUT
	WATER METER
	GAS METER
	ELECTRIC METER
	WELL
	MONITORING WELL
	POST INDICATOR VALVE
	MAILBOX
	STREET SIGN
	ELECTRICAL STUB OUT
	UNKNOWN UTILITY STUB OUT
	TRAFFIC SIGNAL POLE
	FIRE DEPT. CONNECTION
	FIBER OPTIC BOX
	BACKFLOW PREVENTER
	IRRIGATION CONTROL VALVE
	DRAINAGE MANHOLE
	RIGHT-OF-WAY
	REBAR PIN FOUND
	OPEN TOP PIPE FOUND
	CRIMP TOP PIPE FOUND
	CONCRETE MONUMENT FOUND
	BRASS DISK FOUND
	AXLE FOUND
	REBAR PIN SET
	CORRUGATED METAL PIPE
	REINFORCED CONC. PIPE
	HIGH-DENSITY POLYETHYLENE PIPE
	DUCTILE IRON PIPE



## GENERAL NOTES

1. SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
2. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 119,288.20 FEET, AND AN ANGULAR ERROR OF 1.50 SECONDS PER ANGLE POINT AND WAS ADJUSTED BY THE COMPASS ADJUSTMENT METHOD.
3. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 59,235.20 FEET.
4. TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN MURPHY OIL USA, INC., A DELAWARE CORPORATION BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED IN INSTRUMENT No. 1133725, BALDWIN COUNTY RECORDS.
5. I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 01003C0295M DATED APRIL 19, 2019 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA.
6. THE BASIS OF BEARING USED FOR THIS SURVEY IS FROM A FINAL PLAT, SURVEYED BY R.L.S. GROUP LAND SURVEYING, DATED OCTOBER 04, 2007 AND RECORDED IN SLIDE 2369-F, BALDWIN COUNTY RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS.
7. THE SURVEYED PROPERTY IS ZONED B-2 (GENERAL BUSINESS DISTRICT) ACCORDING TO THE CITY OF BAY MINETTE PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THIS ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:

FRONT	30 FT.
SIDE	N/A
REAR	N/A
8. THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS 23-03-08-4-000-006.001
9. UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
10. CONTOURS SHOWN ARE AT 1.0 FOOT INTERVALS.
11. THERE ARE NO KNOWN OR VISIBLE ENCROACHMENTS EXCEPT AS SHOWN ON THE SURVEY.
12. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, MINERAL ACTIVITY OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
13. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AT THE TIME OF THIS SURVEY.
14. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THIS SURVEY.
15. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THIS SURVEY.
16. THERE WERE NO KNOWN WETLAND AREAS (AS DELINEATED BY APPROPRIATE AUTHORITIES) LOCATED ON THE SURVEYED PROPERTY AT THE TIME OF THIS SURVEY.
17. AREA COMPUTED BY COORDINATES.
18. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
19. I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

PATRICK C. GREENFIELD  
ALABAMA PLS NO. 27943

## LEGAL DESCRIPTION

LOT 2, WAL-MART SUBDIVISION AS THE SAME APPEARS OF RECORD IN SLIDE 0002369-F, IN THE OFFICE OF THE JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL THAT TRACT OR PARCEL LYING AND BEING IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF BOY MINETTE, BALDWIN COUNTY, ALABAMA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWESTERN RIGHT-OF-WAY INTERSECTION OF MCMEANS AVENUE HAVING A RIGHT-OF-WAY WIDTH OF 100 FEET AND WEST 7TH STREET HAVING A RIGHT-OF-WAY WIDTH OF 100 FEET; THENCE ALONG THE RIGHT-OF-WAY OF WEST 7TH STREET S65°58'03"W, A DISTANCE OF 236.31 FEET TO AN IRON ROD (SET), SAID POINT BEING HEREAFTER REFERRED TO AS THE TRUE POINT OF BEGINNING; WITH AND ALONG SAID RIGHT-OF-WAY S65°58'03"W, A DISTANCE OF 22.00 FEET TO AN IRON ROD (SET); THENCE N23°44'30"W, A DISTANCE OF 69.89 FEET TO A P.K. NAIL (FOUND), SAID P.K.; THENCE N23°44'30"W, A DISTANCE OF 120.15 FEET TO AN IRON ROD (FOUND); THENCE N66°15'30"E, A DISTANCE OF 14.00 FEET TO AN IRON ROD (FOUND); THENCE S23°44'30"E, A DISTANCE OF 38.54 FEET TO A P.K. NAIL (FOUND); THENCE N66°15'31"E, A DISTANCE OF 128.00 FEET TO A P.K. NAIL (FOUND); THENCE S23°44'30"E, A DISTANCE OF 51.90 FEET TO A P.K. NAIL (FOUND); THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 160.90 FEET, WITH A CURVE LENGTH OF 102.09 FEET, AND A CHORD DISTANCE OF 100.39 FEET, WHOSE BEARING IS S49°02'40"W TO A P.K. NAIL (FOUND); THENCE S66°15'30"W, A DISTANCE OF 24.10 FEET TO A P.K. NAIL (SET); THENCE S23°44'30"E, A DISTANCE OF 69.78 FEET TO AN IRON ROD (SET) AND BEING THE TRUE POINT OF BEGINNING.

CONTAINING ON AREA OF 12,780 SQ.FT., OR 0.29 ACRES.

TOGETHER WITH BENEFITING ASPECTS UPON, OVER, ACROSS AND THROUGH CERTAIN AREAS DESCRIBED IN THAT CERTAIN EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND RECORDED ON AUGUST 22, 2008, IN INSTRUMENT NO. 1133714, IN THE OFFICE OF THE JUDGE OF PROBATE OF BALDWIN COUNTY, ALABAMA.

DRAWING SCALE: 1" = 20 FT.	11-16-22
FIELDWORK DATE: 11-16-22	DAF
RELEASE DATE: 11-16-22	DAF
FIELDWORK BY: DAF	PCG
DRAWN BY: DAF	REVISIONS
CHECKED BY: PCG	NO. DATE DESCRIPTION
1	1
2	2
3	3
4	4

SLIDE 2369-F  
1000 WEST 7TH STREET  
BAY MINETTE, ALABAMA 36507  
BALDWIN COUNTY - SOUTH CAROLINA

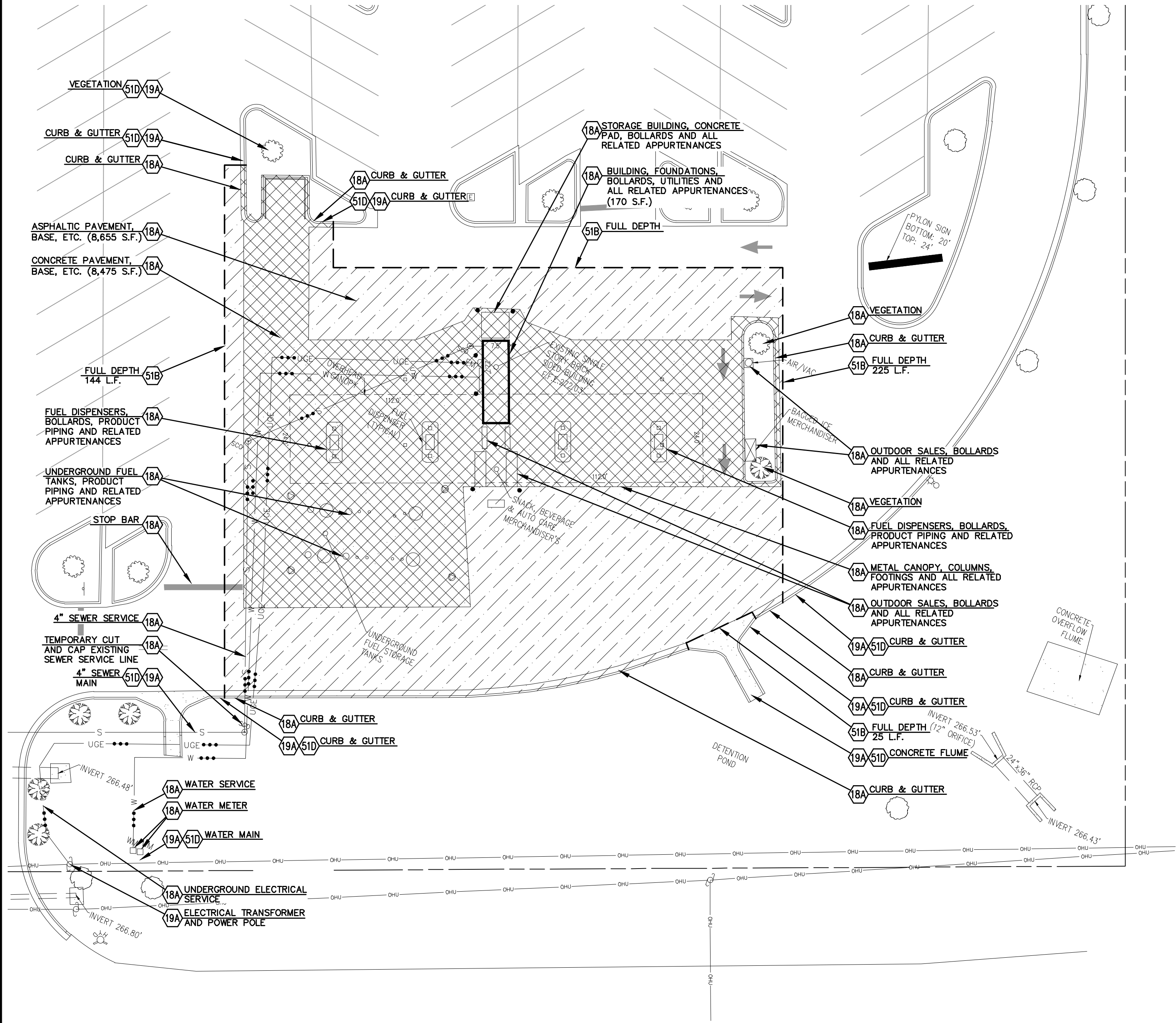
BOUNDARY AND TOPOGRAPHIC SURVEY  
FOR  
MURPHY OIL USA, INC.

PROJECT NO.  
22-183-0  
DRAWING FILE:  
22-183-0 Survey.dwg

SHEET NO.  
S-1  
1 OF 1

Bechtler Greenfield Surveying, LLC.  
1430 West Peachtree St. NW, Suite 225  
Atlanta, Georgia 30309  
Phone: (404) 225-5851  
Fax: (404) 225-5851  
Email: info@gsurveyinghq.com



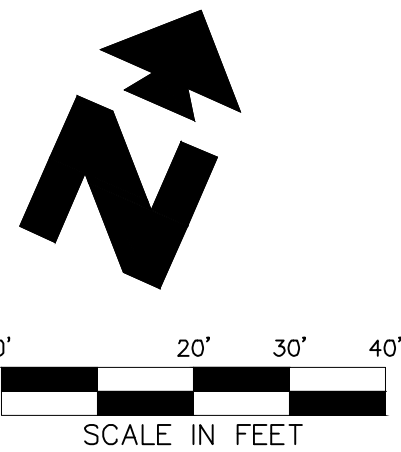


1. CONTRACTOR TO COORDINATE UTILITY SHUT OFFS WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE START OF SITE/BUILDING DEMOLITION.
2. ALL UTILITY SERVICES SHALL BE TEMPORARILY CUT AND CAPPED AS REQUIRED PRIOR TO START OF DEMOLITION.
3. HAZARDOUS SUBSTANCES SUCH AS FREON IN HVAC SYSTEMS SHALL BE PROPERLY REMOVED BY A CERTIFIED TECHNICIANS AND PROPERLY DISPOSED OF.
4. STORE GREASE TRAP CONTENTS SHALL BE REMOVED AND PROPERLY DISPOSED BY CERTIFIED PERSONNEL PRIOR TO REMOVAL.
5. CONTRACTOR TO ENSURE THAT ALL CONTENTS/PRODUCTS OF MURPHY BUILDING HAS BEEN REMOVED PRIOR TO START OF DEMOLITION.
6. CONTRACTOR TO ENSURE THAT ALL GASOLINE AND DIESEL HAS BEEN REMOVED FROM UNDERGROUND STORAGE TANKS PRIOR TO START OF DEMOLITION.
7. ALL PRODUCT PIPING TO BE FLOODED AND PURGED AS REQUIRED PRIOR TO START OF DEMOLITION.

1. THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
2. ALL PERMANENT TURF AREAS MUST BE SODDED.
3. GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES, FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
4. IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
5. ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
6. UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
7. EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPEDED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



#### EXISTING

OHU	UTILITY POLE (UP), OVERHEAD LINES & GUY	LP	LIGHT POLE (LP)
SS	SANITARY SEWER MANHOLE (SSMH)	ETB	ELECTRICAL TRANSFORMER BOX
SD	SANITARY CLEAN-OUT (SCD)	HY	FIRE HYDRANT
TMH	TELEPHONE MANHOLE/PEDESTAL	WV	WATER VALVE
DW	DOUBLE-WING CATCH BASIN	EM	ELECTRIC METER
SW	SINGLE-WING CATCH BASIN	ST	STREET SIGN
5	EXISTING 5 FOOT CONTOUR	R/W	RIGHT-OF-WAY
1	EXISTING 1 FOOT CONTOUR	RBF	REBAR PIN FOUND
950.1	EXISTING GRADE SPOT ELEVATION	RBS	REBAR PIN SET
(N 47°13'27"E)	RECORDED DATA	RCP	REINFORCED CONC. PIPE

#### PROPOSED

---	BOUNDARY LINE
CF	CONSTRUCTION FENCE (SEE DETAIL SHEETS)
...	REMOVE EXISTING UTILITY
---	CUT AND CAP/DISCONNECT EXISTING UTILITY
XXXXXX	EXISTING CONCRETE PAVEMENT & CURB TO BE REMOVED
XXXXXX	EXISTING ASPHALT PAVEMENT TO BE REMOVED

#### GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTIONS OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED (24) HOURS.

#### DEMOLITION NOTES

- 17A EXISTING TO BE RELOCATED
- 18A EXISTING TO BE REMOVED
- 19A EXISTING TO REMAIN
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 51D PROTECT EXISTING STRUCTURE AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES

SHEET NO.

C-3



7/10/23  
Thomas C. David, Jr.

**DEMOLITION PLAN**  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE ALABAMA

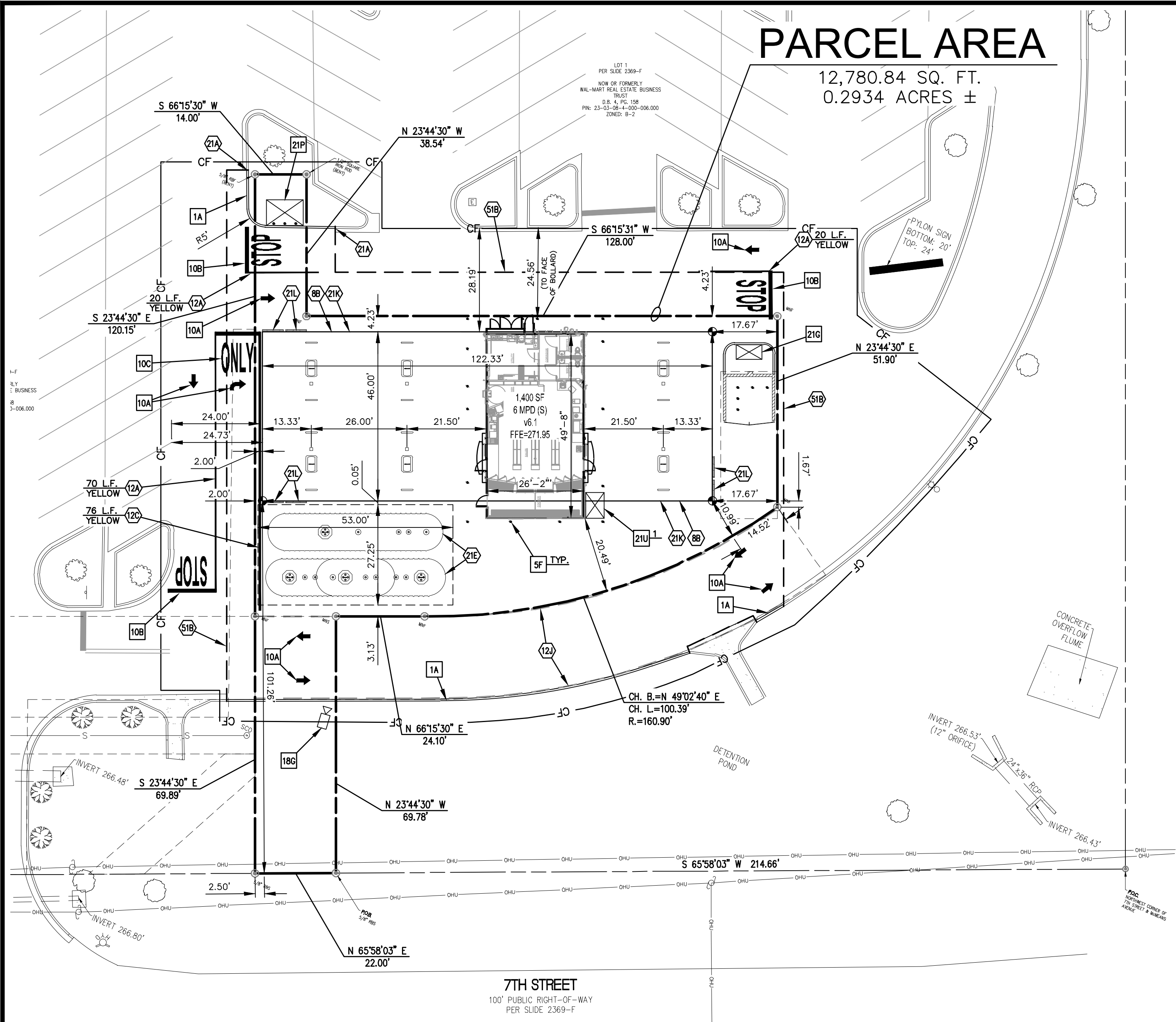
**PAN AMERICAN ENGINEERS, LLC**  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(504) 478-2100  
CONTACT: WESLEY MILLER

**MURPHY OIL USA, INC.**

200 PEACH STREET  
EL DORADO, AR 71730







## PARCEL AREA

12,780.84 SQ. FT.  
0.2934 ACRES ±

CONTRACTOR IS TO ENSURE  
THAT THE CONSTRUCTION FENCE  
ENCOMPASSES THE ENTIRE  
WORK AREA. (RE: DETAIL 2F)

CONTRACTOR TO ENSURE THE  
LIGHT POLES AND SIGNS ARE AT  
LEAST 2' FROM THE BACK OF THE  
CURB TO PREVENT THE VEHICLES  
STRIKING THE LIGHT POLE OR SIGN.

ZONING:  
B-1 (GENERAL BUSINESS)

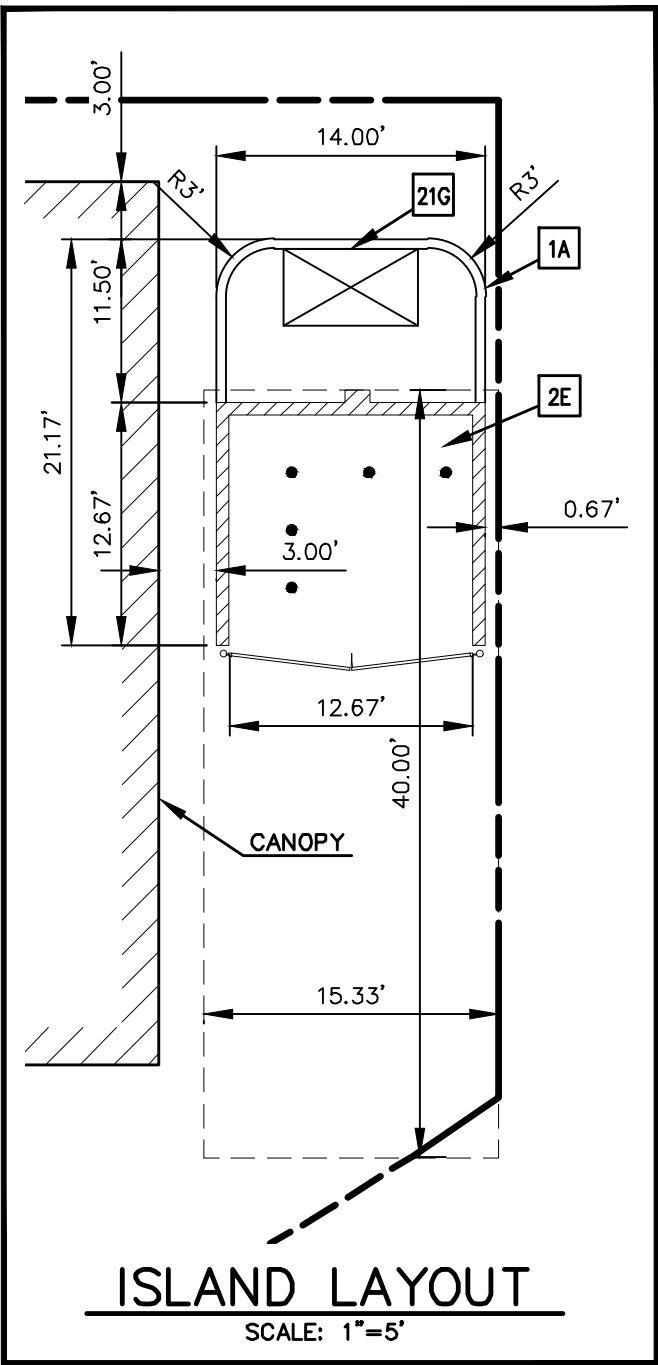
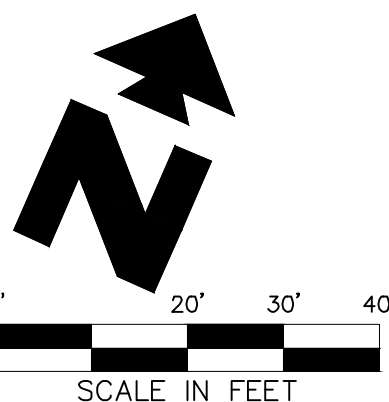
BUILDING SETBACKS:

SEE SITE PLAN

CONTRACTOR SHALL BE RESPONSIBLE FOR  
AND HIRE AN ALABAMA REGISTERED LAND  
SURVEYOR TO ESTABLISH PROPERTY  
CORNERS, BUILDING CORNERS, CANOPY, ETC.  
AS REQUIRED FOR CONSTRUCTION LAYOUT.

THESE DRAWINGS DO NOT INCLUDE  
COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES  
ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE  
CONTRACTOR SHALL DETERMINE THE EXACT LOCATION  
OF ALL EXISTING UTILITIES BEFORE COMMENCING  
WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR  
ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED  
BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE  
ANY AND ALL UNDERGROUND UTILITIES.



EXISTING		
—OHU—	PROPERTY LINE	☆ LIGHT POLE (LP)
—SS—	UTILITY POLE (UP), OVERHEAD LINES & GUY	WVH FIRE HYDRANT
—SS—	SANITARY SEWER MANHOLE (SSMH)	WVH WATER VALVE
—SS—	DOUBLE-WING CATCH BASIN	WVH STREET SIGN
—SS—	SINGLE-WING CATCH BASIN	WVH DRAINAGE MANHOLE
—SS—	FENCE	WVH RIGHT-OF-WAY
—SS—	EXISTING 5 FOOT CONTOUR	WVH REBAR PIN FOUND
—SS—	EXISTING 1 FOOT CONTOUR	WVH REBAR PIN SET
—SS—	EXISTING GRADE SPOT ELEVATION	WVH CMP
—SS—	RECORDED DATA	WVH RCP
—SS—		WVH CORRUGATED METAL PIPE
PROPOSED		
—SS—	BOUNDARY LINE	
—SS—	CONCRETE CURB AND GUTTER	
—SS—	BUILDING CONTROL POINT	
—SS—	CONSTRUCTION FENCE	

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADII SHALL BE 3' AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HERON:
    - ALL CURB AND GUTTER ADJACENT TO EXISTING PAVING SHALL BE INSTALLED PER DETAIL.
    - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
    - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, DISPENSER ISLAND DETAILS AND LAYOUT.
  - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE WAL-MART TRAFFIC FLOW OR ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH THE WAL-MART CONSTRUCTION/STORE MANAGER AND/OR ADJACENT PROPERTY OWNER, TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING DOT APPROVED TRAFFIC BARRICADES, BARRELS, AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
  - ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
  - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION MATERIAL.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
  - CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICE AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM, IF DAMAGES OCCUR THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
  - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWING IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
  - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
  - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAIL 10A.

SITE NOTES	
BB	OVER HEAD CANOPY (TYP. PER CANOPY PLANS)
12A	4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
12C	8" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL)
12D	4" WIDE PAINTED STRIPES, 2" O.C. @ 45° (SEE SIZE INDICATED AT SYMBOL)
21A	TAPER CURB TO MATCH EXISTING CURB
21E	UNDERGROUND STORAGE TANKS (1-25,000 GAL. & 1-26,000 GAL.)
21K	MURPHY USA ID SIGN PER APPROVED ELEVATION
21L	PRICE SIGN PER APPROVED ELEVATION
51B	LIMITS OF SAWCUT AND PAVEMENT REMOVAL

SITE DETAILS	
1A	INTEGRAL CONCRETE CURB
2E	DUMPSTER ENCLOSEURE
2F	CONSTRUCTION FENCE
5F	STEEL BOLLARD W/COVER (SINGLE)
10A	TRAFFIC FLOW ARROW (TYP.)
10B	"STOP" BAR
10C	"ONLY" PAVEMENT MARKING
12J	FIRE LINE MARKING
13A	SITE LIGHT POLE (SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, LOCATION AND MOUNTING DETAILS)
18G	CONSTRUCTION CAMERA (COORDINATE WITH MOUSA PM FOR LOCATION)
21G	AIR VACUUM UNIT WITH 4'x7' CONCRETE SLAB
21P	7'x10' CONCRETE SLAB FOR PROPANE TANKS
21T	MAILBOX (CONTRACTOR SHALL COORDINATE LOCATION WITH MURPHY AND POSTMASTER PRIOR TO INSTALLATION)
21U	5'x7' ICE UNIT (SEE NUMBER INDICATED AT SYMBOL)

- THE MURPHY STATION WILL NOT DROP THE WAL-MART GREEN SPACE BELOW CITY REQUIREMENTS.
- ALL PERMANENT TURF AREAS MUST BE SODDED.
- GC TO ENSURE THAT TRAFFIC THROUGH MAIN WAL-MART DRIVES IS NOT INTERRUPTED AT ANY TIME DUE TO CONSTRUCTION ACTIVITIES. ENSURE A MINIMUM TEMPORARY LANE WIDTH OF 10' (EACH DIRECTION) IS AVAILABLE AT ALL TIMES, FREE OF OBSTRUCTIONS TO VEHICLES. AT NO TIME SHALL THE CONSTRUCTION FENCE EXTEND INTO THE DRIVE MORE THAN 2' FROM THE FACE OF THE CURB OR DRIVE.
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- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS, AND IS SUBJECT TO WAL-MART APPROVAL.
- UTILITY WORK DONE ON WAL-MART PARCEL, WHETHER BY THE GC, CITY OR THE UTILITY COMPANIES, SHALL BE REPAIRED BACK TO EXISTING CONDITIONS.
- EROSION CONTROL MEASURES IMPLEMENTED INSIDE THE WAL-MART DRIVE ISLES AND PARKING LOT SHALL INCLUDE ONLY SILT BAGS (OR WAL-MART PRE-APPROVED EQUAL) TO ENSURE TRAFFIC CIRCULATION IS NOT IMPEDED. GRAVEL INLET PROTECTION DEVICES SHALL NOT BE ALLOWED INSIDE THE WAL-MART DRIVE ISLES OR PARKING LOT.

## PRE-CONSTRUCTION

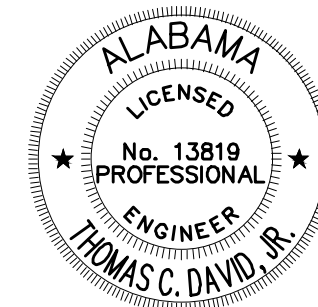
IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	11,385	89
GREENSPACE	1,395	11
GROSS SITE	12,780	100

## POST-CONSTRUCTION

IMPERVIOUS SITE RATIO (ISR)		
AREA	SQUARE FEET	%
IMPERVIOUS (ROOF AND PAVING)	11,433	89
GREENSPACE	1,347	11
GROSS SITE	12,780	100

SHEET NO.

C-4



7/10/23  
Thomas C. David, Jr.

**SITE PLAN**  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE  
ALABAMA

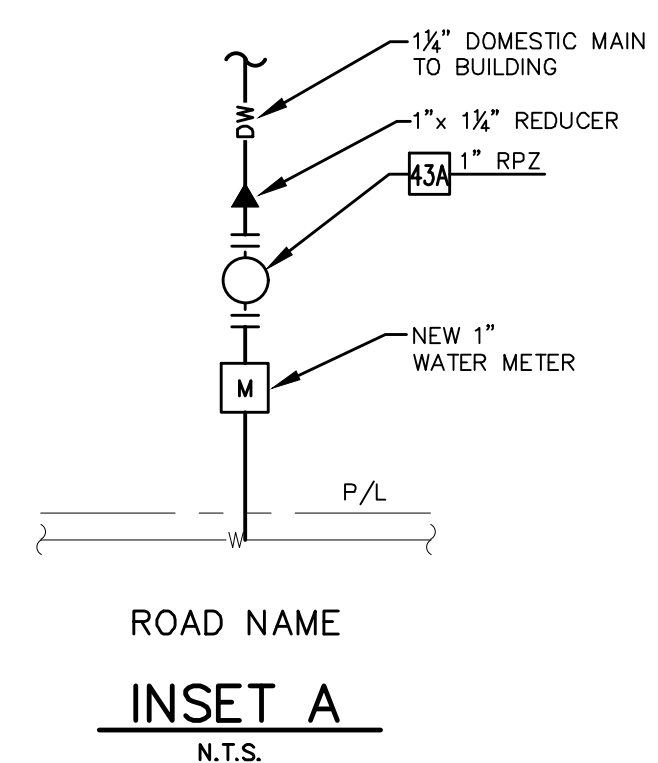
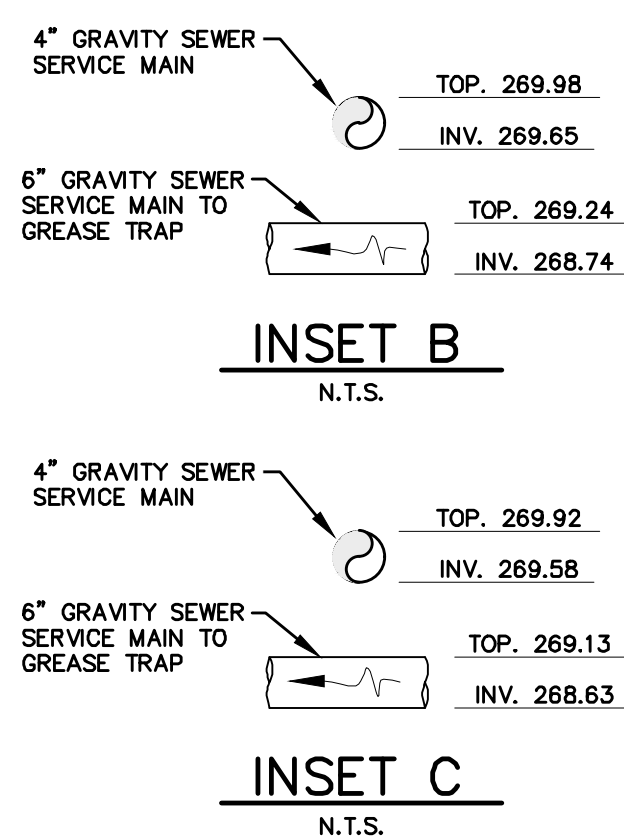
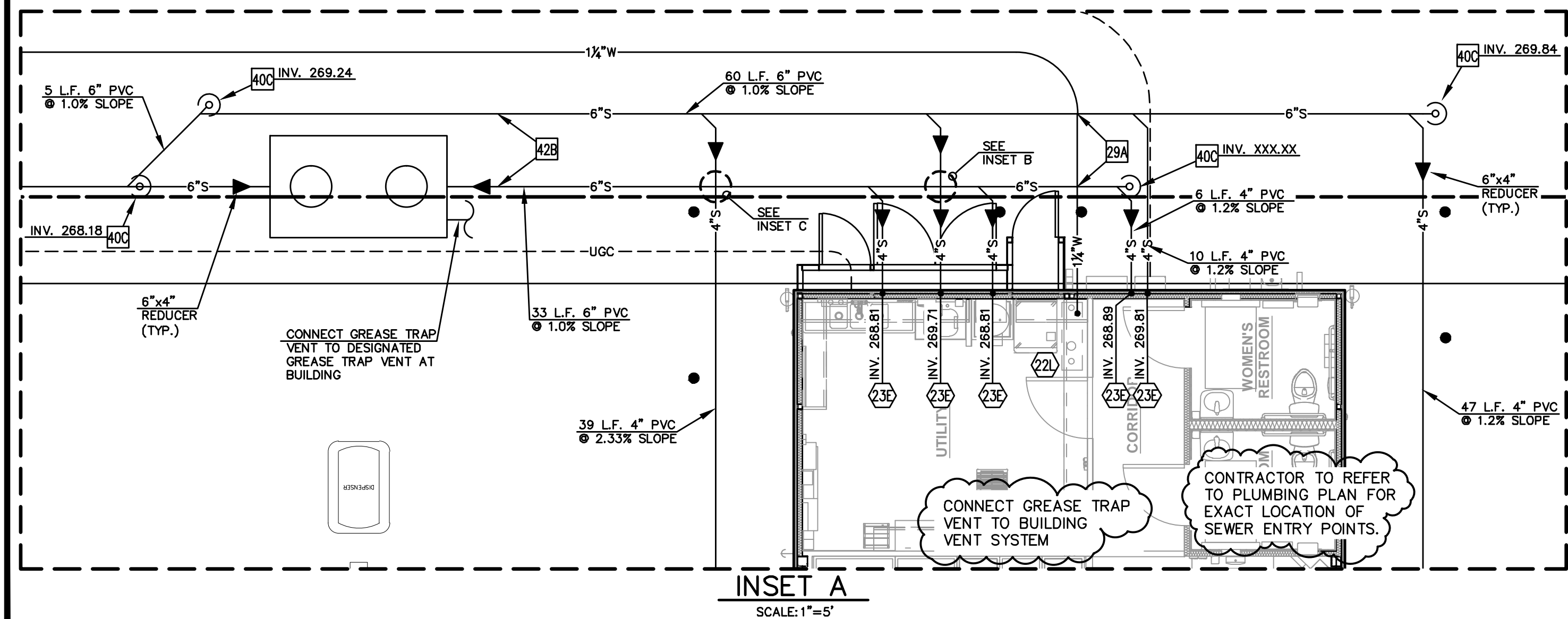
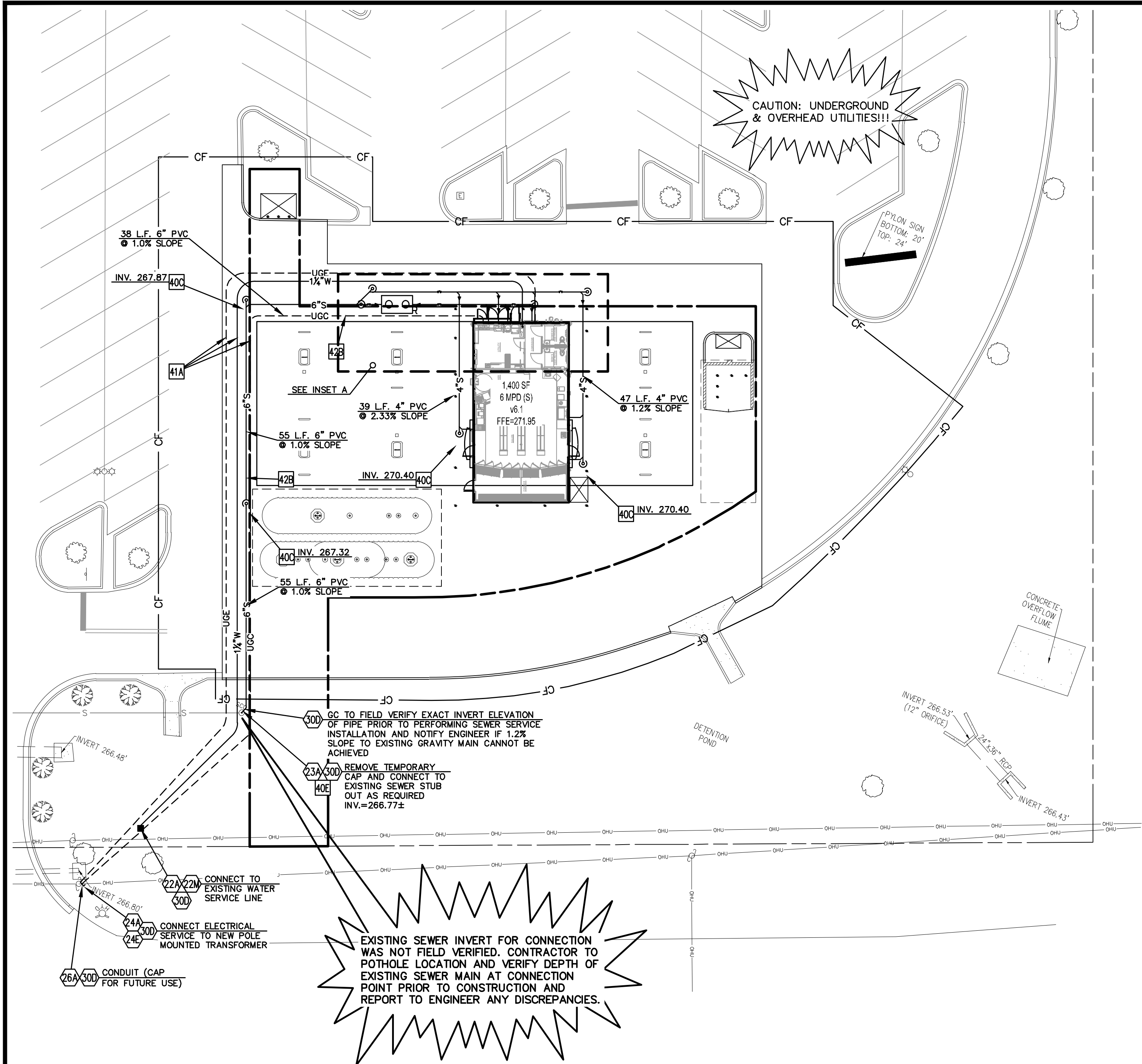
**PAN AMERICAN ENGINEERS, LLC**  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(504) 478-2100  
CONTACT: WESLEY MILLER

**MURPHY OIL USA, INC.**

200 PEACH STREET  
EL DORADO, AR 71730

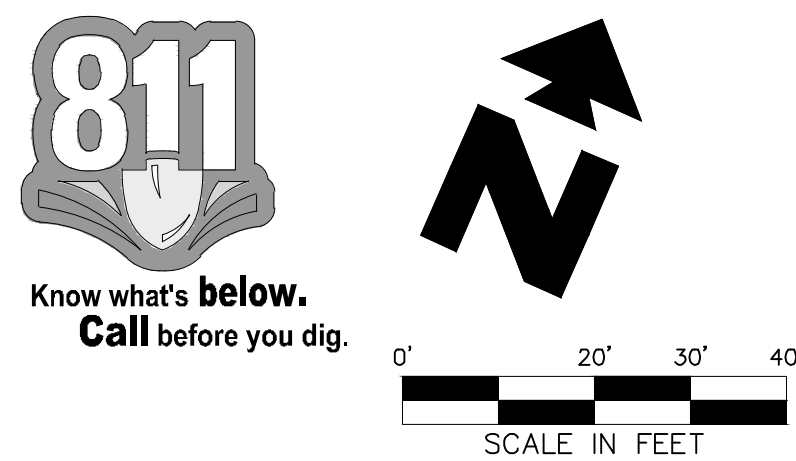






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THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



EXISTING		
-OHU--OHU-	PROPERTY LINE	⊙ LIGHT POLE (LP)
-SS--SS-	UTILITY POLE (UP), OVERHEAD LINES & GUY	⊗ FIRE HYDRANT
-SS--SS-	SANITARY SEWER MANHOLE (SSMH)	WDV WATER VALVE
-SS--SS-	DOUBLE-WING CATCH BASIN	STREET SIGN
-SS--SS-	SINGLE-WING CATCH BASIN	⊙ DRAINAGE MANHOLE
-SS--SS-	FENCE	R/W RIGHT-OF-WAY
-SS--SS-	EXISTING 5 FOOT CONTOUR	RBF REBAR PIN FOUND
-SS--SS-	EXISTING 1 FOOT CONTOUR	RBS REBAR PIN SET
-SS--SS-	EXISTING GRADE SPOT ELEVATION	CMP REINFORCED CONC. PIPE
-SS--SS-	RECORDED DATA	RCP CORRUGATED METAL PIPE

PROPOSED	
- - - - -	BOUNDARY LINE
- 4"S -	SANITARY SEWER SERVICE
- - - UGE - - -	UNDERGROUND ELECTRIC SERVICE
- UGC -	UNDERGROUND CONDUIT
- 1 1/4"W -	WATER SERVICE
- CF -	CONSTRUCTION FENCE

- GENERAL UTILITY NOTES**
- A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE LABELED, MEETING ASTM D1785 & D2665 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF STD. 61, WITH 36" MIN. COVER.
- B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE SPECIFIED BY THE UTILITY COMPANY, PROVIDE 36" MINIMUM COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- D. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

- UTILITY NOTES**
- 22A POINT OF CONNECTION - WATER SERVICE
- 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET)
- 22M WATER METER
- 23A POINT OF CONNECTION - EXISTING SANITARY SEWER SERVICE MAIN
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS)
- 24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE
- 24E POLE MOUNTED TRANSFORMER
- 26A UNDERGROUND COMMUNICATIONS SERVICE CONDUIT
- 29A MAINTAIN MIN. 18" VERTICAL SEPARATION
- 30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY

- UTILITY DETAILS**
- 40C SANITARY SEWER CLEAN OUT
- 40E SANITARY SEWER SERVICE CONNECTION TO EXISTING STUB OUT
- 41A TRENCH DETAIL
- 42B SANITARY SEWER TRENCHING AND BEDDING
- 43A BACKFLOW PREVENTER (2 REQUIRED)
- 45G 1,000 GALLON GREASE INTERCEPTOR
- 46A DUMPSTER DRAIN & VENT

SHEET NO. C-7

ALABAMA  
LICENSED  
No. 13819  
PROFESSIONAL  
ENGINEER  
THOMAS C. DAVID, JR.  
7/10/23  
Thomas C. David, Jr.

UTILITY PLAN  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE ALABAMA

MURPHY OIL USA, INC.

200 PEACH STREET  
EL DORADO, AR 71730

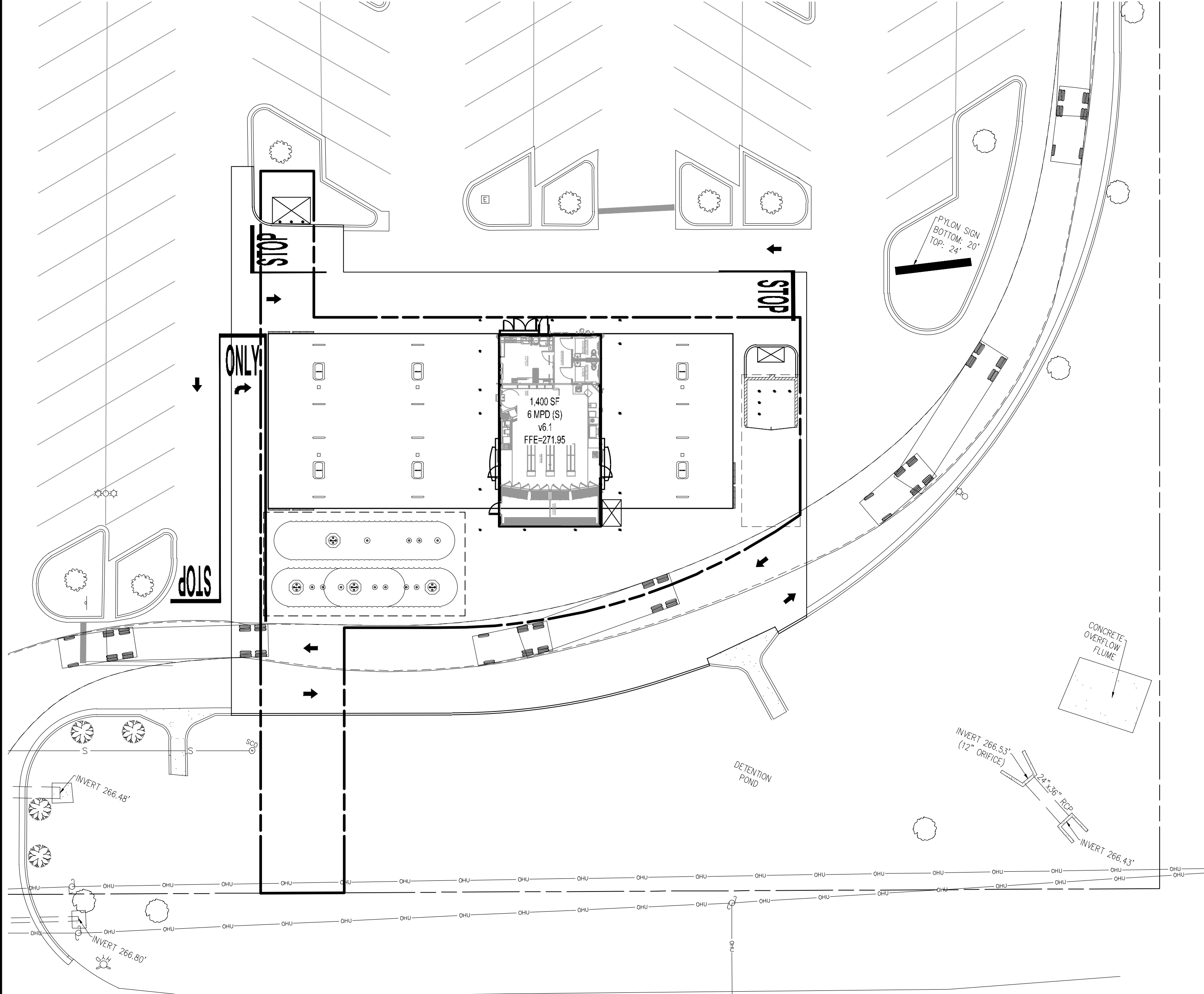
MURPHY  
USA

1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(338) 478-2100  
CONTACT: WESLEY MILLER

PAN AMERICAN ENGINEERS, LLC

1717 JACKSON STREET  
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THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



EXISTING	
	PROPERTY LINE
	UTILITY POLE (UP); OVERHEAD LINES & GUY
	SANITARY SEWER MANHOLE (SSMH)
	DOUBLE-WING CATCH BASIN
	SINGLE-WING CATCH BASIN
	FENCE
	EXISTING 5 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING GRADE SPOT ELEVATION
	RECORDED DATA
	LIGHT POLE (LP)
	FIRE HYDRANT
	WATER VALVE
	STREET SIGN
	DRAINAGE MANHOLE
	RIGHT-OF-WAY
	REBAR PIN FOUND
	REBAR PIN SET
	REINFORCED CONC. PIPE
	CORRUGATED METAL PIPE
PROPOSED	
	BOUNDARY LINE
	CONCRETE CURB AND GUTTER



REV-0	DATE	PRN	WDM	JNS	JNS
7/10/23					

**TRUCK ROUTE PLAN**

**MURPHY #7906 / WALMART #2739**

**1000 WEST 7TH STREET**

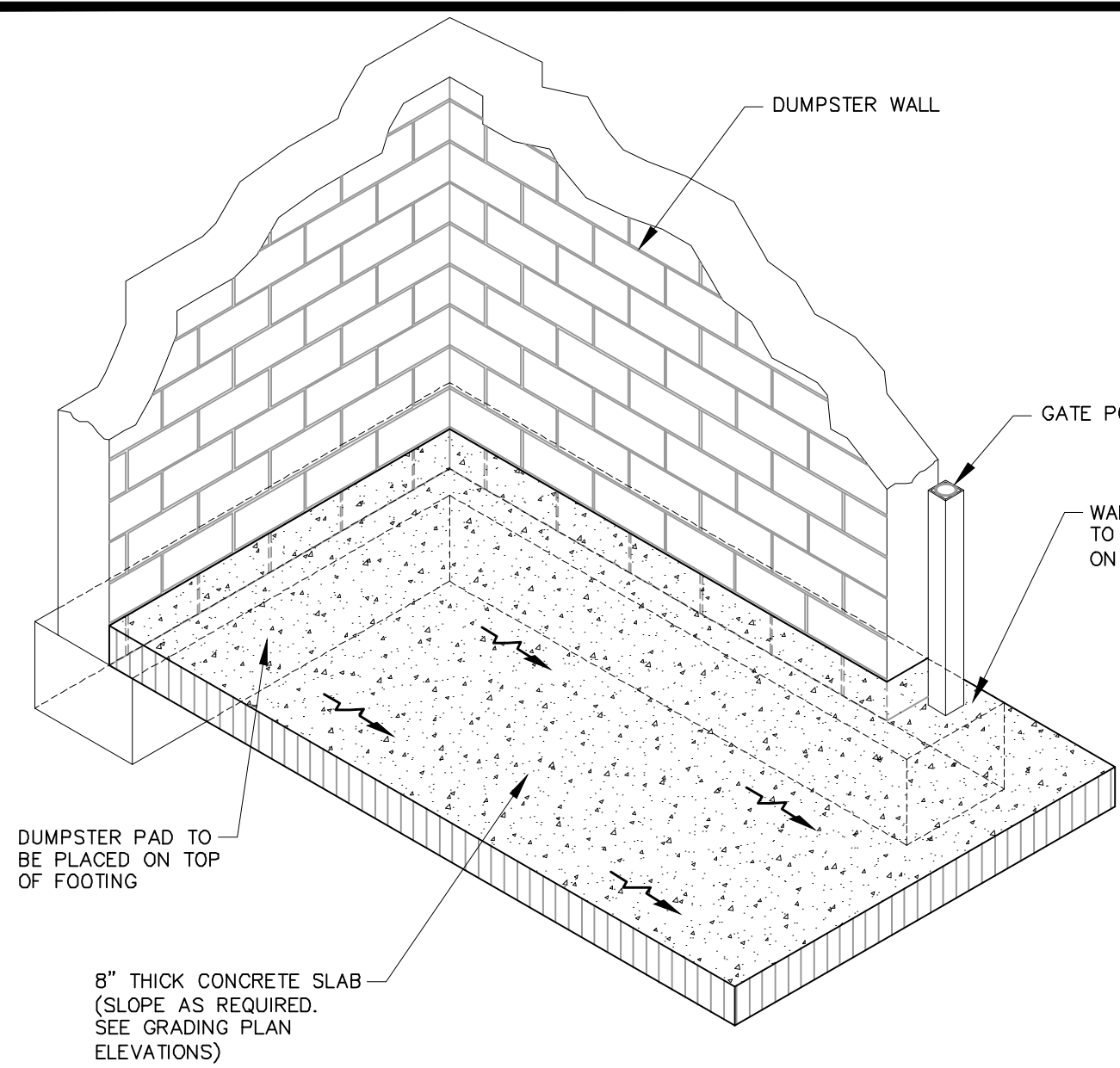
**BAY MINETTE ALABAMA**



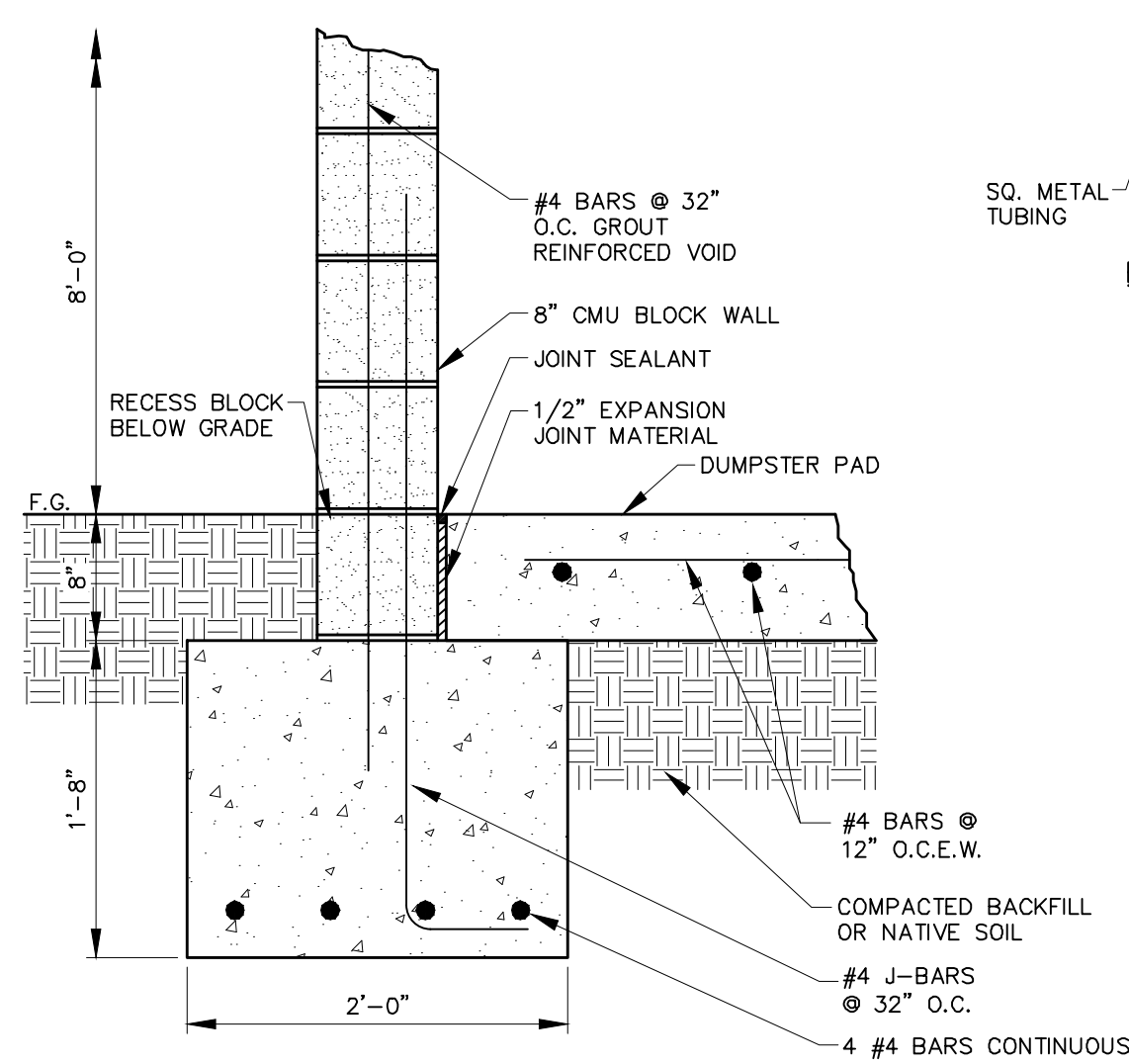
**USA** 

200 PEACH STREET  
EL DORADO, AR 71730

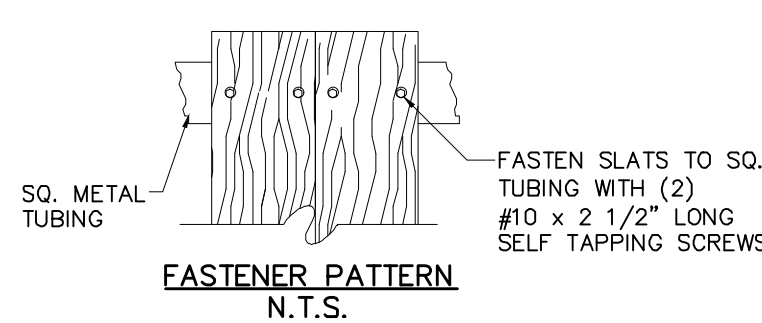




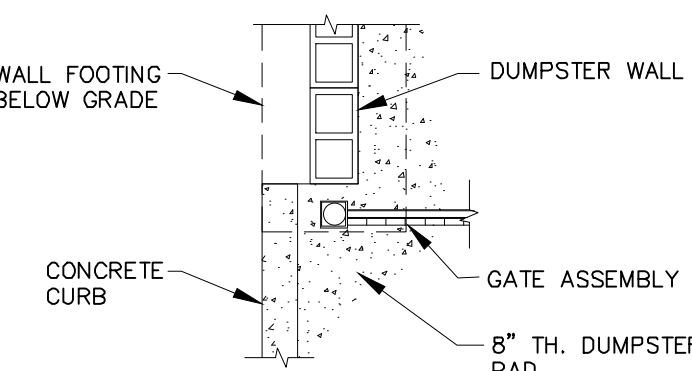
DUMPSTER PAD  
N.T.S.



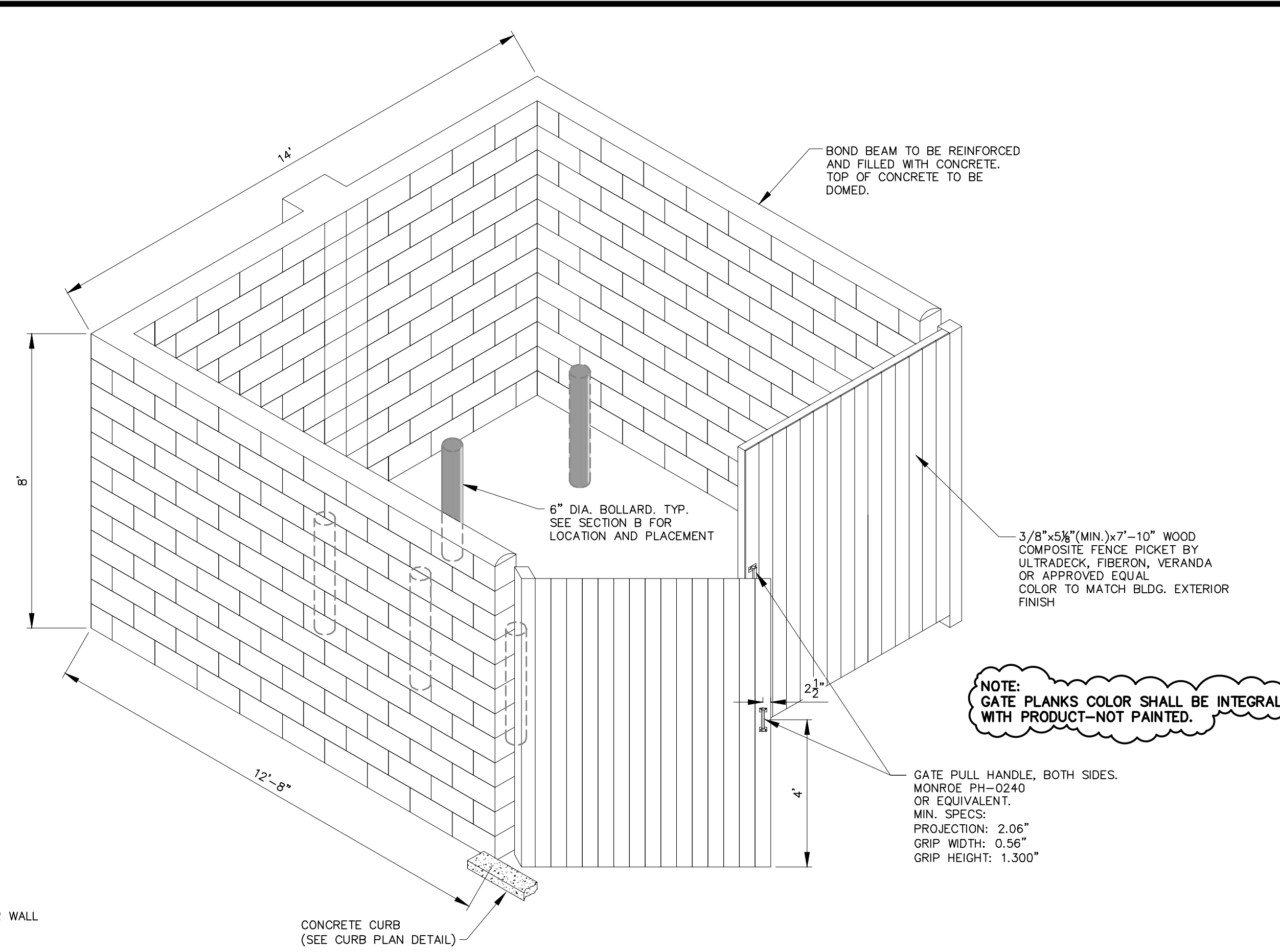
WALL FOOTING  
1"=1'-0"



FASTENER PATTERN  
N.T.S.



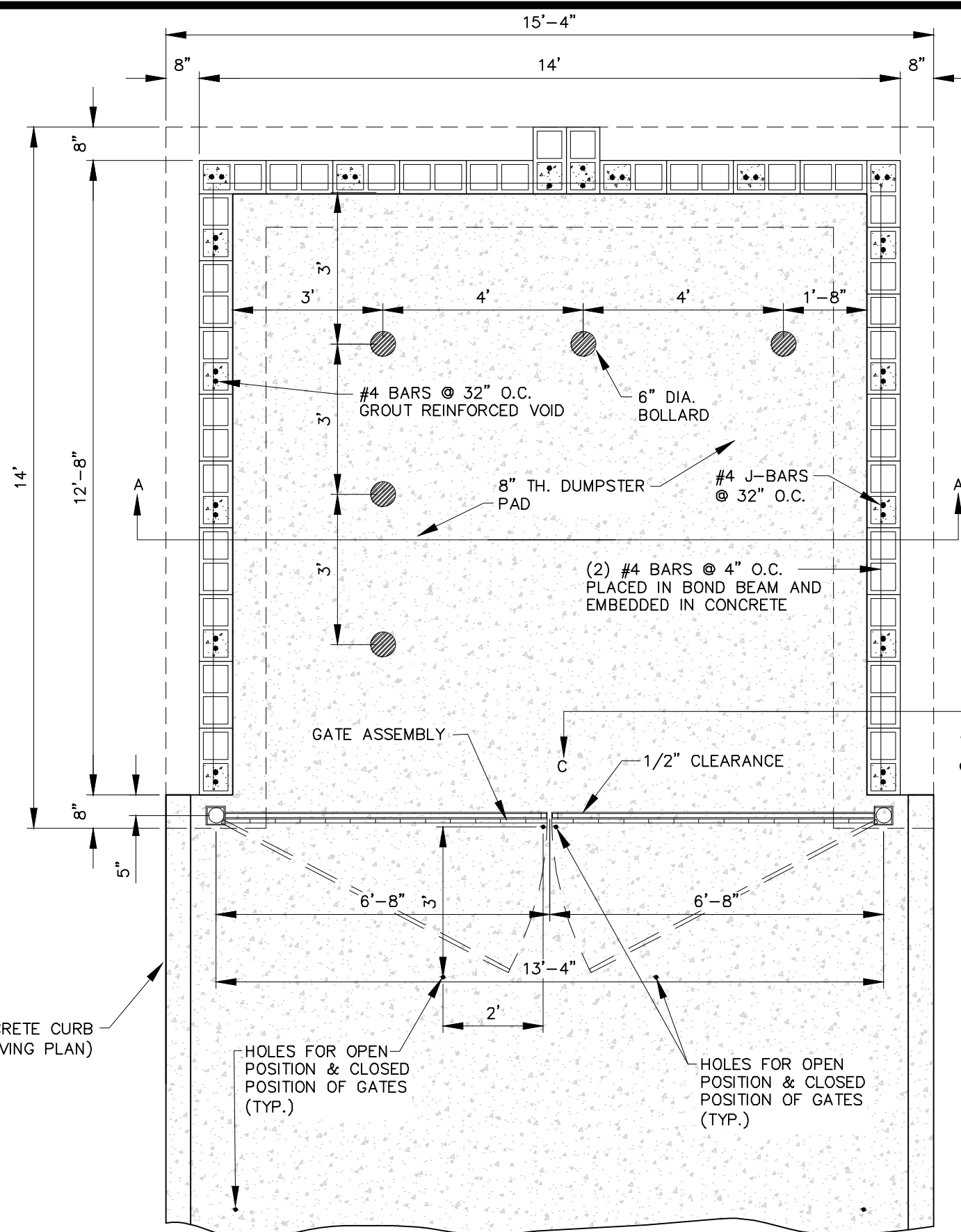
CURB PLAN DETAIL  
N.T.S.



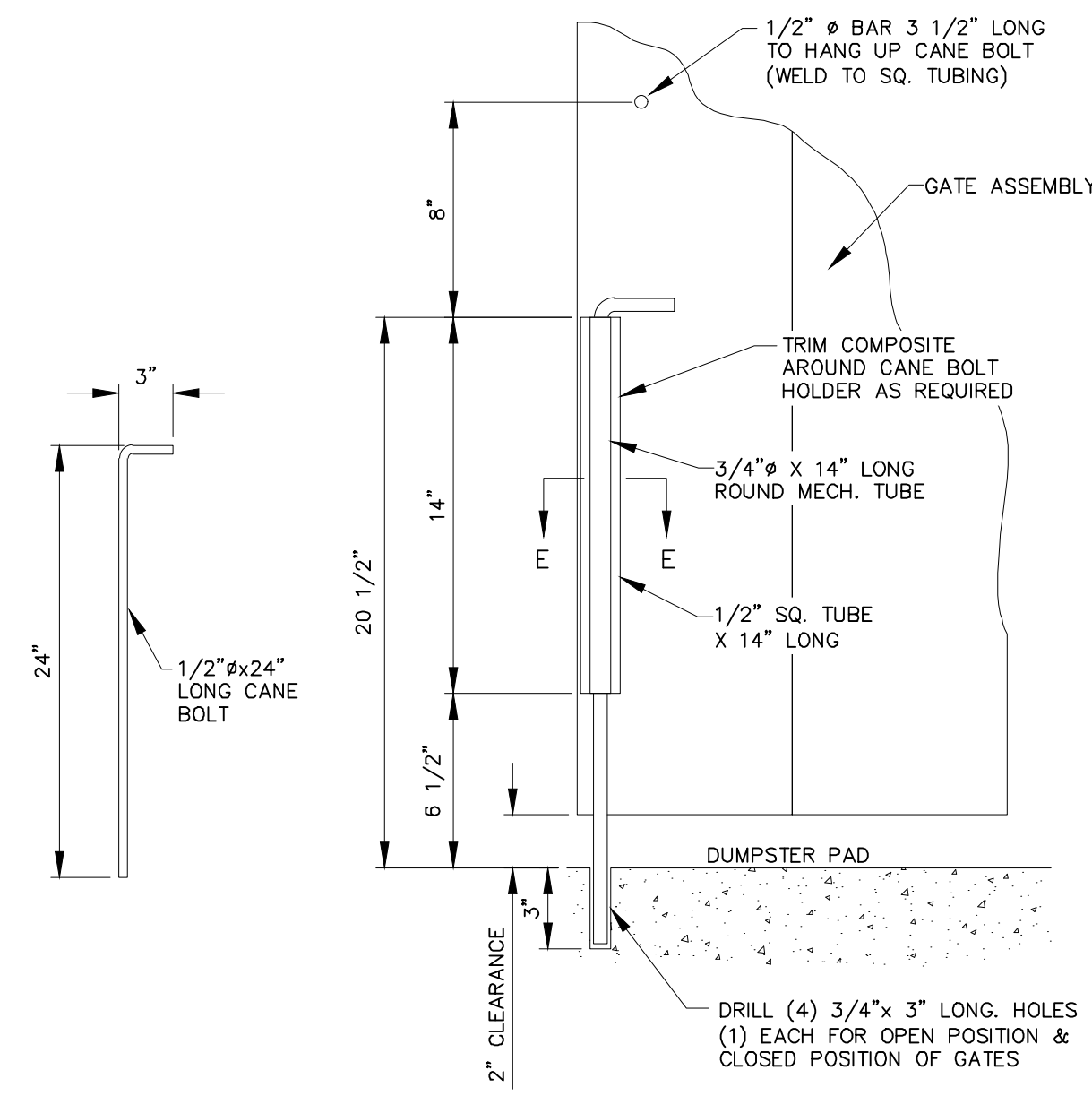
MASONRY CMU BLOCK 8"x8"x16"- DUMPSTER ENCLOSURE  
DESIGN WIND SPEED: 130 M.P.H.

NOTE: GATE PLANKS COLOR SHALL BE INTEGRAL WITH PRODUCT-NOT PAINTED.

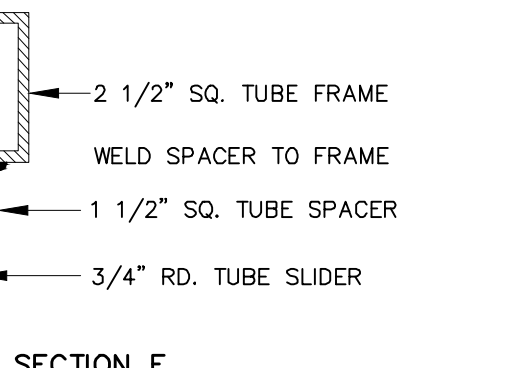
DUMPSTER TO BE:  
· 8' HT. SMOOTH FACE CMU BLOCK WALL, COLOR TO MATCH BUILDING EXTERIOR FINISH  
· ENDURAMAX PRE-BLENDED MORTAR (GROUT), COLOR "GRAY"



SECTION B  
DUMPSTER FOUNDATION PLAN  
SCALE: 3/8" = 1'-0"

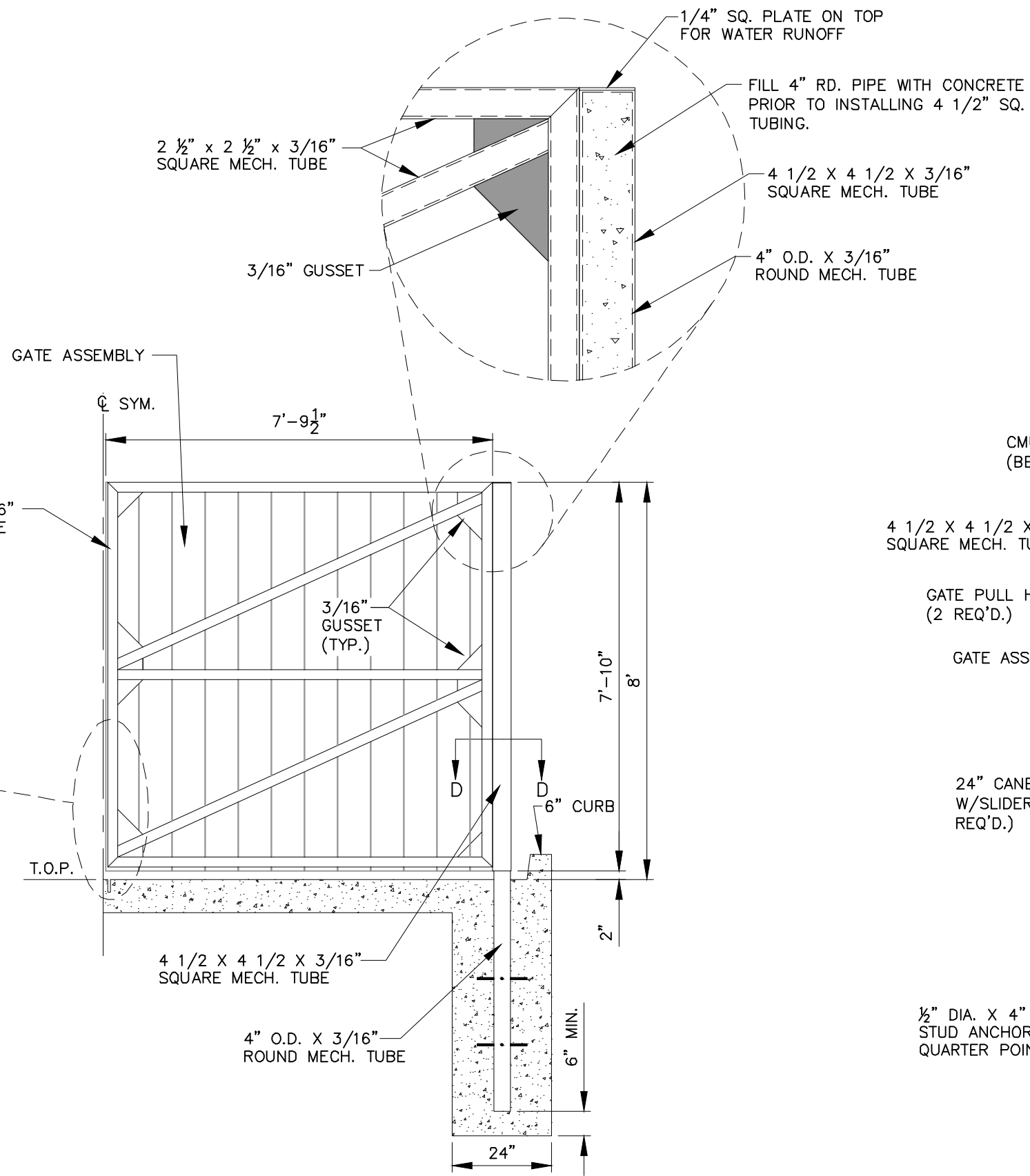


SECTION D



SECTION E

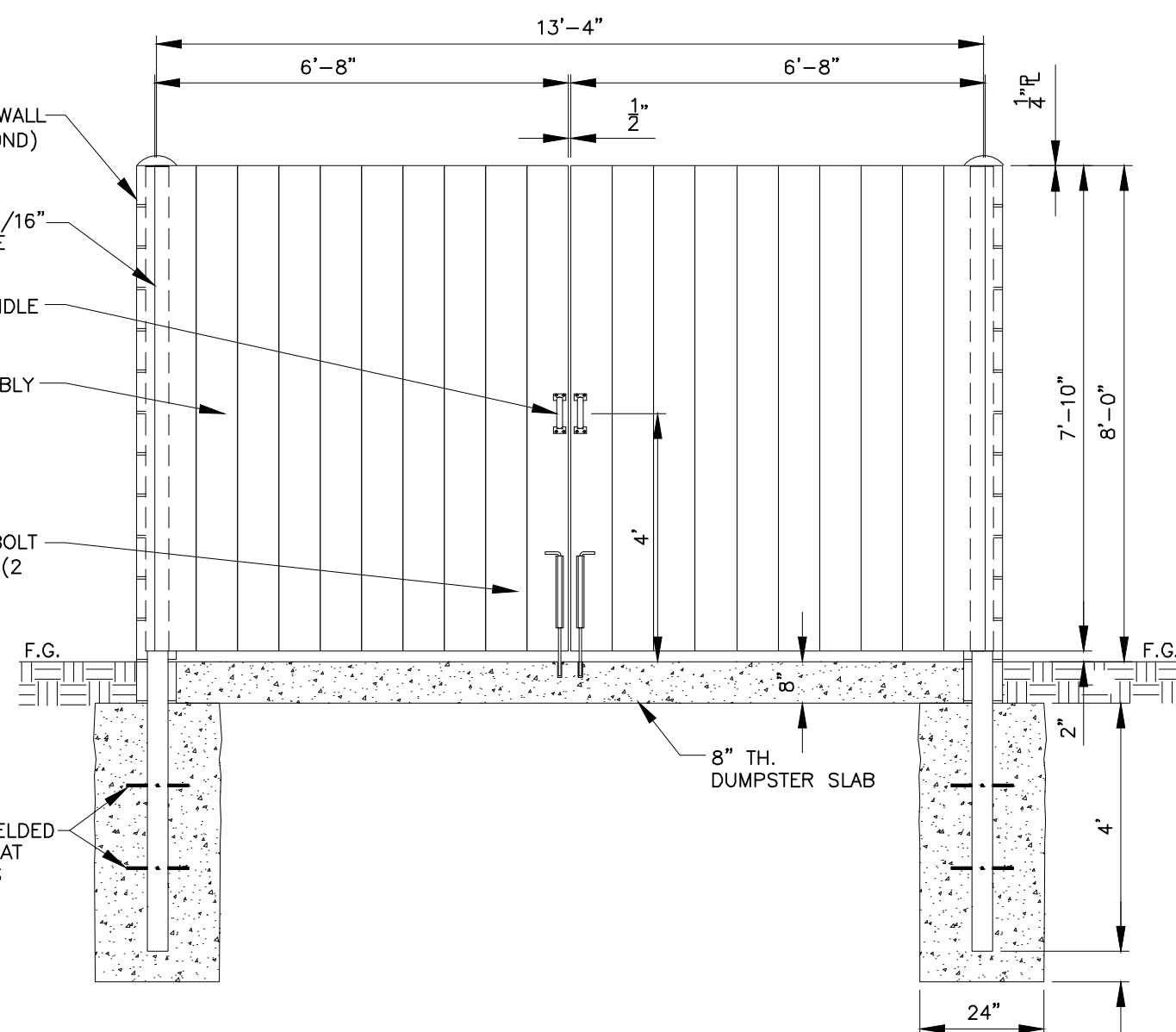
DUMPSTER ENCLOSURE GATE DETAIL  
N.T.S.



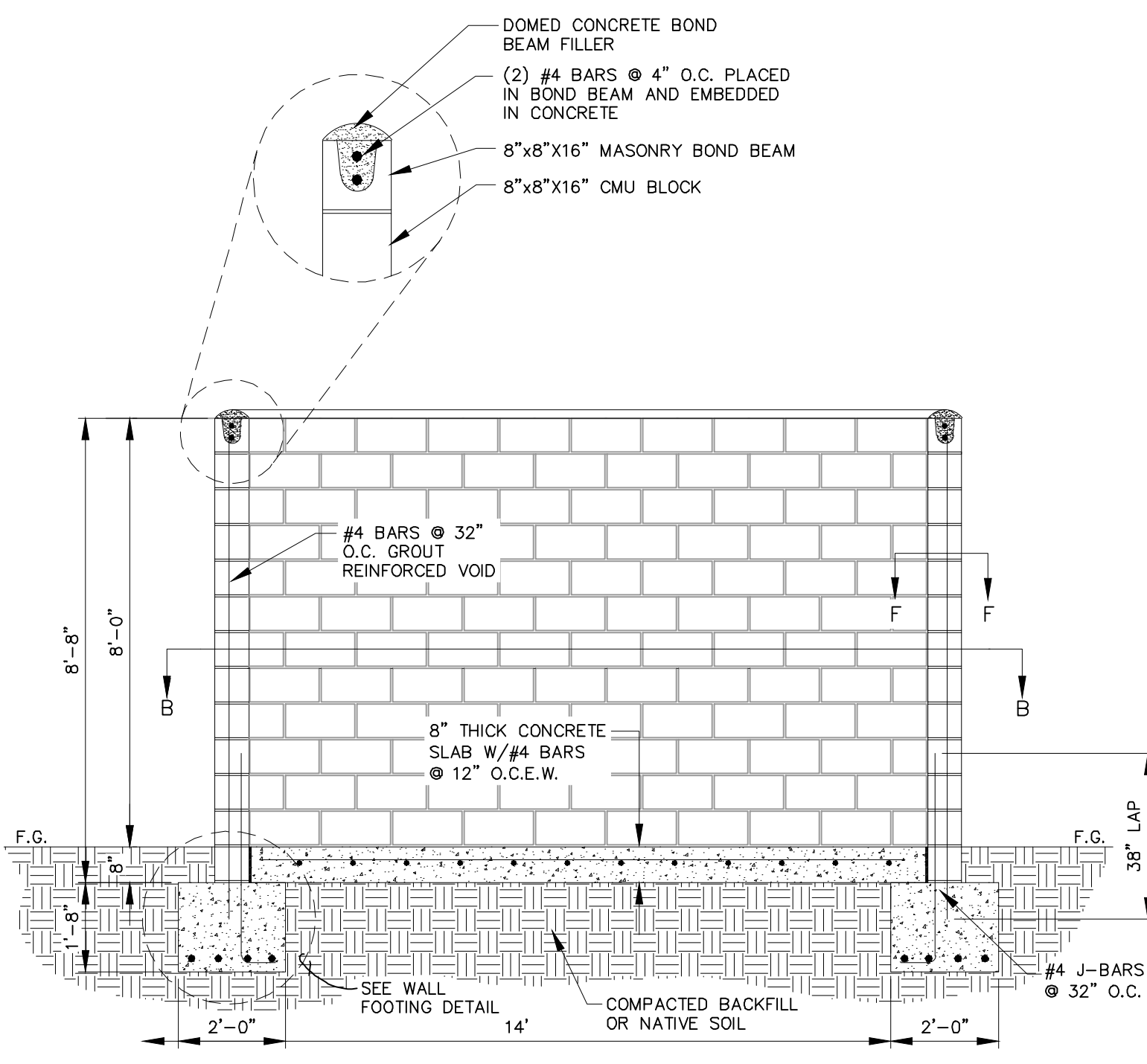
SECTION C

FINISH OF FRAMING (ALL EXPOSED METAL SURFACES) - UPON PREPARATION AND CLEANING PER PAINT MANUFACTURER'S RECOMMENDATIONS, CONTRACTOR SHALL UTILIZE THE FOLLOWING COATINGS:  
1. PRIMER COAT - CPS-26 ZINC CHROMATE PRIMER (3 TO 4 MILS DFT)  
2. FINISH COAT - 100 SERIES INDUSTRIAL ALKYD ENAMEL W/ HARDENER ADDITIVE (3 TO 5 MILS DFT) - COLOR - BLACK

CMU DUMPSTER ENCLOSURE (COMPOSITE GATES) 2E



SECTION A  
DUMPSTER FOUNDATION SECTION  
SCALE: 3/8" = 1'-0"



SECTION B  
DUMPSTER FOUNDATION SECTION  
SCALE: 3/8" = 1'-0"

SHEET NO.

C-14

ALABAMA  
LICENSED  
No. 13819  
PROFESSIONAL  
ENGINEER  
THOMAS C. DAVID, JR.  
7/10/23  
Thomas C. David, Jr.

DUMPSTER DETAILS  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE  
ALABAMA

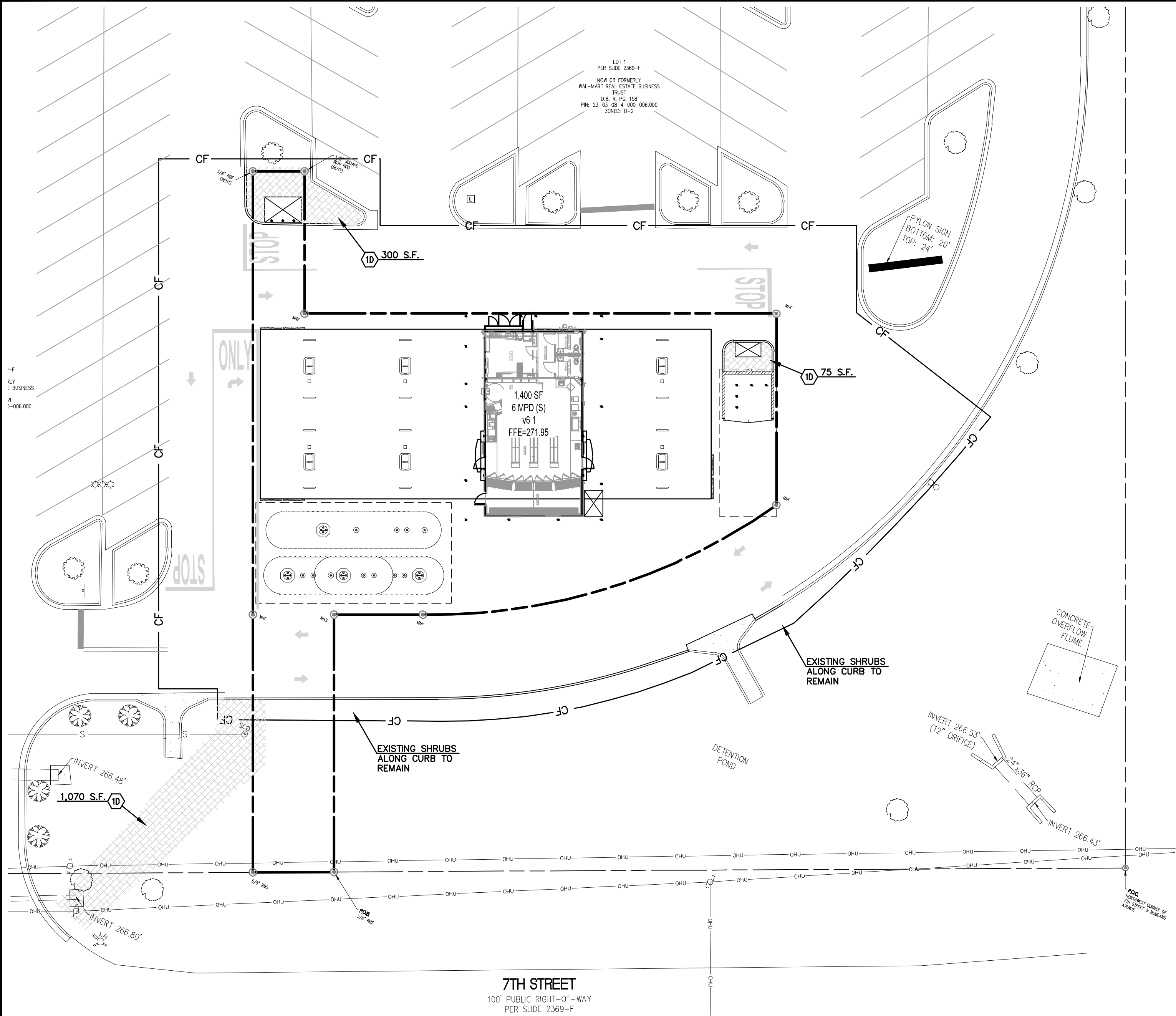
MURPHY OIL USA, INC.

MURPHY  
USA

200 PEACH STREET  
EL DORADO, AR 71730

PAN AMERICAN ENGINEERS, LLC  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(338) 478-2100  
CONTACT: WESLEY MILLER

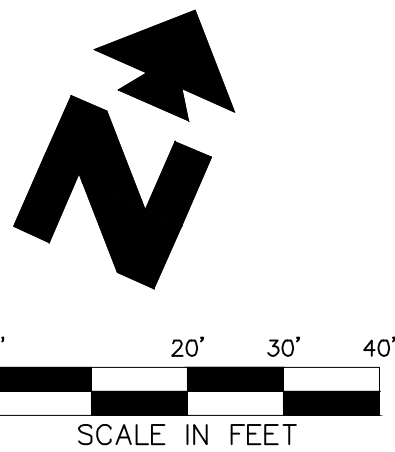




PLANT MATERIAL LIST		
KEY	QNTY.	ITEM
	1,445 S.F.	BURMUDA SOD / CYNODON TRANSVAALENSIS X C. DACTYLON SEE SPICIFICATIONS-CONTRACTOR RESPONSIBLE FOR VERIFICATION OF QUANTITIES
	LUMP SUM	GUARANTEE PERIOD - (1) ONE YEAR

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



EXISTING		
—OHU—	PROPERTY LINE	☆ LIGHT POLE (LP)
—SS—	UTILITY POLE (UP), OVERHEAD LINES & GUY	⋈ FIRE HYDRANT
—SS—	SANITARY SEWER MANHOLE (SSMH)	WVW WATER VALVE
—SS—	DOUBLE-WING CATCH BASIN	⊙ STREET SIGN
—SS—	SINGLE-WING CATCH BASIN	⊙ DRAINAGE MANHOLE
—SS—	FENCE	R/W RIGHT-OF-WAY
—SS—	EXISTING 5 FOOT CONTOUR	RBF REBAR PIN FOUND
—SS—	EXISTING 1 FOOT CONTOUR	RBS REBAR PIN SET
—SS—	EXISTING GRADE SPOT ELEVATION	CMP REINFORCED CONC. PIPE
—SS—	RECORDED DATA	RCP CORRUGATED METAL PIPE

PROPOSED		
---	BOUNDARY LINE	
---	CONCRETE CURB AND GUTTER	
---	CONSTRUCTION FENCE	

PROPOSED		
---	BOUNDARY LINE	
---	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)	
---	CONSTRUCTION FENCE	

#### GENERAL LANDSCAPE NOTES

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-260.1-1986)
- ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN UNLESS SHOWN OTHERWISE, SHALL BE SHOWN AS FOLLOWS:  
GRASS SEED MIX: 40% PERENNIAL RYE  
40% TURF TYP. FESCUE 0.5 LB PER 100 S.F.  
40% BERMUDA GRASS  
AGRICULTURAL LIME 2 LB PER 1000 S.F.  
FERTILIZER 10-10-10 2 LB PER 1000 S.F.  
MULCH: DRY STRAW OR HAY 2"-3" DEPTH
- ALL WAL-MART PROPERTY DAMAGED DUE TO CONSTRUCTION ACTIVITIES MUST BE REPLACED/RESTORED TO MATCH THE EXISTING TYPE AND QUALITY OF WORK AND MATERIALS AND IS SUBJECT TO WAL-MART APPROVAL.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL APPROVED BY THE OWNER. AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP WAL-MART'S GREEN SPACE BELOW CITY REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF WAL-MART IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICHEVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDING REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDING LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL LAWN AREA.
- ALL PERMANENT TURF AREAS SHALL BE SOD.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF LAWN AREAS.
- SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
- TREES SHALL BE PLANTED PER DETAIL 50A.
- GC SHALL INCORPORATE PER-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN ALL MULCH AND PLANTING AREA.
- NO PLANTINGS SHALL BLOCK VIEW OF FREE-STANDING OR ID SIGNAGE.

LANDSCAPE NOTES		
1D	SODDED AREA (BURMUDA)	

SHEET NO. LP-1



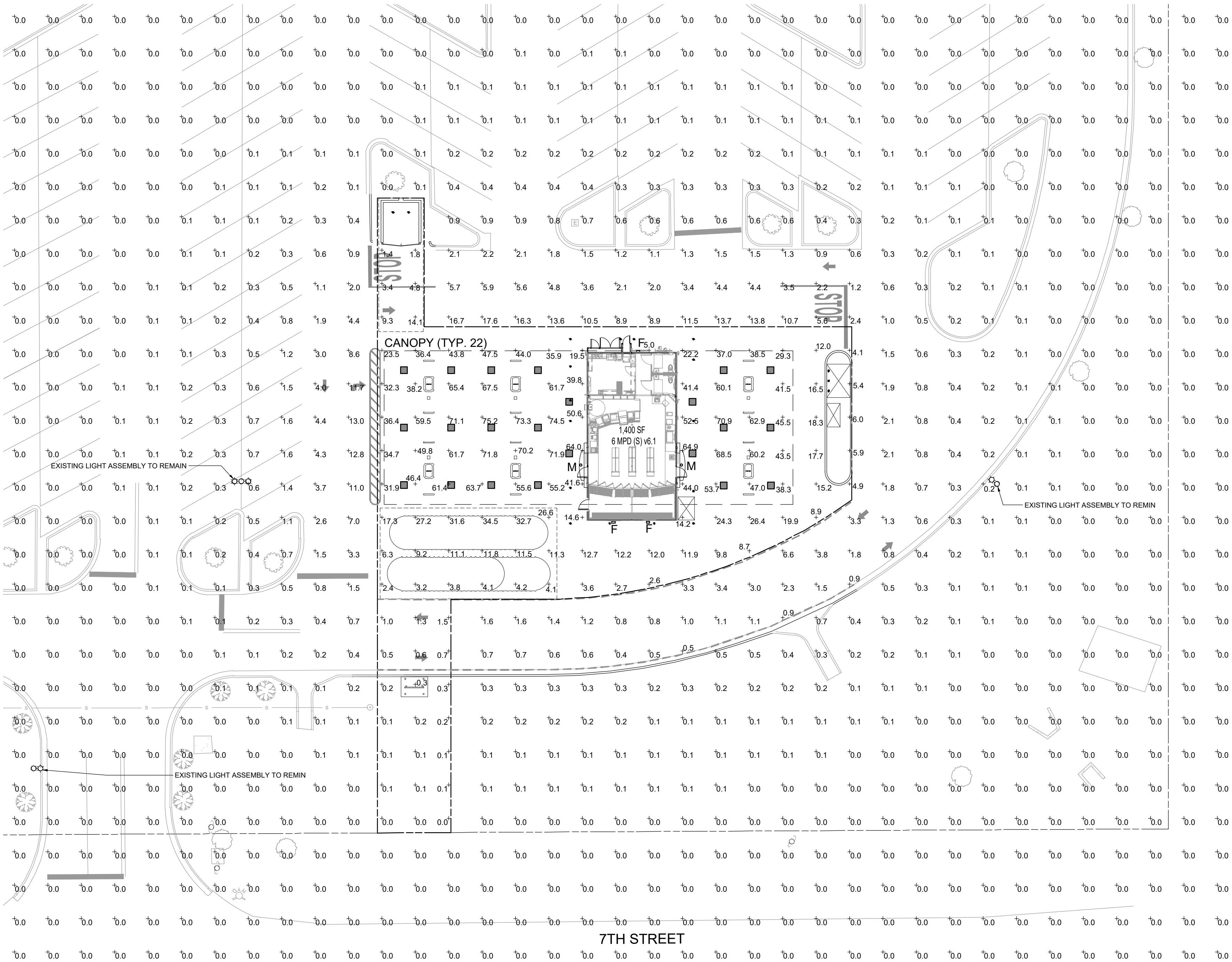
7/10/23  
Thomas C. David, Jr.

LANDSCAPE PLAN  
MURPHY #7906 / WALMART #2739  
1000 WEST 7TH STREET  
BAY MINETTE ALABAMA

PAN AMERICAN ENGINEERS, LLC  
1717 JACKSON STREET  
ALEXANDRIA, LA. 71301  
(504) 478-2100  
CONTACT: WESLEY MILLER

MURPHY OIL USA, INC.  
200 PEACH STREET  
EL DORADO, AR 71730  
MURPHY USA





LUMINAIRE SCHEDULE							
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	DESCRIPTION
CANOPY	■	22	15'-0"	N/A	19071	125	CRUS-SC-LED-HO-50-UE-WHT
F	□	3	8'-3"	N/A	4124	30	XWM 3 LED 04L 50 UE BRZ XWM 3 LED 04L 50 UE BRZ BB
M	○	2	8'-8"	N/A	2333	22	LCD6LED25LUN/DIM135WF TR6RWVHAZ EM

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET. ALL FIXTURES ARE FULL CUT-OFF FIXTURES ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS.

CALCULATION SUMMARY				
LABEL	UNITS	AVG	MAX	MIN
CANOPY	FC	57.50	75.2	38.2
PROPERTY LINE	FC	26.72	75.2	0.0

**NOTES:**  
PLAN WAS BASED ON THE INFORMATION PROVIDED. ALL DIMENSIONS, LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.  
  
THE STUDY IS BASED ON REQUESTED ILLUMINATION LEVELS, LUMINAIRE LOCATIONS, OR ADDITIONAL CRITERIA BY THE AUTHORITIES HAVING JURISDICTION.  
  
THE CALCULATED PHOTOMETRIC LEVELS MAY OR MAY NOT MEET CERTAIN STANDARDS OR RECOMMENDED PRACTICES OF IESNA.  
  
THE PHOTOMETRIC PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. LABORATORY TESTS ARE MADE UNDER OPTIMUM CONDITION, WITH LAMP OUTPUT AT RATED VALUE, AND IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS.  
  
ACTUAL ILLUMINANCE LEVELS MAY DIFFER DUE TO VARIABLE FIELD CONDITIONS SUCH AS (BUT NOT LIMITED TO): VARIANCE IN LAMP LUMEN OUTPUT; LAMP TILT FACTOR; BALLAST WATTAGE OUTPUT; LINE VOLTAGE AT BALLAST; REFLECTOR SPECULARITY; LAMP LUMEN DEPRECIATION; AND LUMINAIRE DIRT DEPRECIATION.  
  
THIS PLAN IS FOR RELATIVE LAYOUT AND SCOPE OF WORK PURPOSES ONLY. REFER TO SITE PLAN PREPARED BY LOCAL CONSULTANT FOR RELATIONSHIP OF THESE LUMINAIRES AND THEIR LOCATIONS TO EXISTING STRUCTURES AND REFERENCE.

Catalog #:   
Prepared By:   
Project:   
Date:

### Mirada Wall Sconce (XWM)

Outdoor LED Wall Sconce

OVERVIEW	
Lumen Range	3,000 - 12,000
Wattage Range	25 - 102
Efficiency Range (LPW)	103 - 140
Weight (lbs/kg)	30 (13.6)

**QUICK LINKS**

Ordering Guide Performance Photometrics Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Hinged die-cast aluminum wiring access door located underneath.
- Galvanized-steel universal wall mount bracket comes standard with hinging mechanism to easily access the junction box wire connections without removing the luminaire.
- Optional pole-mounting bracket (XPM4) polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

**Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP65 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in Types 2, 3, and Forward Throw (FT) distributions.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K and 3000K color temperatures per ANSI C78.377.
- Minimum CRI of 70.

**Electrical**

- High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor: >90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed via hinged door.
- Optional integral emergency battery pack provides 90-minutes of constant power to the LED system, ensuring code compliance. A test switch/indicator button is installed on the housing for ease of maintenance. The fixture delivers 1600 lumens during emergency mode.

**Controls**

- Optional integral passive infrared Blue-Ray™ motion and protocol sensor (see page 5 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app.

**Installation**

- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7 (see page 5 for more details).
- Universal wall mounting plate easily mounts directly to 4" octagonal or square junction box.
- 2 fasteners secure the hinged door underneath the housing and provide quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block accepts up to 12 ga wire.

**Warranty**

- LSI LED Fixtures carry a 5-year warranty.
- 1 Year warranty on Battery Back-up option.

**Listings**

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature selection.
- State of California Title 24 Compliant
- Suitable for wet locations.
- IP65 rated luminaire per IEC 60598.
- 360° rated for ANSI C136.31 high vibration applications when pole mounted (using optional XPM4 bracket) or wall mounted.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • [www.lsiindustries.com](http://www.lsiindustries.com)  
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Page 1/5 Rev. 07/21/20  
SPEC.3023.B.0409

MANUFACTURER SPECIFICATION SHEET FOR WALL FIXTURE

Catalog #:   
Prepared By:   
Date:   
Type:

### Scottsdale® Legacy (CRUS)

LED Canopy Luminaire

OVERVIEW	
Lumen Package	5,000 - 22,000
Wattage Range	38 - 152
Efficiency Range (LPW)	114 - 156
Weight (lbs/kg)	23 (10.4)

**QUICK LINKS**

Ordering Guide Performance Photometrics Dimensions

**FEATURES & SPECIFICATIONS**

**Construction**

- Features a ultra-slim 1 1/8" profile die-cast housing, with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP65 rated. Integral designed heat sink does not trap dirt and grime, ensuring cool running performance over the life of the fixture.
- Standard color is white and is finished with LSI's DuraGrip polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.
- Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

**Optical System**

- Features an array of select, mid-power, high brightness, high efficiency LED: 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).
- Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffused lens also available.
- Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond. The forward through optic directs the light to the forecourt from the gas canopy eliminating the need for supplemental floodlights and extensive perimeter lighting.
- Diffuse lens available as an option to soften brightness of the luminaire.
- Six Lumen Packages: 5,000, 9,000, 10,000, 13,000, 18,000 and 22,000 Lumens.

**Electrical**

- High performance factory programmable driver features over-voltage, under voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards. Additional field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). Custom lumen and wattage packages available.
- Driver components are fully encased in potting for moisture resistance. Complies with IEC and FCC standards. 0-10V dimming supplied standard with all drive currents.
- Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry, provide easy "knock-out" connection of primary wiring and acts as the primary heat sink ensuring cool operation of internal components for longer life. Seals to optical housing via one-piece molded silicone gasket.
- Universal voltage power supply, 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.
- 40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Values based on lumen package and mounting style see performance data for specifics.)
- Minimum 60,000 to 100,000 hours depending upon the ambient temperature and luminaire location (see performance data for specifics.)

**Hazardous Location**

- Designed for lighter than air fuel applications. Product is suitable for Class 1 Divisions 2 only when properly installed per LSI installation instructions. See [lsicorp.com](http://lsicorp.com) for specific guidance. Not available on SLW.

**Installation**

- One-person installation.
- Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing. Unit is designed to quickly retrofit into existing Scottsdale (4") hole as well as openings for Encore and Encore Top Access and to reconnect wiring for the SC/ECTA without having to relocate the conduit.
- Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

**Warranty**

- LSI LED Fixtures carry a 5-year warranty (contact your LSI representative for extended warranty options.)

**Listings**

- UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.
- Meets Buy American Act requirements.
- IDA compliant with 3000K or lower color temperature.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • [www.lsiindustries.com](http://www.lsiindustries.com)  
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SPEC.3023.B.0022

MANUFACTURER SPECIFICATION SHEET FOR CANOPY FIXTURE

5500 Greenwood Plaza Boulevard, Suite 200  
Greenwood Village, CO 80111  
303.770.8884  
[GallowayUS.com](http://GallowayUS.com)

**MURPHY USA**  
**BAY MINETTE, ALABAMA**

Project No: MOC9956  
Sheet Scale: 1"=20'-0"  
Date: June, 2023  
Disk File: Photometric-Bay Minette, AL #6735\_F706

**PHOTOMETRIC SITE PLAN**

WALMART #2739  
1000 W. 6th

L-1.0





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## PROFESSIONAL SEAL



**PROJECT MANAGER**  
JOSHUA MATOS

**QUALITY CONTROL**  
CHRIS CERBO

**DRAWN BY**  
SS

\_\_\_\_\_

**PROJECT NAME**  
 \_\_\_\_\_

MURPHY  
USAUSA 

**MURPHY OIL**

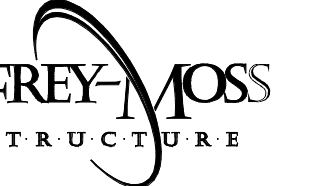
## CONVENIENCE

## STORE

**1000 W 7TH STREET**

## BAY MINETTE

ALADAMA 00907



**FMS JOB NUMBER**  
G23MU00046

**FMS MODEL NUMBER**  
XXXXXX

**PROJECT NUMBER**  
**20230323.5**

**SHEET TITLE**

COVER SHEET

**COVER SHEET,  
SHEET INDEX &**

## CODE DATA

\_\_\_\_\_

**SHEET NUMBER**

CS1

\_\_\_\_\_

**1400 SQ. FT. BUILDING**

**ROOM TAG**

ROOM NAME ← AREA TAG  
ROOM NAME

150 SF ← SQUARE FOOTAGE

Name Elevation ← LEVEL HEAD

SPOT ELEVATION

NORTH ARROW ← CENTERLINE

REVISION TAG ← PARTITION TYPE

DOOR NUMBER

WINDOW TAG

DETAIL CALL-OUT

DETAIL

TYPICAL WALL SECTION

BUILDING SECTION

INTERIOR ELEVATIONS

SCOPE OF WORK - CONVENIENCE STORE

FUEL CANOPY - UNDER SEPARATE APPLICATION


7TH STREET

[illegible]

3. CONTRACTOR SHALL PROVIDE UNIT PRICING TO OWNER ON ALL PHONE, GAS, TELECOMMUNICATION, AND POWER COST FOR THIS PROJECT INCLUDING BUT NOT LIMITED TO TRENCHING, CONDUIT, LINE PULLS, CONNECTION, ETC.
3. CONTRACTOR SHALL BID THIS PROJECT COMPLETELY WITH NO EXCEPTIONS UNLESS INSTRUCTED BY OWNER. CONTRACTOR SHALL PROVIDE ALLOWANCES ON ANY ITEM THAT CAN NOT BE RESOLVED DURING THE BID PROCESS.
4. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONNECTIONS, EXISTING PLUMBING TAPS, ELECTRICAL PANEL LOCATIONS, GAS METERS AND MECHANICAL EQUIPMENT AGAINST THE PLANS AND REPORT ANY DISCREPANCIES DURING THE BID PROCESS
5. CONTRACTOR SHALL BE RESPONSIBLE FOR CLARIFICATION OF DOCUMENTS. SHOULD A BIDDER HAVE ANY QUESTIONS IN OR OUTSIDE OF THE DRAWINGS OR DOCUMENTS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL NOTIFY THE ARCHITECT IN WRITING FIVE DAYS OR MORE BEFORE DATE SET TO RECEIVE BIDS, WHO WILL SEND, AFTER CONSIDERATION, IDENTICAL INSTRUCTIONS TO ALL BIDDERS. IN THE EVENT CLARIFICATION IS DEEMED NECESSARY, NEITHER OWNER NOR ARCHITECT WILL BE RESPONSIBLE FOR ORAL INSTRUCTIONS.
6. GENERAL CONTRACTOR SHALL VERIFY GOVERNING REQUIREMENTS PRIOR TO BID.
7. THE ARCHITECT ASSUMES THE GENERAL CONTRACTOR HAS INCLUDED IN HIS BID/PRICING THE HIGHEST QUALITY AND GREATEST QUANTITY FOR THE PROJECT. BY SOLVING ANY CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH ARE IMPLIED OR UNDEFINED.
8. ALL BID NUMBERS SHOULD INCLUDE BREAKDOWN OF UNIT PRICE.

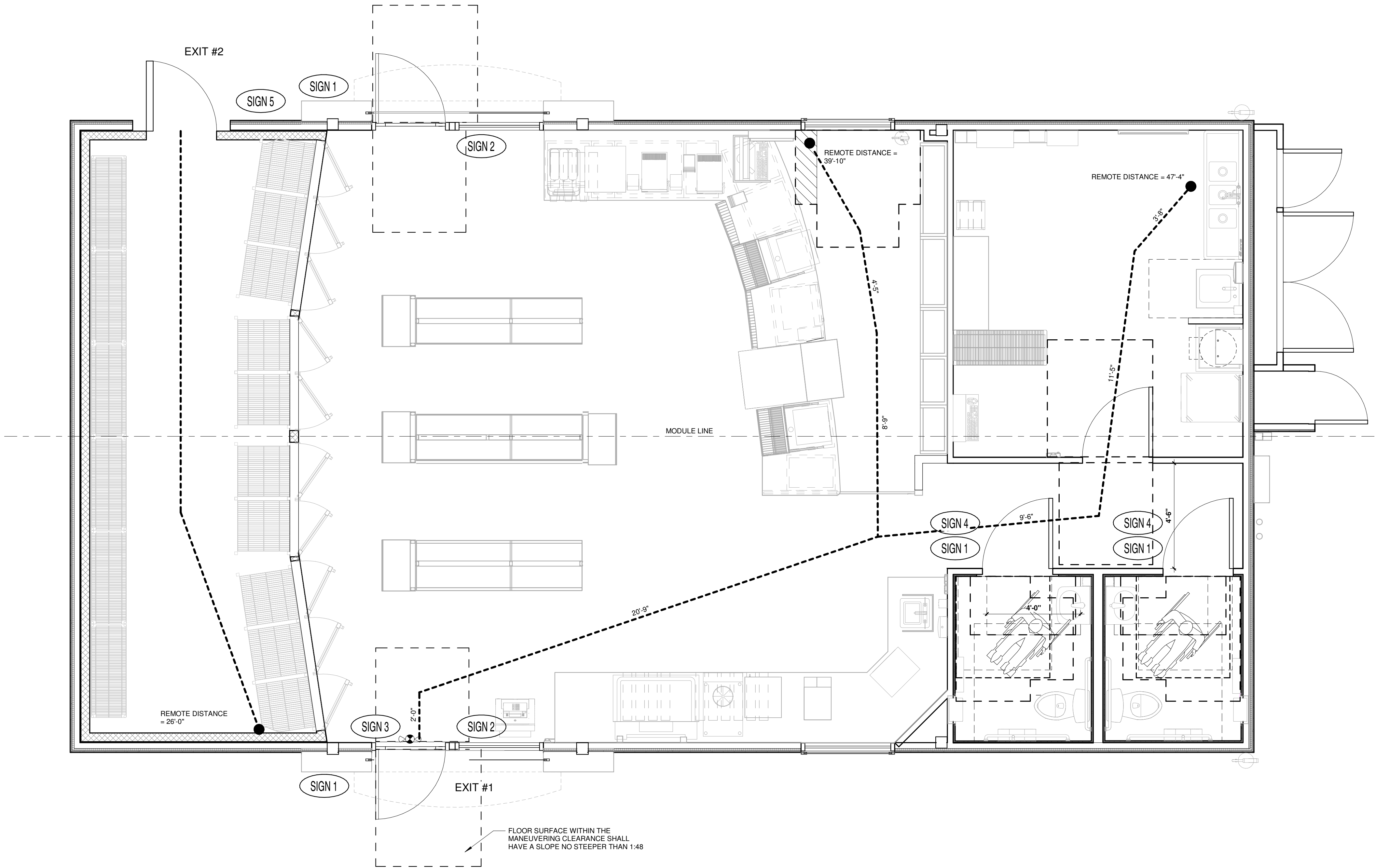
NOTES:

1. MFG DATA PLATE, STATE INSIGNIA AND 3RD PARTY INSPECTION LABEL ARE LOCATED AS SHOWN ON 93.

 SPECIAL INSPECTOR: PFS CORPORATION  
1507 MATT PASS  
COTTAGE GROVE, WI 53527  
P: 608-839-1013



EXIT REQUIREMENTS: (NUMBER AND ARRANGEMENT OF EXITS)			GENERAL NOTES	ACCESSIBILITY SIGNS (FURNISHED AND INSTALLED BY GC):	ACCESSIBILITY NOTES:
TRAVEL DISTANCE	COMMON PATH OF TRAVEL		1. MEANS OF EGRESS SHALL BE ILLUMINATED WITH AT LEAST ONE-FOOT CANDLE AT THE FLOOR LEVEL (WALKING SURFACE). REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.	<div>SIGN 1</div> <div>INTERNATIONAL SYMBOL OF ACCESSIBILITY</div>	<div>1. ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES.</div> <div>2. THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED MAX. - GROSS SLOPE OF 2%</div> <div>3. WALKING SURFACE SLOPING GREATER THAN 2% SHALL BE SLIP RESISTANT.</div> <div>4. PROVIDE A 60"x60" MIN. LANDING ON STRIKE SIDE OF DOOR W/ 44" MIN. WIDTH IN DIRECTION OF TRAVEL.</div> <div>5. WALKS SHALL EXTEND 24" TO THE SIDE OF THE STRIKE EDGE OF A DOOR OR GATE THAT SWINGS TOWARD THE WALK.</div> <div>6. THE SLOPE OF RAMPS SHALL NOT EXCEED 1'-0" IN 12'-0" U.N.O.</div> <div>7. RAMPS SHALL HAVE A NON-SLIP SURFACE.</div> <div>8. RAMPS SHALL BE 48" WIDE MIN.</div> <div>9. EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3 FT. WIDE BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90° AND MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32" MIN.</div> <div>10. THRESHOLD TO BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.</div> <div>11. MAXIMUM EFFORT TO OPERATE INTERIOR DOORS SHALL NOT EXCEED 5 LBS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECT TO A 15 POUND FORCE, THE DOOR SHALL BE SET IN MOTION WHEN SUBJECT TO 30 POUND FORCE, THE DOOR SHALL SWING TO FULL-OPEN POSITION WHEN SUBJECT TO A 15 POUND FORCE.</div> <div>12. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.</div> <div>13. PROVIDE LEVER TYPE HARDWARE, PANIC BARS, PUSH - PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30" TO 44" A.F.F.)</div> <div>14. EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT, FLUSH OR SURFACE BOLTS SHALL BE AUTOMATIC TYPE. LOCKABLE DOORS SHALL BE PROVIDED WITH A SIGN STATING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IN MIN. 1" HIGH LETTERS.</div> <div>15. EXIT SIGNS WHERE NOTED OR REQUIRED SHALL BE WORDED "EXIT" IN LETTERS HAVING THE PRINCIPAL STROKE OF NOT LESS THAN 3/4" WIDE AND 6" HIGH AND SHALL CONFORM TO ALL APPLICABLE CODES.</div> <div>16. PROVIDE ILLUMINATED EXIT SIGNS AND EMERGENCY LIGHTING AT ALL EXIT CORRIDORS AS REQUIRED BY CODE. EMERGENCY LIGHTING SHALL PROVIDE ILLUMINATION OF ONE FOOT CANDLE AT FLOOR LEVEL.</div> <div>17. DOORS TO ACCESSIBLE SANITARY FACILITIES SHALL BE IDENTIFIED BY 1/4" THICK GEOMETRIC SYMBOLS OF CONTRASTING COLOR.</div> <div>18. POST INTERNATIONAL SYMBOL OF ACCESSIBILITY ON OR ADJACENT TO ALL ACCESSIBLE BUILDING ENTRANCES.</div>
ALLOWABLE TRAVEL DISTANCE WITHOUT SPRINKLER: 150 FT. (TABLE 1017.2) ACTUAL TRAVEL DISTANCE: 47'-4"	ALLOWABLE COMMON PATH OF EGRESS TRAVEL DISTANCE WITHOUT SPRINKLER  75'-0"	ACTUAL COMMON PATH OF EGRESS TRAVEL DISTANCE  27'-0"			
MINIMUM NO. OF EXITS	ARRANGEMENT MEANS OF EGRESS		LEGEND:	<div>SIGN 2</div> <div>"THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" LETTER MIN. 1" HIGH SIGN MOUNTED ABOVE DOOR</div>	
REQUIRED: 1 PROVIDED: 2 (1 EXIT FROM SALES AREA 1 EXIT FROM REACH-IN COOLER)	REQUIRED DISTANCE BETWEEN EXIT DOORS  DISTANCE BETWEEN EXITS SHALL BE EQUAL OR NOT LESS THAN 1/2 OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED - MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS (SECTION 1007.1)	ACTUAL STRAIGHT LINE DISTANCE BETWEEN EXITS  N/A	<div>-----</div> <div>= ROUTE FROM THE MOST REMOTE LOCATION IN ROOM OR SPACE TO NEAREST EXIT</div>	<div>SIGN 3</div> <div>SHALL COMPLY WITH SECTION 703.3 ICC/ANSI A117.1 2017</div>	
		ACTUAL STRAIGHT LINE ACROSS PUBLIC AREA:  N/A	<div>- - - - -</div> <div>= DIAGONAL DISTANCE OF THE BUILDING AREA</div> <div><div>-----</div><div>= STRAIGHT LINE DISTANCE BETWEEN EXITS</div></div>	<div>SIGN 4</div> <div>RESTROOM SIGNAGE</div>	
		CONCLUSION = N/A	<div>●</div> <div>= MOST REMOTE POINT WITHIN THIS AREA</div> <div><div>⦿</div><div>= ILLUMINATED EXIT SIGN AND EMERGENCY LIGHT COMBO</div></div>	<div>SIGN 5</div> <div>EMPLOYEES ONLY</div>	
			<div>NOTES:</div> <div>INSPECTOR MAY REQUIRE ADDITIONAL EXIT SIGNS AT THE TIME OF FINAL INSPECTION.</div>		



1 EGRESS/ACCESSIBILITY FLOOR PLAN  
3/8" = 1'-0"

GF

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ISSUE RECORD	
DATE	REV. DESCRIPTION
07/31/2023	PERMIT SUBMISSION SET

PROFESSIONAL SEAL

STATE OF ALABAMA

SCOTT LOUKTS

REGISTERED ARCHITECT

8.1.23

PROFESSIONAL IN CHARGE

SCOTT LOUKTS

PROJECT MANAGER

JOSHUA MATOS

QUALITY CONTROL

CHRIS CERBO

DRAWN BY

SS

PROJECT NAME

MURPHY USA

MURPHY OIL CONVENIENCE STORE

1000 W. 7TH STREET,  
BAY MINETTE  
ALABAMA 36507

FREY MOSS  
STRUCTURE

1801 Rockdale Industrial Blvd.  
Conyers, Georgia 30012  
Voice: (800) 366-6385  
Fax: (770) 483-6037  
FMS JOB NUMBER  
G23MU00046  
FMS MODEL NUMBER  
XXXXXX

PROJECT NUMBER

20230323.5

SHEET TITLE

EGRESS/ACCESSIBILITY FLOOR PLAN

SHEET NUMBER

A2

PROTO V6.1

03/01/2023

1400 SQ. FT. BUILDING

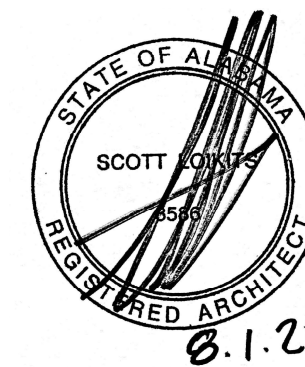
Autodesk® Revit® / Murphya 01/20230323.5\_Bay Minette, AL (R 7th Street) - 1400 Building sq. ft. 02/24/24







## PROFESSIONAL SEAL

PROFESSIONAL IN CHARGE  
SCOTT LOMITSPROJECT MANAGER  
JOSHUA MATOSQUALITY CONTROL  
CHRIS CERBODRAWN BY  
SS

## PROJECT NAME

**MURPHY  
USA**

**MURPHY OIL  
CONVENIENCE  
STORE**

1000 W. 7TH STREET,  
BAY MINETTE  
ALABAMA 36507

**FREY MOSS  
STRUCTURE**

1801 Rockdale Industrial Blvd.  
Conyers, Georgia 30012  
Voice: (800) 366-6385  
Fax: (770) 463-6037

FMS JOB NUMBER  
G23MU00046  
FMS MODEL NUMBER  
XXXXXX

PROJECT NUMBER  
**20230323.5**

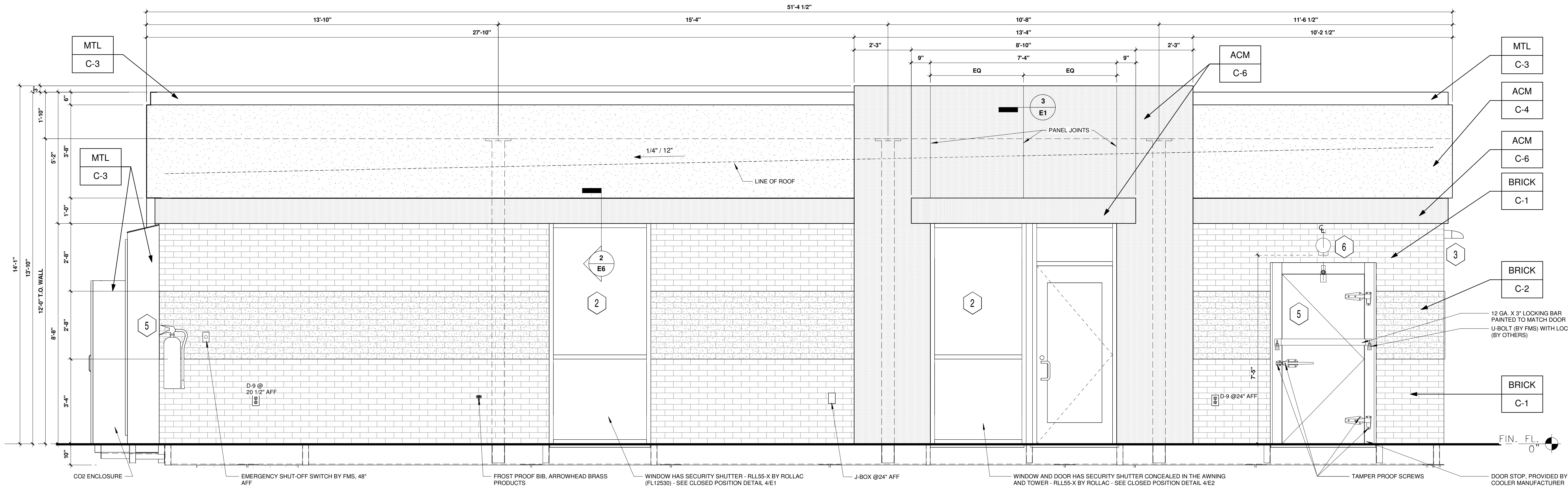
## SHEET TITLE

**EXTERIOR  
ELEVATIONS**

## SHEET NUMBER

**E2**

PROTO V6.1 03/01/2023  
1400 SQ. FT. BUILDING



**1 ELEVATION- LEFT (FACING WEST)**  
1/2" = 1'-0"

## KEYED NOTES:

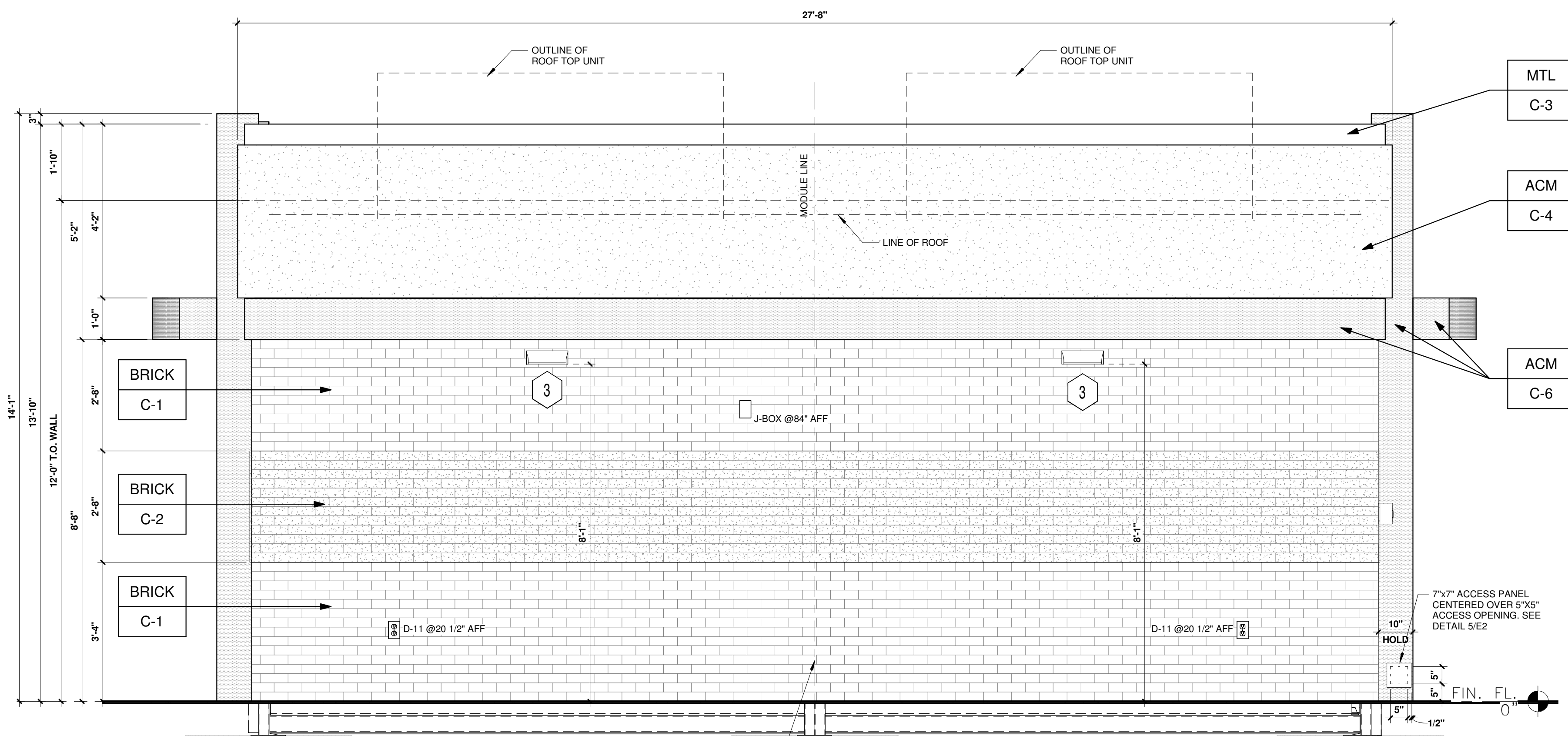
- |   |  |                    |
|---|--|--------------------|
| 1 | SIGNAGE (IF REQUIRED)  | BY SIGN CONTRACTOR |
| 2 | CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM<br>KAWNEER, YKK OR EQUAL | C-7                |
| 3 | EXTERIOR LIGHTING, REFER TO LIGHTING PLAN                          | SHEET EL2          |
| 4 | 4" x 4" PAINTED METAL DOWNSPOUTS                                   | C-3                |
| 5 | DOORS (EXTERIOR SIDE) AND DOOR FRAMES PAINTED                      | C-3                |
| 6 | LITHONIA REMOTE EMERGENCY HEAD #ELA                                | SHEET EL2          |

## EXTERIOR FINISHES:

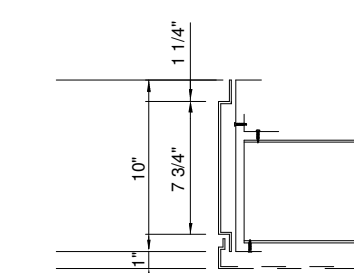
ACM	ACM (3MM THICKNESS)	BY FMS
BRICK	THIN BRICK	BY FMS
MTL	20 GA. SHEET METAL (UNLESS NOTED OTHERWISE)	BY FMS

## EXTERIOR PAINT/COLORS:

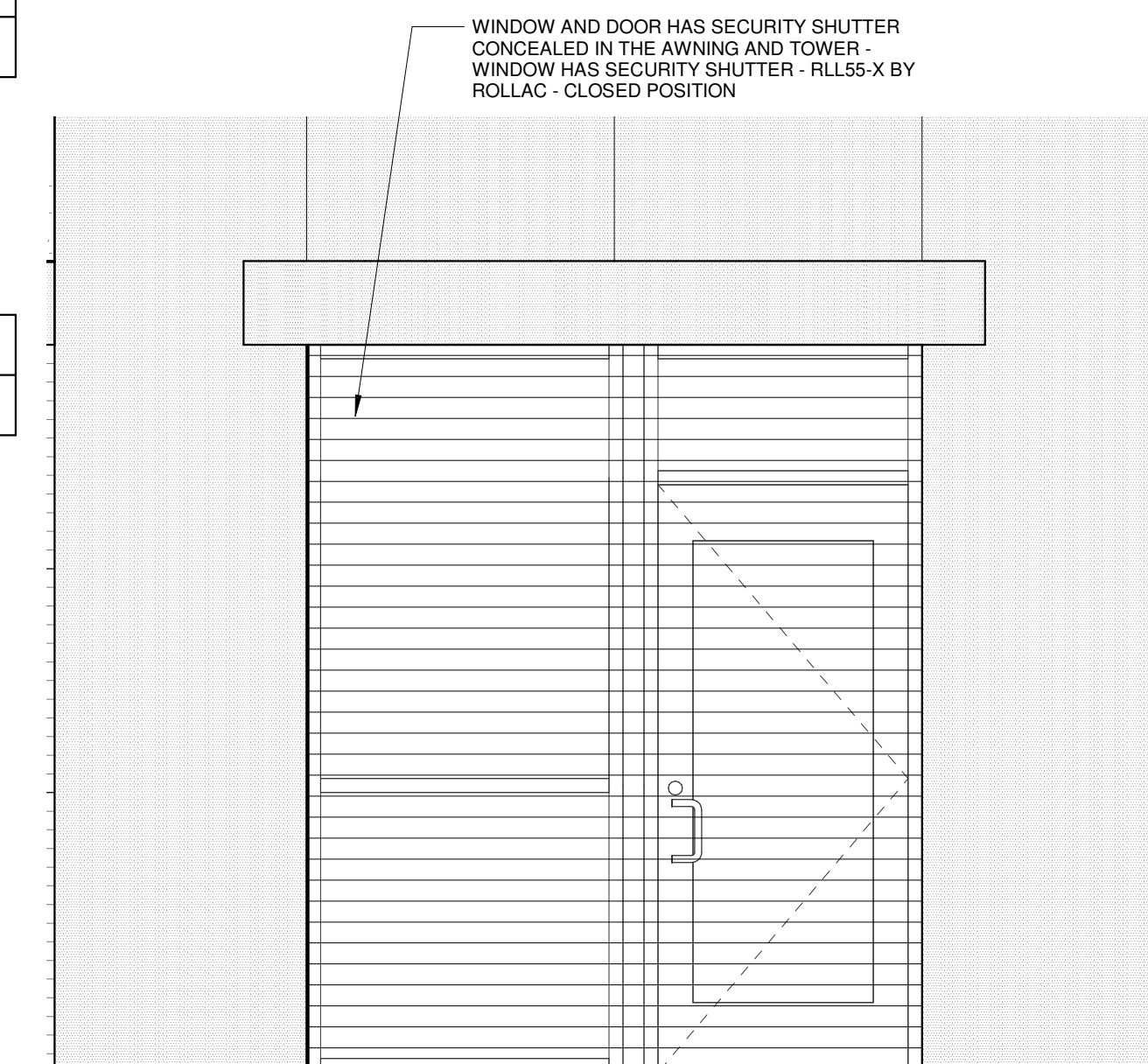
C-1	THIN BRICK VENEER - LIGHT SANDSTONE VELOUR BY ENDICOTT (WIRE CUT FINISH) WITH ENDURA MAX PREPLENDED GREY COLOR GROUT	BY FMS
C-2	THIN BRICK VENEER - EMPIRE IVORY VELOUR BY CAROLINA CERAMICS (WIRE CUT FINISH) WITH ENDURA MAX PREPLENDED GREY COLOR GROUT	BY FMS
C-3	DORMER BROWN SW #7521	BY FMS
C-4	REYNOLBOND #4 NATURAL BRUSHED ALUMINUM BY ARCONIC	BY FMS
C-5	OPEN	BY FMS
C-6	'PROGRAM RED' BY ALPOLIC	BY FMS
C-7	CLEAR ANODIZED ALUMINUM STOREFRONT	BY FMS



**2 ELEVATION- FRONT (FACING SOUTH)**  
1/2" = 1'-0"



**4 ACCESS PANEL**  
N.T.S.



**3 SECURITY SHUTTER @ ENTRY DOOR**  
1/2" = 1'-0"









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ISSUE RECORD	
DATE	REV. DESCRIPTION
07/31/2023	PERMIT SUBMISSION SET

#### PROFESSIONAL SEAL



#### PROFESSIONAL IN CHARGE

ROSS WALTERS

#### PROJECT MANAGER

OLENA KOVALENKO

#### QUALITY CONTROL

PERRY KLEPPIN

#### DRAWN BY

BRYAN MASON

#### PROJECT NAME

**MURPHY  
USA**

## MURPHY OIL CONVENIENCE STORE

1000 W. 7TH STREET,  
BAY MINETTE  
ALABAMA 36507



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FMS JOB NUMBER

G23MU00046

FMS MODEL NUMBER

XXXXXX

#### PROJECT NUMBER

20230323.5

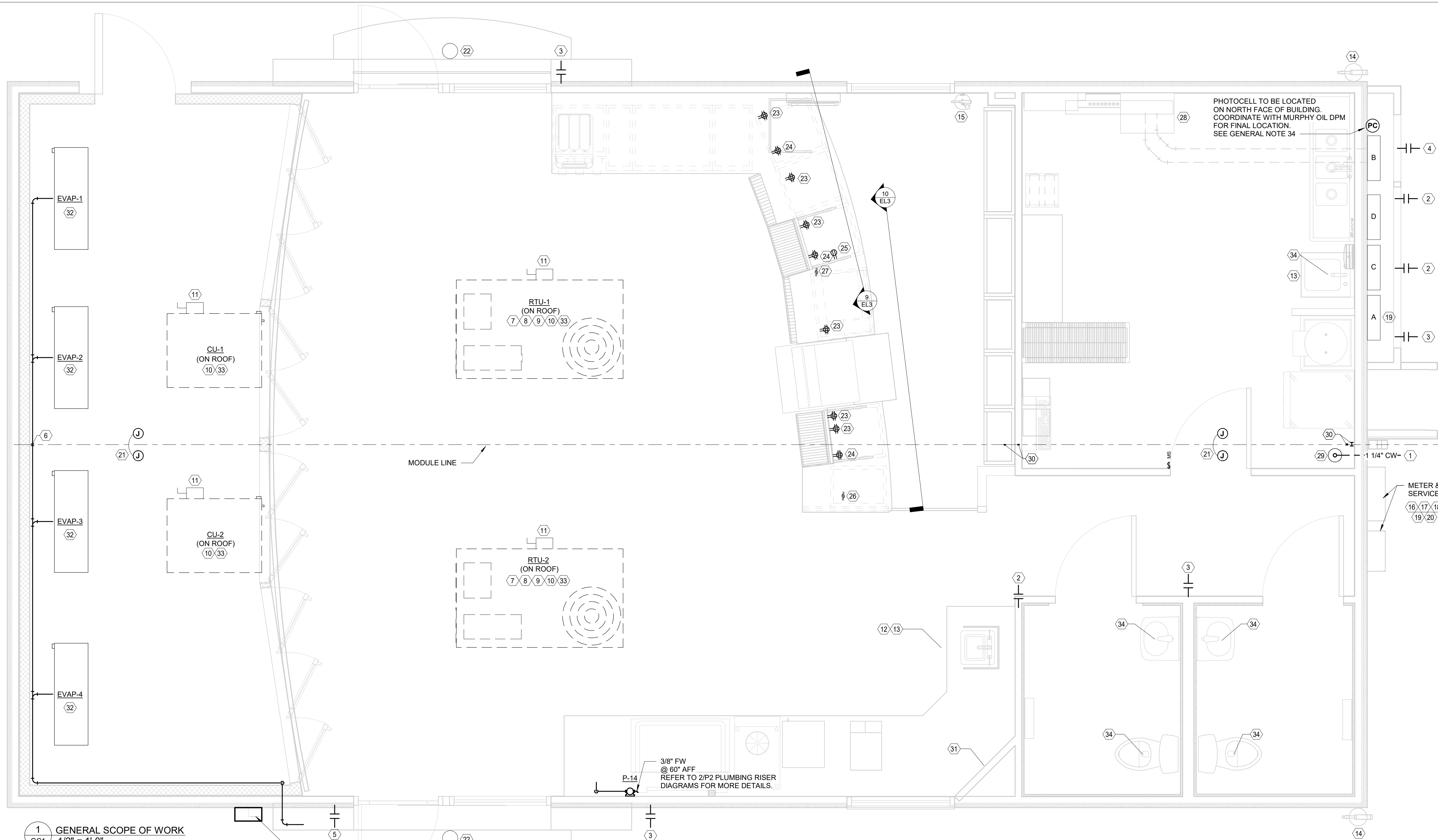
#### SHEET TITLE

## GENERAL CONTRACTOR SCOPE OF WORK

#### SHEET NUMBER

**GC1**

PROTO V6.1 03/01/2023  
1400 SQ. FT. BUILDING



2 DETAIL 'A'  
GC1 N.T.S.

3 DETAIL 'B'  
GC1 N.T.S.

4 DETAIL 'C'  
GC1 N.T.S.

5 DETAIL 'E'  
GC1 N.T.S.

#### GENERAL NOTES:

- A COMPLETE SET OF DRAWINGS WILL BE PROVIDED TO THE G.C. CLEARLY IDENTIFYING THE G.C. SCOPE OF WORK.
- EQUIPMENT INSTALLER SHALL PROVIDE INDIVIDUAL BACKFLOW PREVENTERS FOR COFFEE MACHINE, ICE MAKER, CARBONATED BEVERAGE MACHINE, CAPPUCCINO MACHINE, ICEE MACHINE, TEA TOWER, FROZEN BEVERAGE MACHINE, AND WATER BOOSTER PUMP/BIB STATION. REFER TO SHEET P1 FOR ADDITIONAL INFORMATION.
- G.C. SHALL ROUTE AND CONNECT 2" VENT FROM GREASE INTERCEPTOR LOCATED ON SITE TO BUILDING VENT SYSTEM. G.C. TO MAINTAIN GREASE TRAP VENTING SLOPE REQUIREMENTS FROM GREASE TRAP TO BUILDING VENT SYSTEM.
- G.C. SHALL PROVIDE 2-WAY CLEANOUT AT ALL SANITARY, GREASE WASTE, AND STORM DRAIN STUB OUTS OUTSIDE OF BUILDING FRAME WITHIN 30" OF EXTERIOR WALL. FIELD COORDINATE EXACT LOCATIONS WITH ALL DISCIPLINES. REFER TO SHEET P1 FOR ADDITIONAL INFORMATION.
- FMS IS RESPONSIBLE TO START UP COOLER.
- G.C. SHALL MAKE CONNECTION OF FUEL CANOPY LIGHTS TO SENSOR ON BUILDING. REFER TO SHEET M2 FOR SENSOR LOCATION.
- CONDUIT, BOXES, FITTINGS, ETC. IN DAMP LOCATION (E.G., COOLER, ETC) SHALL COMPLY WITH INSTALLATION PER NEC 314.15.
- DO NOT ENERGIZE MMB. TO BE POWERED ON SITE BY ONEAC.
- G.C. IS RESPONSIBLE TO REVIEW DRAWINGS IN THIS SET (AS LISTED IN SHEET INDEX ON SHEET CS-1) AND IS TO PROVIDE ALL SCOPE OF WORK ITEMS NOTED AS PERTAINING TO THE G.C.'S SCOPE OF WORK.
- G.C. SHALL COORDINATE ALL EQUIPMENT PLACEMENTS, SUPPORTS, AND CONNECTIONS WITH EQUIPMENT SUPPLIERS.
- G.C. SHALL COMPLY WITH ALL LOCAL BUILDING CODES, ORDINANCES, AND CONSTRUCTION STANDARDS.
- ALL REQUIRED CONTROLLED INSPECTIONS SHALL COMPLY WITH THE LOCAL BUILDING CODES. CONSTRUCTION SUPERVISOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL BE RESPONSIBLE FOR THE SCHEDULING OF THE WORK.
- ELECTRICAL SYSTEMS SHALL BE INSTALLED PER APPLICABLE ELECTRICAL CODE AND IN ACCORDANCE WITH ALL APPLICABLE UTILITY COMPANY SPECIFICATIONS AND MUNICIPAL JURISDICTIONAL CODES.
- G.C. SHALL BE RESPONSIBLE FOR COORDINATION AND SUBMITTALS TO UTILITY COMPANIES FOR THIS PROJECT.
- G.C. SHALL FIELD VERIFY ALL UTILITY CONNECTIONS, EXISTING PLUMBING TAPS, ELECTRICAL PANEL LOCATIONS, AND MECHANICAL EQUIPMENT AGAINST THE PLANS AND REPORT ANY DISCREPANCIES DURING THE BID PROCESS.
- G.C. SHALL MAKE ALL THERMOSTAT CROSS-OVER CONNECTIONS AT MODULE LINES ABOVE CEILING.
- G.C. SHALL MAKE ALL ELECTRICAL CROSS-OVER CONNECTIONS AT MODULE LINES ABOVE CEILING.
- G.C. SHALL MAKE CONNECTION OF FUEL CANOPY LIGHT FIXTURES TO JUNCTION BOXES.
- G.C. SHALL BE RESPONSIBLE FOR SITE GRADING AND FOUNDATION INSTALLATION. JOB SITE SHALL BE LEVEL AND COMPACT WITH 20 FT CLEAR ACCESS AROUND FOUNDATION ON ALL SIDES OF BUILDING. ACCESS FOR TRUCKS AND CRANE SHALL BE AVAILABLE AT TIME OF DELIVERY.
- G.C. SHALL BE RESPONSIBLE FOR INSTALLATION OF WELD PLATES.
- G.C. SHALL PROVIDE INSPECTION CERTIFICATE FOR TESTING OF ALL REDUCED PRESSURE BACKFLOW PREVENTERS PRIOR TO FINAL PLUMBING INSPECTION.
- FMS SHALL BE RESPONSIBLE FOR CEILING TILES AT MODULE LINES.
- FMS SHALL BE RESPONSIBLE FOR FLOOR TILES AT MODULE LINES.
- FMS SHALL BE RESPONSIBLE FOR RE-INSTALLING P-TRAPS BELOW FLOOR. REFER TO DETAIL 8/P1.
- FMS SHALL BE RESPONSIBLE FOR EXTERIOR FINISHES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING A FAULT CURRENT STUDY IF REQUIRED BY LOCAL AUTHORITIES. INTERRUPTING RATINGS OF SERVICE EQUIPMENT IN THIS BUILDING IS 65,000 I.C.S.A. GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY AND DETERMINE AVAILABLE FAULT CURRENT. A REMOTE MAIN SWITCH WITH CURRENT LIMITING FUSES SHALL BE PROVIDED AND INSTALLED IF NECESSARY BY G.C.
- REFRIGERATION CONTRACTOR SHALL CHARGE COOLER SYSTEMS WITH REFRIGERANT TYPE AS SPECIFIED IN CONDENSING UNIT SCHEDULE ON THE M1 SHEET.
- G.C. TO SUPPLY AND INSTALL ACCESSIBILITY SIGNS. REFER TO SHEET A1 AND A2 FOR MORE INFORMATION.
- G.C. TO INSTALL OWNER SUPPLIED PERMIT CASE. REFER TO E SHEETS FOR LOCATION
- G.C. TO SEAL ALL FLOOR OPENINGS AND BLOCKOUTS
- G.C. TO TIE IN STORM DRAIN FROM BUILDING
- ALL BUILDING DRAIN CONNECTIONS TO POINTS INDICATED ARE PVC OR PER LOCAL CODE AND ARE SUPPLIED BY G.C.
- ALL FIELD WORK BY G.C.
- PHOTOCELL TO BE INSTALLED BY FMS AND REINSTALLED IN FIELD BY GC

#### KEYNOTES

NO.	DESCRIPTION
1	G.C. SHALL MAKE CONNECTION TO INCOMING WATER LINE. G.C. SHALL FLUSH THE INCOMING WATER LINE PRIOR TO CONNECTING TO THE BUILDING. REFER TO DETAIL 5/GC1 FOR ADDITIONAL INFORMATION.
2	G.C. SHALL MAKE CONNECTION TO GREASE WASTE. REFER TO DETAIL 2/GC1 OR 3/GC1.
3	G.C. SHALL MAKE CONNECTION TO SANITARY SEWER. REFER TO DETAIL 2/GC1 OR 3/GC1.
4	G.C. SHALL MAKE CONNECTION TO 2" GREASE INTERCEPTOR VENT. REFER TO CIVIL UTILITY DRAWINGS FOR CONTINUATION.
5	G.C. SHALL MAKE CONNECTION TO SANITARY SEWER. REFER TO DETAIL 4/GC1.
6	G.C. SHALL CONNECT CONDENSATE PIPING AT MODULE LINE IN COOLER.
7	G.C. SHALL CONNECT CONDENSATE PIPING AT MODULE LINE ON ROOF. REFER TO SHEET M2.
8	G.C. SHALL PROVIDE A SECOND SET OF FILTERS TO BE INSTALLED PRIOR TO STORE OPENING.
9	G.C. SHALL START-UP AND TEST AND BALANCE THE HVAC UNITS.
10	G.C. SHALL OBTAIN MECHANICAL PERMITS FOR HVAC UNITS AND CONDENSER UNITS.
11	G.C. SHALL BRING POWER FROM ROOF TOP J-BOXES TO DISCONNECTS FOR HVAC UNITS AND CONDENSERS.
12	G.C. SHALL INSTALL DROP-IN SINK PROVIDED BY CABINET SUPPLIER.
13	G.C. SHALL PROVIDE AND INSTALL UNDER-SINK PIPE PROTECTION FOR DRAIN AND HW/CW SUPPLY LINES.
14	G.C. SHALL MOUNT FIRE EXTINGUISHER SUCH THAT THE TOP OF THE HANDLE IS MAX 48" AFF.
15	G.C. SHALL MOUNT FIRE EXTINGUISHER SUCH THAT THE BOTTOM OF THE FIRE EXTINGUISHER IS MAX 27" AFF.
16	G.C. SHALL FURNISH AND INSTALL ELECTRICAL METER. G.C. SHALL INSTALL CT CABINET.
17	G.C. SHALL MAKE RUNS FROM TRANSFORMER TO METER AND CT CABINET.
18	G.C. SHALL PROVIDE AND INSTALL SERVICE GROUNDING.
19	G.C. SHALL MAKE RUN FROM METER TO MAIN PANEL.
20	SERVICE RATED 600A SQUARE D DISCONNECT WITH OVER CURRENT PROTECTION.
21	G.C. SHALL MAKE ALL ELECTRICAL CROSS-OVER CONNECTIONS AT MODULE LINE ABOVE CEILING.
22	G.C. SHALL CONNECT ENTRY CANOPY LIGHT FIXTURES TO JUNCTION BOX. REFER TO EL2 FOR ADDITIONAL INFORMATION.
23	G.C. SHALL INSTALL AND WIRE RECEPTACLE. WHITE QUAD. GENERAL BUILDING POWER. REFER TO EL1 FOR ADDITIONAL INFORMATION.
24	G.C. SHALL INSTALL AND WIRE RECEPTACLE. ORANGE QUAD. UPS POWER. REFER TO EL1 FOR ADDITIONAL INFORMATION.
25	G.C. SHALL INSTALL AND WIRE RECEPTACLE. WHITE DUPLEX. GENERAL BUILDING POWER. REFER TO EL1 FOR ADDITIONAL INFORMATION.
26	G.C. SHALL PROVIDE JUNCTION BOX. FME TO STUB-UP 1/2" CONDUIT WITH CONDUCTORS FOR COUNTER RECEPTACLES. RECEPTACLE TO BE FIELD INSTALLED BY OTHERS. CONDUIT TO RUN IN FLOOR SLAB BY FMS.
27	G.C. SHALL PROVIDE JUNCTION BOX. FME TO STUB-UP 3/4" CONDUIT WITH CONDUCTORS FOR COUNTER RECEPTACLES. RECEPTACLE TO BE FIELD INSTALLED BY OTHERS. CONDUIT TO RUN IN FLOOR SLAB BY FMS.
28	G.C. SHALL PROVIDE INCOMING PHONE LINE.
29	3"ø PVC SLEEVE THRU FLOOR BY FMS. FOR INCOMING WATER LINE.
30	G.C. SHALL MAKE ALL DOMESTIC WATER CROSS-OVER CONNECTIONS AT MODULE LINE ABOVE CEILING.
31	G.C. TO VERIFY HOLE IN WALL IS 8"W X 16"H AND IS NOT HIGHER THAN 32" AFF. IF THIS HOLE IS NOT THE CORRECT SIZE OR HEIGHT, THE GC SHALL MODIFY THE EXISTING OPENING TO THE REQUIRED SIZE AND HEIGHT. THERE IS NO MINIMUM CLEARANCE FROM FLOOR.
32	G.C. SHALL BRING POWER TO ALL EVAPORATORS
33	G.C. SHALL BRING POWER TO ALL CONDENSING UNITS AND RTU UNITS
34	G.C. TO FLUSH LINES AND CONNECT TO FIXTURES





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**QUALITY CONTROL**  
CHRIS CERBO

**PROJECT NAME**

**MIIRPH**

**MURPHY OIL  
FUEL FACILITY  
CANOPY**  
1000 W. 7TH STREET,  
BAY MINETTE  
ALABAMA 36507



**PROJECT NUMBER**  
**20230323.5**

**SHEET TITLE**



**COVER SHEET,  
SHEET INDEX &  
CODE DATA**






**SHEET NUMBER**


# CS1

**PROTO V6.1      03/01/20**




**ROOM NAME**

ROOM NAME → **AREA TAG**  
ROOM NAME  
150 SF → SQUARE FOOTAGE  
Name  
Elevation →  LEVEL HEAD  
 SPOT ELEVATION

 NORTH ARROW  CENTERLINE  
Number →  PARTITION TYPE  
 DOOR NUMBER  
 WINDOW TAG

**DETAIL CALL-OUT**  
 → DETAIL NUMBER  
→ DETAIL NUMBER

**INTERIOR ELEVATIONS**  
DETAIL NUMBER  
SHEET NUMBER

**SECTION HEADS**  
 SIM **BUILDING SECTION**  
DETAIL NUMBER  
SHEET NUMBER  
 SIM **TYPICAL WALL SECTION**  
DETAIL NUMBER  
SHEET NUMBER  
 SIM **DETAIL**  
DETAIL NUMBER  
SHEET NUMBER

**ROOM NAME**  
Ref 1  
SHEET NUMBER

**ROOM NAME**  
Ref 1  
SHEET NUMBER

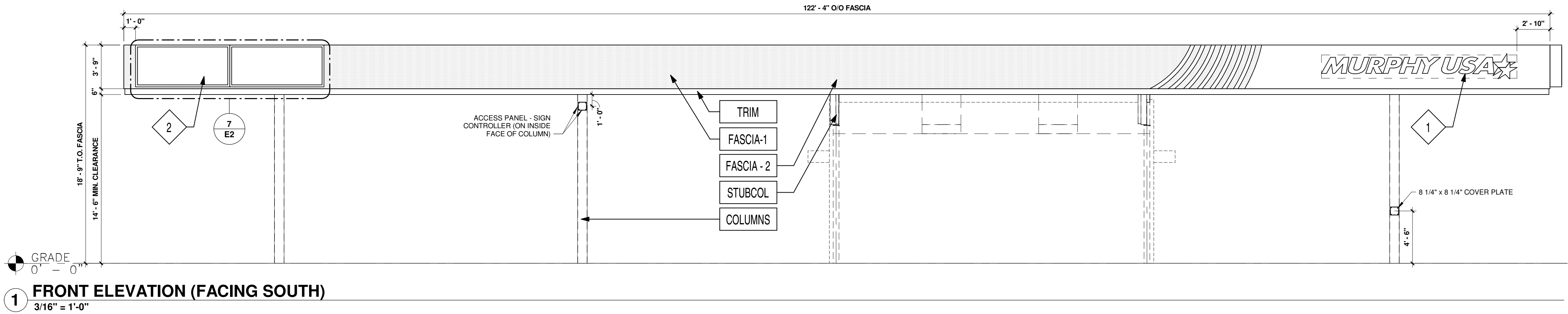
## KEY PLAN

### VICINITY PLAN

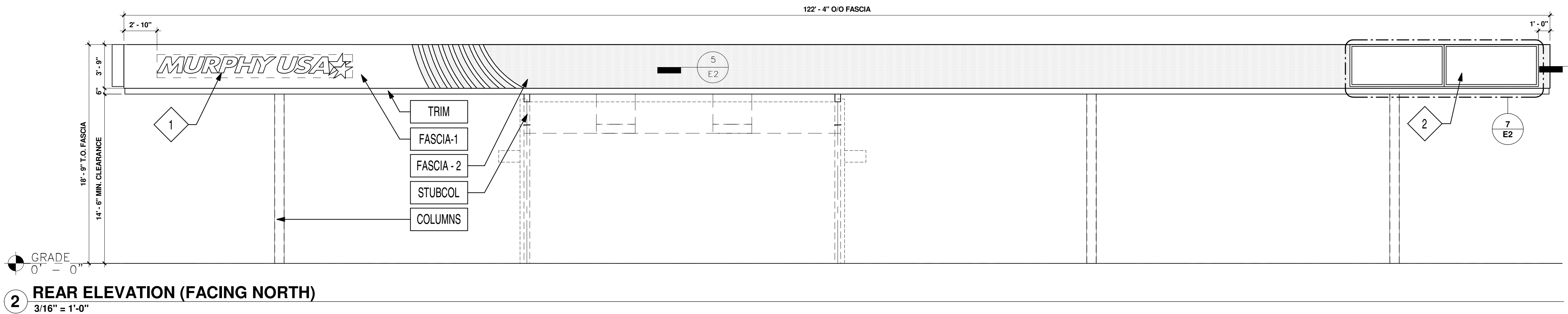
## GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION AND SUBMITTALS TO UTILITY COMPANIES FOR THIS PROJECT.
2. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONNECTIONS, EXISTING PLUMBING TAPS, ELECTRICAL PANEL LOCATIONS, GAS METERS AND MECHANICAL EQUIPMENT AGAINST THE PLANS AND REPORT ANY DISCREPANCIES DURING THE BID PROCESS
3. COORDINATE ALL EQUIPMENT PLACEMENTS, SUPPORTS, AND CONNECTIONS WITH EQUIPMENT SUPPLIERS.
4. COMPLY WITH ALL LOCAL BUILDING CODES, ORDINANCES, AND CONSTRUCTION STANDARDS.
5. ALL PLUMBING AND ELECTRICAL PIPING CONDUIT SHALL BE CONCEALED EXCEPT AS OTHERWISE SPECIFIED.
6. COORDINATION OF PLANS AND SPECIFICATIONS: THE CONTRACTOR SHALL TAKE NO ADVANTAGE OF ANY APPARENT ERROR OR OMISSION. HE SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY SUCH ERROR OR OMISSION. THE ARCHITECT'S CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.
7. ALL REQUIRED CONTROLLED INSPECTIONS SHALL COMPLY WITH THE LOCAL BUILDING CODES. THE SUPERVISOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL BE RESPONSIBLE FOR THE SCHEDULING OF THE WORK.
8. ELECTRICAL SYSTEMS SHALL BE INSTALLED PER APPLICABLE ELECTRICAL CODE AND IN ACCORDANCE WITH ANY APPLICABLE UTILITY COMPANY SPECIFICATIONS AND MUNICIPAL JURISDICTIONAL CODES.

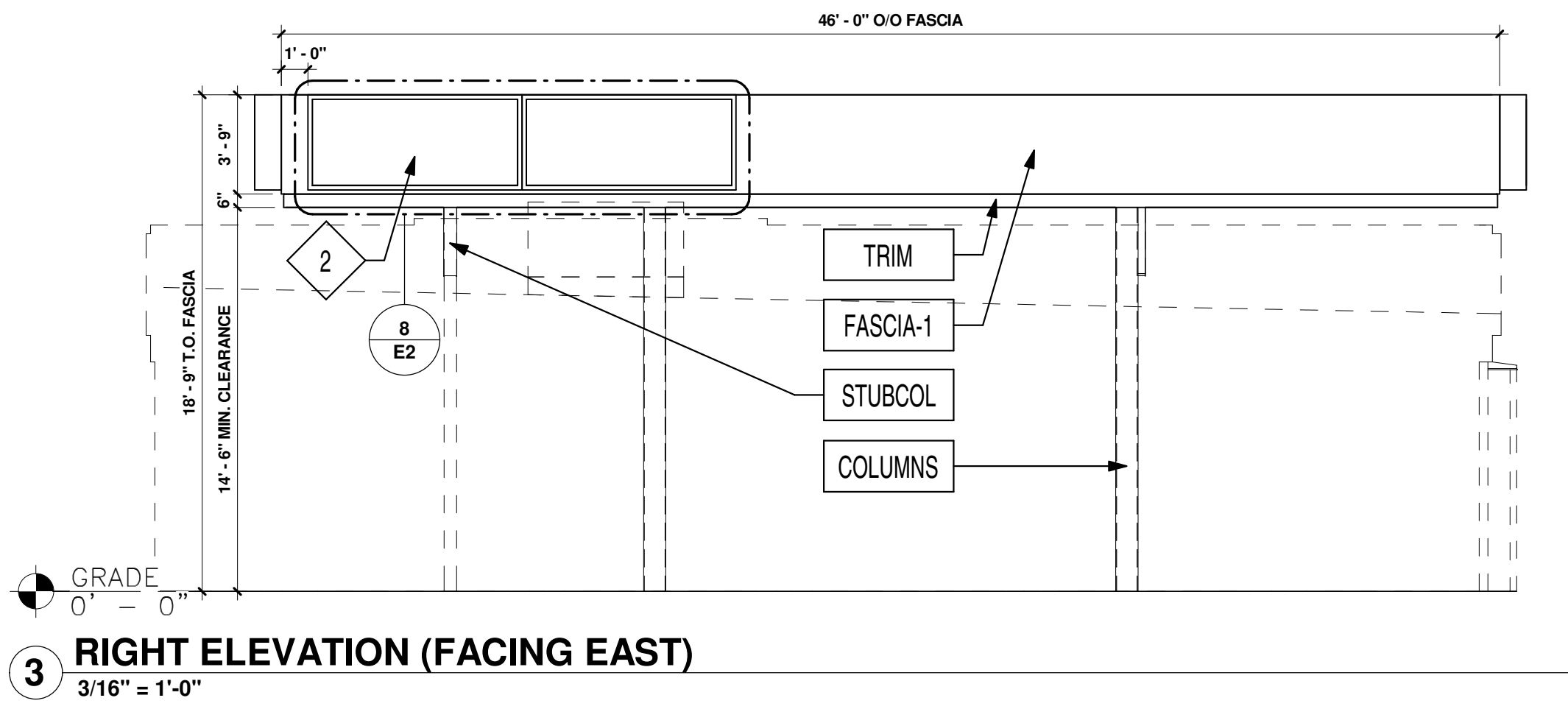




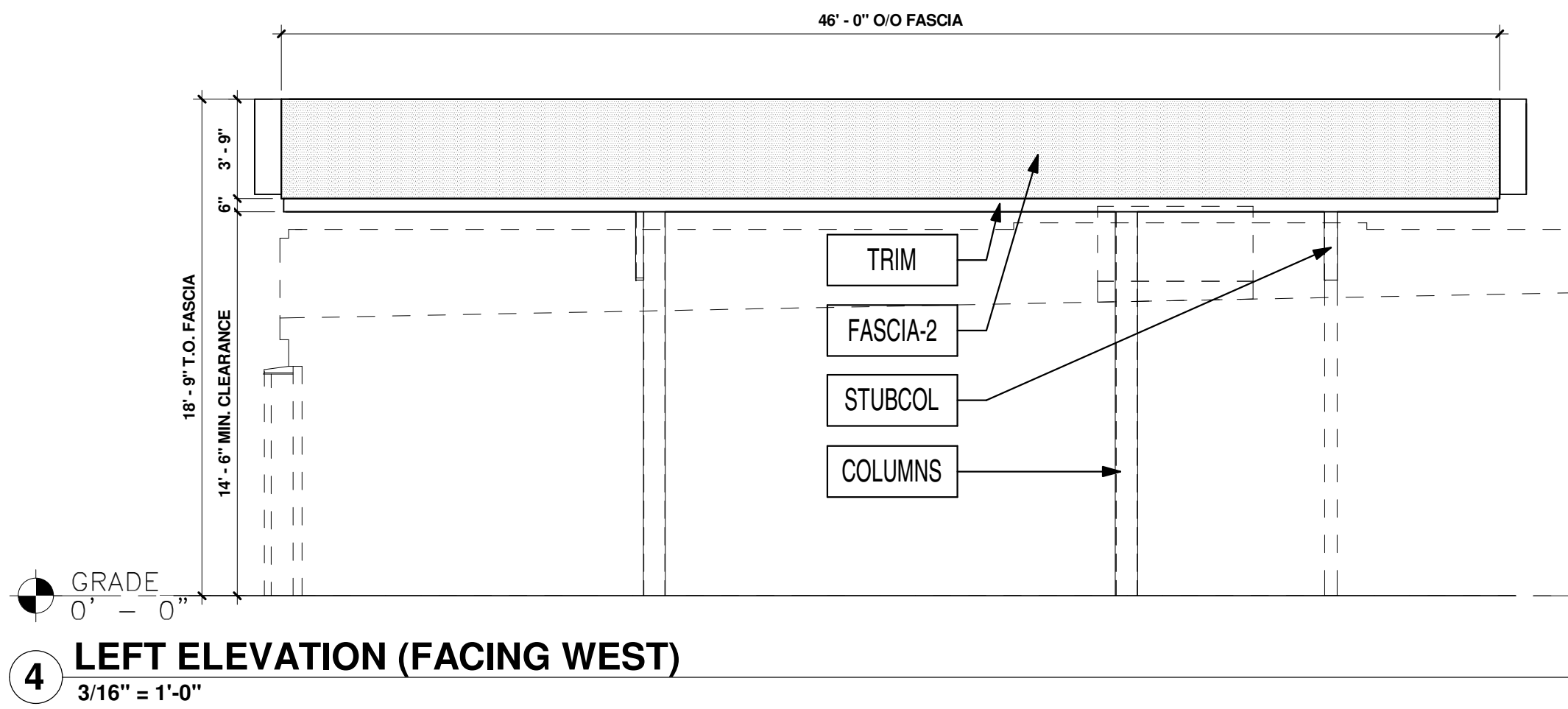
1 FRONT ELEVATION (FACING SOUTH)  
3/16" = 1'-0"



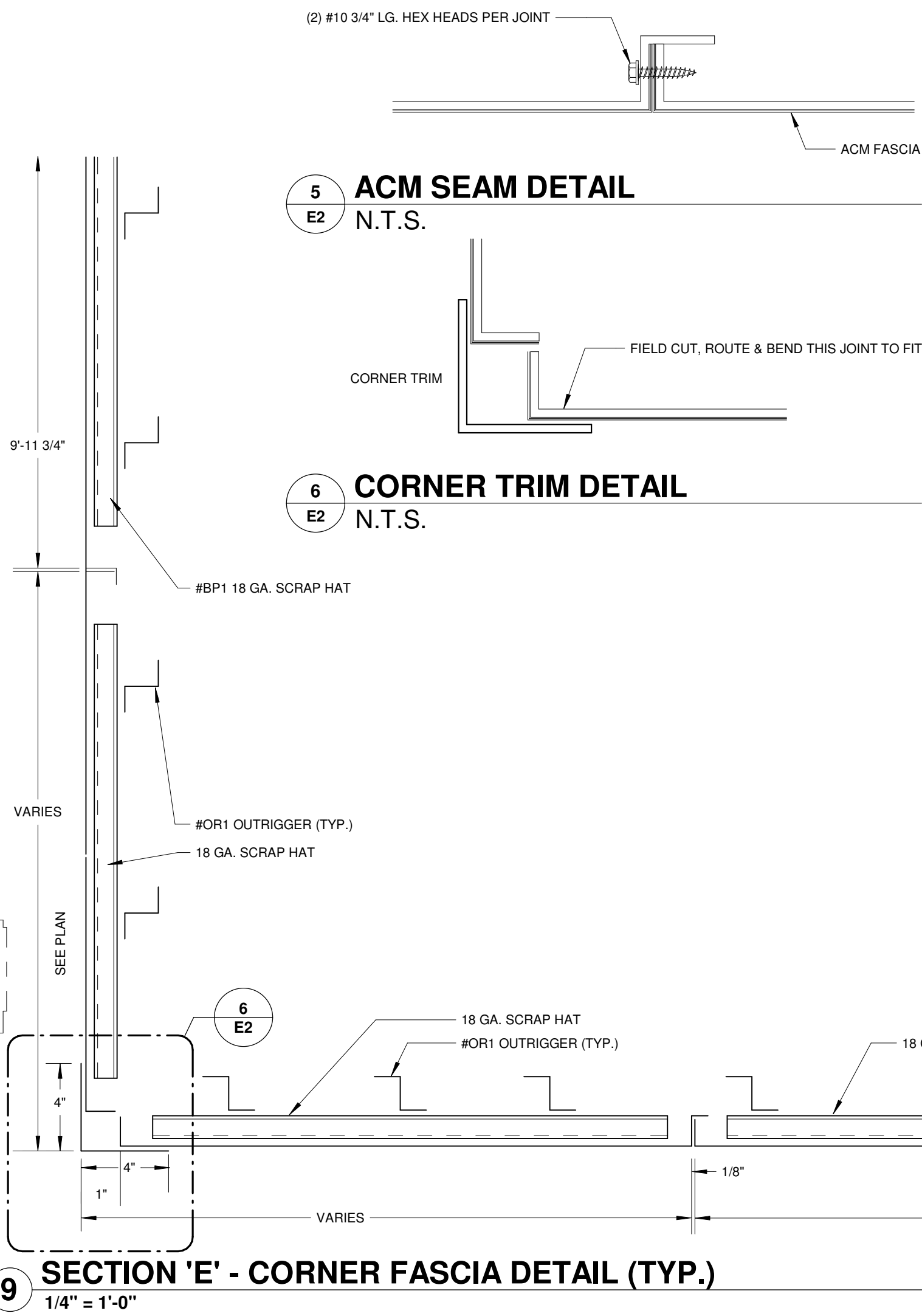
2 REAR ELEVATION (FACING NORTH)  
3/16" = 1'-0"



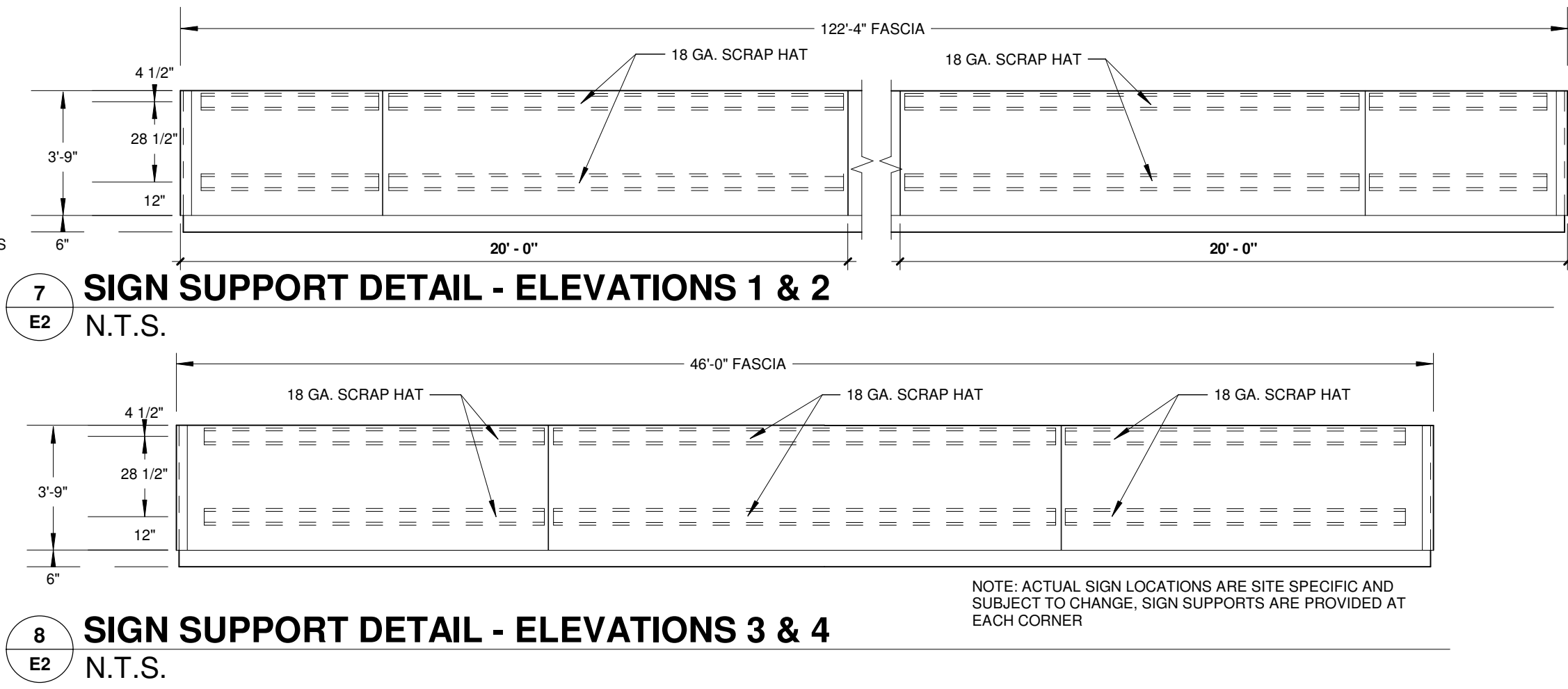
3 RIGHT ELEVATION (FACING EAST)  
3/16" = 1'-0"



4 LEFT ELEVATION (FACING WEST)  
3/16" = 1'-0"



9 SECTION 'E' - CORNER FASCIA DETAIL (TYP.)  
1/4" = 1'-0"



7 SIGN SUPPORT DETAIL - ELEVATIONS 1 & 2  
N.T.S.

8 SIGN SUPPORT DETAIL - ELEVATIONS 3 & 4  
N.T.S.

KEYED NOTES			
1	MURPHY LOGO SIGN FURNISHED BY FMS INSTALLED BY FMS, SIGNAGE = 33.54 X 2 = 67.08 SQ. FT.		
2	CANOPY PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR		
CANOPY - ROUTED SIGNS FURNISHED AND INSTALLED BY FMS		CANOPY - PRICE SIGNS FURNISHED AND INSTALLED BY THE SIGN VENDOR	
MURPHY USA STAR LOGO	BLUE	EASTMAN BLUE, PANTONE 287 BLUE 3M 3630-87 ROYAL BLUE	DIESEL
	RED	PROGRAM RED, PANTONE 485 RED 3M 3630-43 RED	
	WHITE	EASTMAN WHITE	
FINISH SCHEDULE			
FASCIA-1	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "BRUSHED ALUMINUM"	FURNISHED & INSTALLED BY FMS
FASCIA-2	ACM (ALUMINUM COMPOSITE MATERIAL)	ACM FASCIA "PMS 285c"	FURNISHED & INSTALLED BY FMS
TRIM	20 GA. SHEET METAL	6" HT PRE-FINISHED METAL ACCENT BAND "PURE WHITE" SW #7005	FURNISHED & INSTALLED BY FMS
COLUMNS	SEE STRUCTURAL DRAWINGS	PAINTED 'DORMER BROWN' SW #7521	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
		(1) SHOP COAT OF RUST INHIBITIVE PRIMER	(1) SHOP COAT OF RUST INHIBITIVE PRIMER FURNISHED & INSTALLED BY FMS
STUBCOL	SEE STRUCTURAL DRAWINGS	PAINTED 'DORMER BROWN' SW #7521	FURNISHED & INSTALLED BY FMS PAINTED BY SITE CONTRACTOR IN FIELD
		(1) SHOP COAT OF RUST INHIBITIVE PRIMER	(1) SHOP COAT OF RUST INHIBITIVE PRIMER FURNISHED & INSTALLED BY FMS



FUEL DEVELOPMENT PLANS FOR

MURPHY OIL USA, INC.

BAY MINETTE, ALABAMA

1000 W. 7TH STREET

LEGEND:	
	= PART NUMBER; SEE SHEET F-1
	= KEYNOTE; SEE SHEET F-1
	= CONDUIT; SEE SHEET FE-1
	= DETAIL CALLOUT
	= ELEVATION CALLOUT
	= SECTION CALLOUT

NOTE: TABLE FOR MURPHY PROJECT MANAGER REFERENCE ONLY. NOT FOR CONTRACTOR USE. CONTRACTOR TO REFER TO TOP OF TANK SHELL ELEVATION NOTE ON F-5.		
FUEL CONSULTANT VERIFICATION OF ALLOWABLE BURY DEPTH		
800952 AL, Bay Minette		
PRODUCT PIPING CALCULATION		LOWEST ISLAND 5/6
1. Elevation at Top of Island		271.85
2. Piping Elevation Exiting Dispenser Sump = #1 - 2.05		269.80
3. Additional piping burial for 9" piping crossover (if applicable = #crossovers x 0.75')	2	1.5
4. Additional piping burial for 6" piping crossing (4" clearance) (if applicable = #crossings x 0.5')	0	0
5. Pipe Elevation Entering STP Sump (#2-#3-#4)		268.30
6. Preliminary Top of Tank Elevation (#5-1.05')		267.26
7. Highest Tank Mat Elevation Above Tank Rib		271.53
8. Preliminary Tank Burial Depth (#7-#6)		4.27
9. Lowest Tank Mat Elevation Above Turbine Sump		270.52
10. Preliminary Tank Burial Depth (#9-#6)		3.26
11. Preliminary Tank Top Elev. (If Tank < 3.58', Set at Tank Mat Elev. - 3.58')		267.26 266.94
12. Top of Tank Shell Elevation		266.94
13. Burial Depth		4.59
VENT PIPING CALCULATION - TOP OF FOOTING VERIFIED?		ISLAND 11/12 - COLUMN
14. Elevation at Grade - Column		271.40
15. Piping Elevation Exiting Column (See Foundation Detail - typ 1' above TOF, 2' below lowest grade)		269.40
16. L1 (ft) = (Diesel)	76	0.80
17. Piping Elevation Entering STP sump based on 1/8"/foot slope (#15-#16)		268.60
18. Additional vent piping burial for 6" clearance L1 piping crossing	0	0
19. Pipe Elevation Entering Tank Extractor (#17-#18)		268.60
20. Top of Tank Elevation (#19-0.41')		268.19
21. Highest Tank Mat Elevation at Sump		271.53
22. Preliminary Tank Burial Depth (#21-#20)		3.34
23. Tank Top Elevation (If #22 < 3.58', Set tanks at Elevation #21 - 3.58')		267.95
24. Top of Tank Shell Elevation		267.95
25. Burial Depth		3.58
26. LOWEST TOP OF TANK SHELL ELEVATION		266.94
27. XERXES MAXIMUM BURY DEPTH CHECK		4.59 ≤ 7.0'

INDEX OF DRAWINGS	
SHEET #	DESCRIPTION
COVER	COVER SHEET
FS-1	SPECIFICATIONS
FS-2	SPECIFICATIONS
FS-3	UST AND FUELING SYSTEMS INSPECTIONS CHECKLIST
FS-4	UST AND FUELING SYSTEMS INSPECTIONS CHECKLIST
FS-5	FUEL TANK REMOVAL INSPECTIONS CHECKLIST
FS-6	FUELING SYSTEMS INSPECTIONS OVERVIEW
F-1	NOTES AND PARTS LIST
F-2	TANK INSTALLATION AND ANCHORING DETAILS
F-3	TANK SUMP DETAILS
F-4	TANK RISER, OBSERVATION WELL AND VENTING DETAILS
F-5	PRODUCT PIPING PLAN
F-6	DISPENSER ISLAND DETAILS
FD-1	DISPENSER DETAILS
FE-1	CONDUIT PLAN
FE-2	PUMP AND DISPENSER CONTROL WIRING
FE-3	CANOPY WIRING LAYOUT
FE-4	FRANKLIN EVO DETAILS
FE-5	LOW VOLTAGE DISPENSER DISCONNECT WIRING
FE-6	FRANKLIN EVO CONFIGURATIONS (1 OF 3)
FE-7	FRANKLIN EVO CONFIGURATIONS (2 OF 3)
FE-8	FRANKLIN EVO CONFIGURATIONS (3 OF 3)
FL-1	SIGNAGE PLACEMENT DETAILS
FL-2	STANDARD LABELING DETAILS
FL-3	DISPENSER GRAPHICS AND PROGRAMMING

THIS SITE IS DESIGNATED FOR THE STORAGE AND DISPENSING OF E-0, DIESEL AND GASOLINE FUELS.

THIS SITE IS DESIGNATED TO RECEIVE XERXES USA TANKS

COVER

STA#: 7906

MARCH 2023

STANDARDS

COVER SHEET

DATE: JULY, 2023

SCALE:

FILE NAME: 01-Moc800952\_COVER

ReVISION

DATE

1000 W. 7TH STREET

BAY MINETTE

ALABAMA

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MURPHY USA

MURPHY OIL U.S.A. INC.

200 EAST PEACH STREET

EL DORADO, ARKANSAS 71730







