



# City of Bay Minette

## Planning Commission

301 D'Olive Street · Bay Minette, Alabama 36507  
Phone (251) 580-1650 · COBM\_Planning@cityofbayminetteal.gov

### AGENDA

January 12, 2023

Regular Meeting

8:00 a.m.

City Hall Council Chambers  
301 D'Olive Street, Bay Minette

- 1.) Call to Order
- 2.) Invocation and Pledge
- 3.) Announcements/Registration to Address the Commission
- 4.) Approval of Minutes for the December 8, 2022 Regular Meeting
- 5.) Disclosure of Prior Communications and/or Conflicts of Interest
- 6.) Old Business
  - a.) Fee Schedule
  - b.) Southern Visions/Sweet Brew Update
- 7.) New Business
  - a.) SP-23001, Beason Property - The Landing  
*Disclosure of Prior Communications and/or Conflict of Interest*  
*Request:* Site Plan Approval for an Addition and Renovation to The Landing facility  
*Location:* The subject property is located at 2411 S US Hwy 31, approximately 300ft NE of Industrial Blvd.
  - b.) Upcoming Case Briefing
- 8.) Reports & Comments
  - a.) Mayor/Council
  - b.) Attorney
  - c.) Commissioners
  - d.) Planning Staff
  - e.) Citizen Comments
- 9.) Adjournment

**\*\*Next Regular Meeting – February 9, 2023\*\***

**\*\*CAPZO Training – Tentatively Scheduled for March 16-17, 2023\*\***

# Bay Minette Planning Commission Regular Meeting Minutes

Minutes December 8, 2022

Monthly Meeting No. 11

The Bay Minette Planning Commission met in Regular Session on Thursday, December 8, 2022. The meeting was called to order at 8:02 a.m. by Chairman, Todd Stewart, in the Council Chambers located in Bay Minette City Hall, in Bay Minette, Alabama; this being the proper place, date and hour as advertised to hold such meeting.

**IN ATTENDANCE** At 8:02 a.m. the following members were present, and a quorum established:

Todd Stewart, Chairman  
Neal Covington, Vice-Chairman  
Robert A. "Bob" Wills, Mayor  
Rob Madison, Building Official  
William Taylor, City Council/Commission Member  
Scotty Langham, Commission Member  
Earl Emmons, Commission Member

Commission Members absent:

Ray Clark, Commission Member

Commission Members late:

None

Other persons in regular attendance:

Clair Dorough, City Planner  
Jessica Peed, Planning Coordinator  
Tammy Smith, City Administrator  
Scotty Lewis, City Attorney  
Kristina Pittman, Chamber of Commerce

**GUESTS** None

**INVOCATION** Mayor Wills gave the invocation, followed by the pledge.

**ITEM 3.** Announcements/Registration to address the Commission

**ITEM 4.** Approval of the Minutes of the November 10, 2022, Regular meeting. Councilman Taylor made a motion to approve the November minutes as written. The motion was seconded by Mayor Wills and unanimously carried.

**ITEM 5.** Disclosure of Prior Communications and/or Conflicts of Interest

**ITEM 6.** Old Business

Mrs. Dorough updates the Planning Commission on the submitted 7Brew photometrics plan stating that the plans have been reviewed and approved, and the applicant is moving forward with Building Permitting. She also states the previously discussed William's property located at 603 D'Olive St who was requesting an entertainment venue at the barber shop has withdrawn his application with a refund, due to the conversation Staff presented to Mr. Williams regarding the Planning Commission's concerns related to access and parking. Mr. Williams stated he may possibly pursue purchasing the lot next to his, and if so, he would return with newly revised plans designed by a professional and resubmit for Site Plan.

ITEM 7. New Business:

a.) Proposed Fee Schedule

Mrs. Dorough reviews the proposed revised Planning & Zoning Fee Schedule and includes the revisions and clarifications pertaining to Land Uses, accessory structures, renewals, temporary construction field offices, rezoning requests, site plan approval, concurrent Planning Commission use/site plan option, PUD application, Board of Adjustment's slight increase, annexation with various zoning requests, de-annexation, exempt, administrative, major and minor subdivisions, master plan and amendments, pre-application conferences, infrastructure acceptance, plat vacation and amendments, Right-of-Way road names and changes, vacation of public Right-of-Way, and printed copies of the Comprehensive Plan. Mrs. Dorough includes these costs are to defray staffing expenses, to cover the costs of on-call consultants, and will hopefully contribute towards permitting software that is currently being discussed. Mrs. Dorough also includes that many other municipalities have additional costs such as impact fees, which leads the Planning Commission to discuss if there is a current or future need to also establish impact fees. Mrs. Dorough gives examples of the other municipalities throughout the County regarding their established fees, and it is determined the best course of action, currently, is to research and obtain the knowledge needed to potentially, eventually include impact fees within the fee schedule. With no further discussion, Vice-Chairman Covington made a motion to recommend approval to the City Council for the proposed fee schedule as presented. Commission Member Earl Emmons seconded and the motion was unanimously carried.

b.) Upcoming Case Briefing

Mrs. Dorough includes the following for potential upcoming cases:

- Rezoning request from R-2 to B-2 for home to office conversion on S US Hwy 31, which is near the property that recently cleared for site prep work but was issued a stop work order by the Building Official. The applicant stated they were unaware of the approval process required prior to clearing.
- 2-lot Minor Subdivision at the corner of Moran St, Brady Rd, and Clay Street.
- Site plan approval request for "The Landing" which received Board of Adjustment Special Exception approval in January of 2022. Originally, the applicant was planning to construct apartments but at this time are only presenting plans for an addition and remodel of the current facility.
- Meeting scheduled next week to discuss the potential complete raze and rebuild the Murphy Oil gas station to a convenience store, located on the corner lot at the Walmart site.
- Communications between a potential seafood market near Delta Animal Hospital and the High School.

Additional Discussions:

- Earl Emmons inquires on the Church's Chicken building to which Mr. Madison states is it now under new ownership who is cleaning up the property but is unsure what he would like to do with it as of now.
- There is also a discussion on the ownership and history of the Cockrell's building site owned by Claude Johnson.
- The Mayor inquired about the recently cleared lot by the cemetery. Mrs. Dorough stated the applicant received a Stop Work Order and was informed of the regulations, specifically related to temporary storage units. Staff is considering code enforcement action as the owner was explicitly informed that advertisement and temporary storage units were not allowed at this time. Mrs. Pittman, Chamber of Commerce, stated he was recently in their office and stated he was unsure if he wanted to do mini warehouses or a gas station. Mrs. Dorough stated that at this time, no applications have been submitted.
- Chairman Stewart inquires on the most recent discussion for the Sweet Brew building façade, to which Mrs. Dorough, Mr. Madison, and Mrs. Smith all stated the business owners have been told numerous times and are aware that the façade must meet the requirements prior to the final Certificate of Occupancy (C/O) being issued. Mr. Madison stated that as of now, they have received a partial C/O, and spoke with the owners again less than two weeks ago. Mrs. Smith suggested Planning & Development issuing a request for the owners to give an update at the next Planning Commission meeting.

ITEM 8. Reports:

a.) Mayor/Council Report – Mayor asks for Kristina Pittman to share news on the recent Christmas Fest. Mrs. Pittman states the annual event went well, with over 100 vendors in attendance and the Chamber has received a lot of positive feedback on social media. She also stated she learned a lot and will be having a post-meeting next week, along with completing the upcoming year’s calendar of events. Mayor Wills states the Methodist Men sold a lot of BBQ sandwiches at Christmas Fest. Commission Member Emmons stated he is requesting the restroom trailer be moved to a different location next year.

Mrs. Smith states the splash pad is completed at Ulmer Park, and that the Justice Center is moving along, ahead of schedule with the slab pour to begin soon.

b.) Attorney - None

c.) Commissioner – None

d.) Planning Staff – Mrs. Dorrough states Chairman Stewart has agreed to extend his term with the Planning Commission and a new Planning Commission member, Hiram Templeton, will be appointed to fill the expired term of Wynter Crook. She states the University of Alabama (UNA) instructor will not be able to lead a CAPZO training in January but has offered an alternate date in February. She states there will be a full agenda for the January 12, 2023 meeting, so attendance is vital.

ITEM 9. With no further business Chairman Stewart adjourns the meeting at 8:50 am.

DONE THIS THE 8<sup>TH</sup> DAY OF DECEMBER 2022

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Chairman, Todd Stewart

ATTEST:

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Jessica Peed, Planning Coordinator

**Motion Summary:**















- 1.) **Minutes:** Approval of the Minutes of the November 10, 2022, Regular meeting. Councilman Taylor made a motion to approve the November minutes as written. The motion was seconded by Mayor Wills and unanimously carried.
- 2.) **Proposed Planning & Zoning Fee Schedule:** Vice-Chairman Covington made a motion to recommend approval to the City Council for the proposed fee schedule as presented. Commission Member Earl Emmons seconded and the motion was unanimously carried.

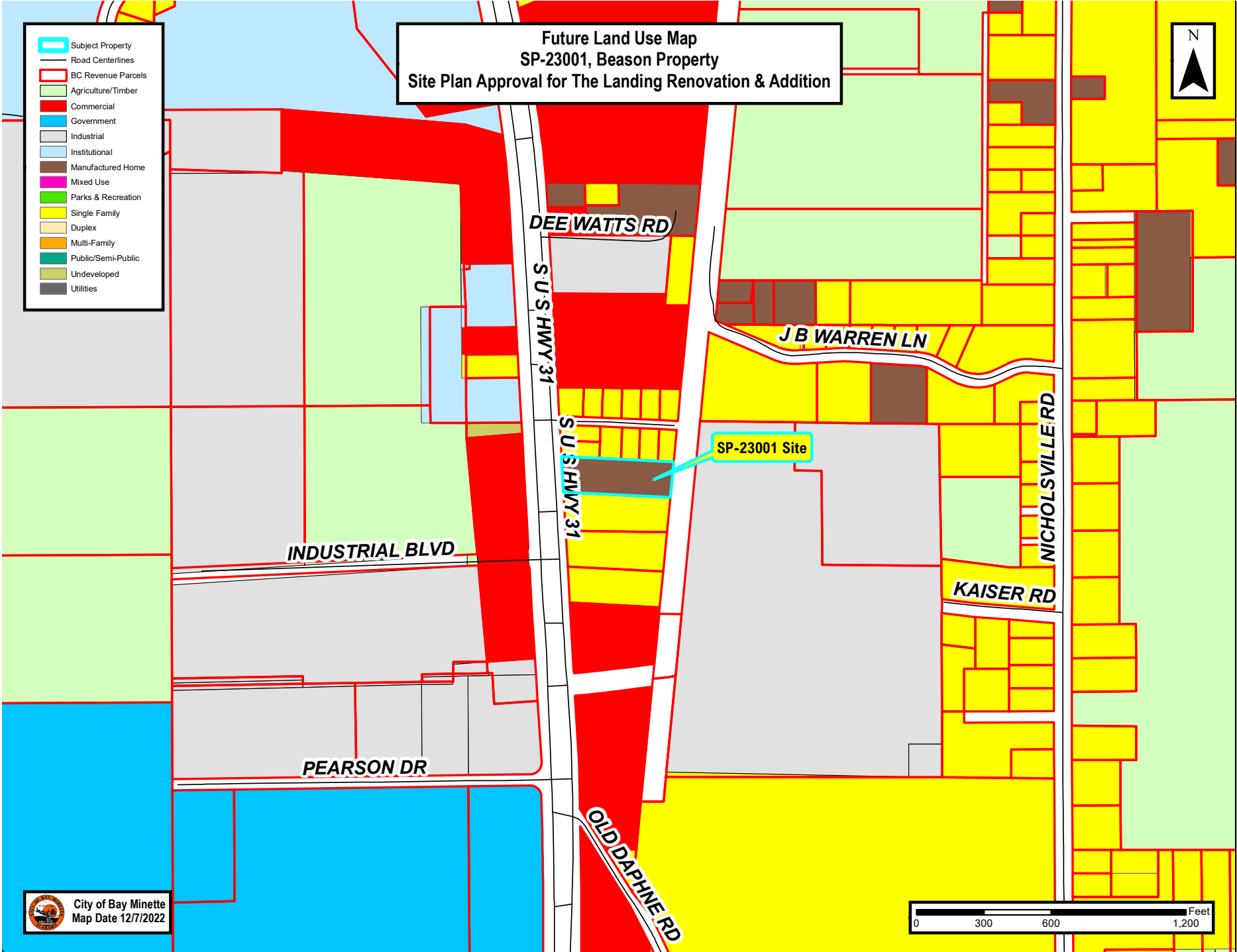



**City of Bay Minette Planning & Zoning Fees**  
**Ordinance 1018 Administrative Fee Schedule, Adopted January 3, 2023**  
 Effective January 12, 2023

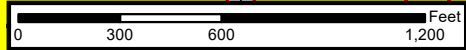
Application Type	Fee
<b>Land Use Certificate - Residential Dwelling</b> New Construction, Additions, Alterations, Repairs or Renovation of Residential Dwellings, including Single-Family and Two-Family (duplex) dwelling units	\$50.00 per structure
<b>Land Use Certificate - Residential Accessory Structure</b> New Construction or Renovation of Accessory Structures, including carports, garages, pools, decks and storage sheds	\$50.00 per structure
<b>Land Use Certificate - Pre-Manufactured Carport</b> For any detached carport manufactured or constructed off-site and delivered for assembly and/or installation	\$75.00 per structure*
<b>Land Use Certificate - Fencing/Screening</b> New Construction, Installation or Renovation of Residential, Commercial or Industrial Fencing or Screening	Residential: \$25.00* Commercial/Industrial: \$50.00 application fee plus \$1.00 per linear foot*
<b>Land Use Certificate - Commercial and Industrial</b> Change of Use/Occupancy, New Construction, Additions, Alterations, Repairs or Renovation of Commercial or Industrial structures	\$50.00 per 1,000 gross sq. foot floor area or fraction thereof with a maximum fee of \$1,000 per structure*
<b>Land Use Certificate - Home Occupation</b>	\$50.00 per occupation*
<b>Land Use Certificate - Signage - Permanent</b> New Construction, Alteration, Re-facing, Repair or Renovation of building signage or	\$50.00 plus \$2.00 per sq. foot of display area, rounded to next whole sq. ft.*
<b>Land Use Certificate - Signage - Commercial Banner/Wind Sign</b>	\$25.00 per banner, 4 maximum banners per year*
<b>Land Use - Temporary Structures</b>	Commercial: \$250.00 per 6 month renewal Temp Construction Field Office: \$50.00
<i>*Land Use Application Fee doubled if Land Use is not obtained prior to commencing work</i>	
Planning Commission	
<b>Rezoning</b>	\$500.00 + \$10.00 per certified letter
<b>Site Plan Approval</b>	\$500.00
<b>Planning Commission Use Approval</b>	\$300.00
<b>Concurrent Planning Commission Use &amp; Site Plan Approval</b>	\$600.00
<b>Planned Unit Development (PUD) Application</b>	\$500.00 + \$10.00 per certified letter
Board of Adjustment	
<b>Variance</b>	\$300.00 + \$10.00 per certified letter
<b>Special Exception</b>	\$300.00 + \$10.00 per certified letter
<b>Administrative Appeal</b>	\$300.00
Annexation	
<b>Annexation - R-1 Zoning</b>	\$250.00 + cost of public notice
<b>Annexation - with Zoning Petition</b>	\$500.00 + cost of public notice
<b>Deannexation</b>	\$250.00 + cost of public notice
Subdivision	
<b>Exempt Subdivision</b>	\$250.00
<b>Pre-Application Conference</b>	No Fee
<b>Sketch Plan</b>	\$100.00
<b>Master Plan for PUD &amp; Phased Development</b>	\$350.00
<b>Master Plan Amendment</b>	\$200.00
<b>Final Plat - Minor Subdivision</b>	\$350.00 + \$20.00 per lot + \$10.00 per certified letter
<b>Preliminary Plat - Major Subdivisions</b>	\$500.00 + \$20.00 per lot + \$10.00 per certified letter
<b>Final Plat - Major Subdivisions</b>	\$250.00 + \$10.00 per certified letter
<b>Request for Infrastructure Acceptance</b>	\$250.00
<b>Request for Subdivision Extensions</b>	\$250.00 per request
<b>Request to Vacate Plat</b>	\$500.00 + \$20.00 per lot + \$10.00 per certified letter
<b>Extensive Plat Amendments</b>	\$350.00 + \$10.00 per certified letter
<b>Subdivision Inspection</b>	\$20.00/lot - Initial Inspection \$10.00/lot - Additional inspection
Roads and Right-of-Way	
<b>Right-Of-Way Permit</b>	No Fee
<b>New Road Name Application Fee</b>	\$250.00 + cost of signage
<b>Road Name Change Application Fee</b>	\$250.00 + cost of public notice and signage
<b>Request to Vacate Public Right-of-Way</b>	\$250.00 + cost of public notice + property value if approved
<b>Request for Traffic Calming Measures</b>	No Fee
Miscellaneous	
<b>Community Banner Application</b>	No Fee
<b>Zoning / Jurisdiction Verification</b>	No Fee
<b>Assessment Letter</b>	\$50.00
<b>Printed Copy of Zoning Ordinance or Subdivision Regulations</b>	\$35.00 per copy
<b>Printed Copy of Comprehensive Plan</b>	\$35.00 per copy
<b>Public Records Request</b>	\$25.00 per hour of research, 1-hour min + cost of copies
<b>Large Format Scanning</b>	\$10.00 per page
<b>Large Format Copy/Printing</b>	\$10.00 per square foot
<b>Custom Map Generation &amp; Printing Fee</b>	\$50.00 per hour, 1-hour minimum + printing costs
<b>8.5"x11" Paper Size</b>	\$7.00
<b>11"x17" Paper Size</b>	\$14.00
<b>18"x24" Paper Size</b>	\$30.00
<b>24"x36" Paper Size</b>	\$60.00
<b>36"x48" Paper Size</b>	\$120.00
<b>36"x60" Paper Size</b>	\$150.00

**Future Land Use Map  
 SP-23001, Beason Property  
 Site Plan Approval for The Landing Renovation & Addition**










-  Subject Property
-  Road Centerlines
-  BC Revenue Parcels
-  Agriculture/Timber
-  Commercial
-  Government
-  Industrial
-  Institutional
-  Manufactured Home
-  Mixed Use
-  Parks & Recreation
-  Single Family
-  Duplex
-  Multi-Family
-  Public/Semi-Public
-  Undeveloped
-  Utilities

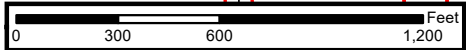
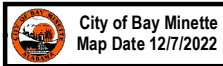
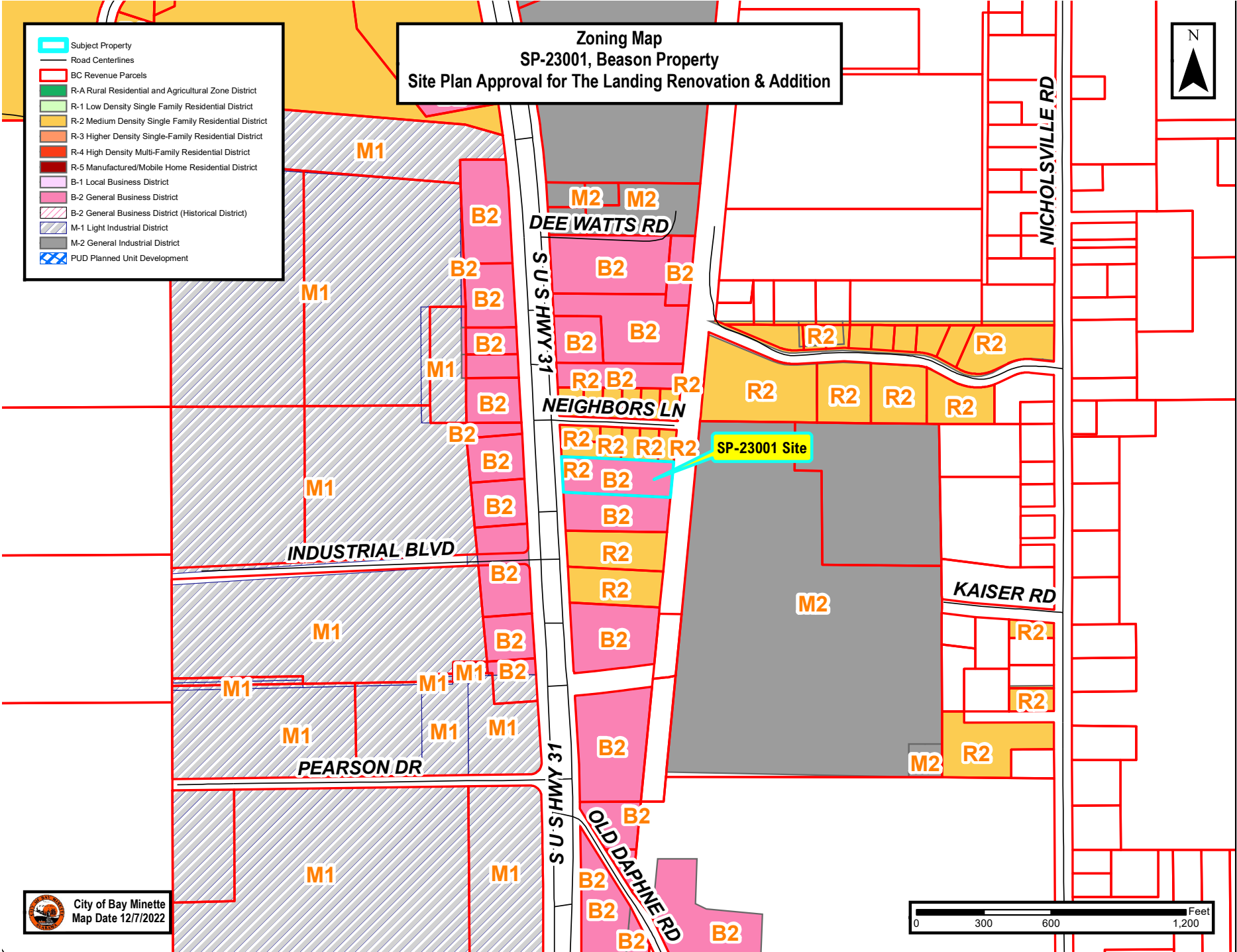


 City of Bay Minette  
 Map Date 12/7/2022

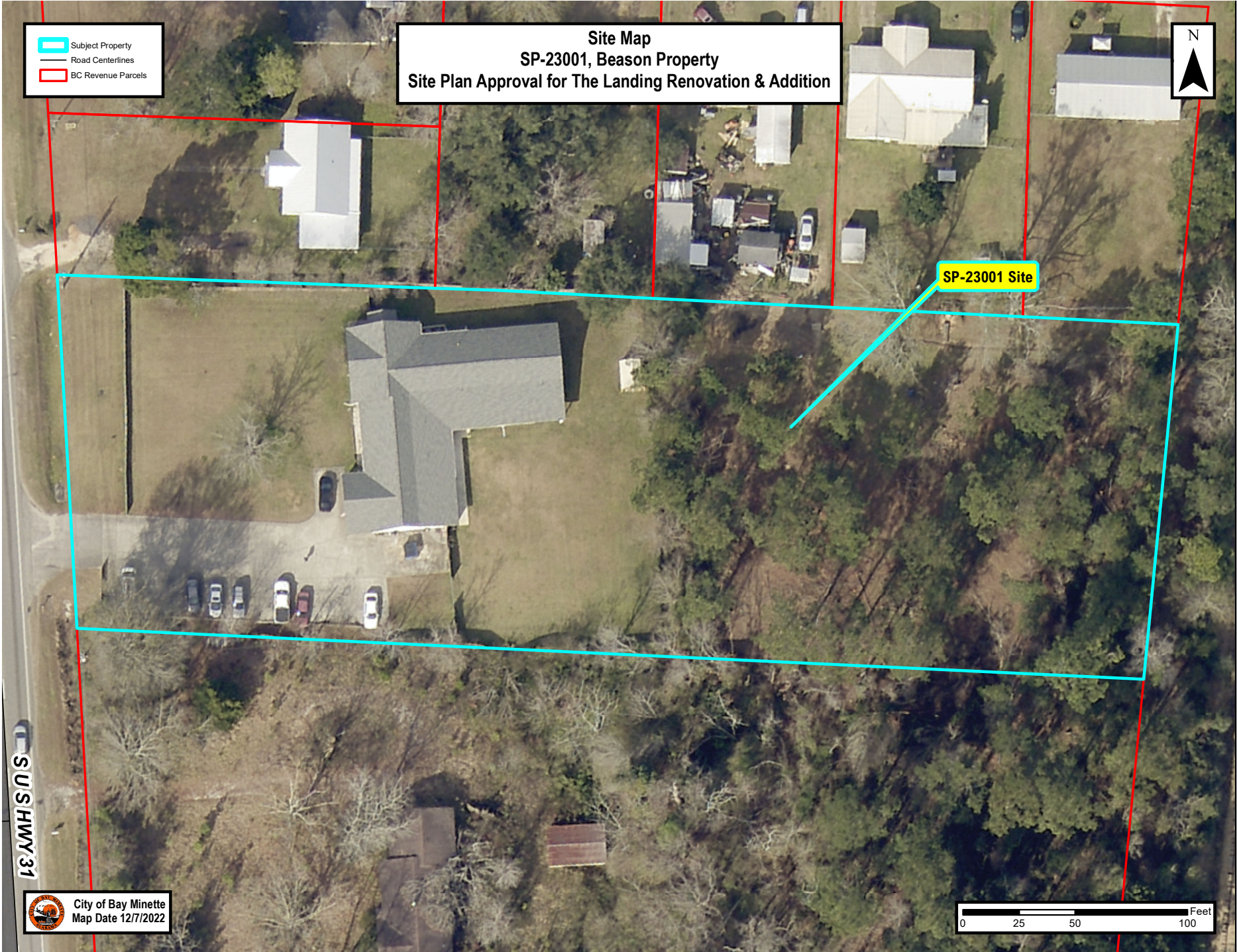


**Zoning Map**  
**SP-23001, Beason Property**  
**Site Plan Approval for The Landing Renovation & Addition**

-  Subject Property
-  Road Centerlines
-  BC Revenue Parcels
-  R-A Rural Residential and Agricultural Zone District
-  R-1 Low Density Single Family Residential District
-  R-2 Medium Density Single Family Residential District
-  R-3 Higher Density Single-Family Residential District
-  R-4 High Density Multi-Family Residential District
-  R-5 Manufactured/Mobile Home Residential District
-  B-1 Local Business District
-  B-2 General Business District
-  B-2 General Business District (Historical District)
-  M-1 Light Industrial District
-  M-2 General Industrial District
-  PUD Planned Unit Development







Subject Property  
Road Centerlines  
BC Revenue Parcels

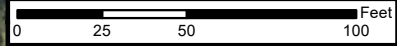
**Site Map**  
**SP-23001, Beason Property**  
**Site Plan Approval for The Landing Renovation & Addition**



SP-23001 Site

SUSHWY 31

 City of Bay Minette  
Map Date 12/7/2022







# City of Bay Minette

## Site Plan Review Application

301 D'Olive Street · Bay Minette, Alabama 36507

Phone (251) 580-1650 · COBM\_Planning@ci.bay-minette.al.us

Office Use Only	
Case No.:	<u>SP-23001</u>
Fee:	\$300.00
Paid:	<input type="checkbox"/> Cash <input type="checkbox"/> Check
	<input checked="" type="checkbox"/> Credit Card

Are you the property owner?  Yes  No

(If you are not the property owner, you must submit an Agent Authorization Form signed by the property owner)

Applicant Name: Reason Recovery LLC The Landing Date: 11-16-22

Mailing Address: 2411 S US Hwy 31

City: Bay Minette State: AL Zip Code: 36507

Phone Number: 251 228 0061 Email: thelanding4women

@gmail.com

### Site Information

Property Address: 2411 S US Hwy 31 Bay Minette AL

or Property Location: 36507

\*Parcel No.: 28-08-28-4-000-012 \*PPIN No.: 040862  
\*Parcel or PPIN information must be completed .000

Request: \_\_\_\_\_

Addition & Remodel of current facility.

I, the undersigned, do hereby request the City of Bay Minette Planning Commission to grant a Site Plan Review for the location to determine if it meets the regulations of the **Zoning Ordinance** for the reason(s) stated above.

[Signature] Signature of Applicant (Owner of Property of Authorized Agent) 11-16-22 Date

### Submittal Requirements

- Application
- Fee paid in full
- Agent Authorization Form (if applicant is not the owner)
- Complete Legal Description of Property
- Plot Plan or Survey – indicating any existing structures, proposed structures, and setbacks from property lines
- Submittal Requirements listed in 8.9 Site Plan, as applicable



# City of Bay Minette

## Planning & Development Services

### PLANNING COMMISSION STAFF ANALYSIS

Meeting: January 12, 2023

Case Number: SP-23001

### SUMMARY INFORMATION

Project Name: Beason Property // The Landing  
 Property Location: 2411 S US Hwy 31  
 Property PID/PPIN: 05-23-08-28-4-000-012.000 // 40862  
 Current Property Size: 1.76± acres

Requested Action: Addition to and Renovation of Existing Facility  
 Applicant: Haley Beason  
 Property Owner: Haley & Harold Beason

Subject Property	Zoning	Existing Land Use
SP-23001	B-2	The Landing, Sober Living Facility for women
Adjacent Property	Zoning	Existing Land Use
North	R-2	Single Family Residential
South	B-2	Single Family Residential - vacant
East	M-2	Railroad, Mobile Lumber Millwork Plant
West	B-2	Various Commercial: Salon; Pest Control, Contractor and Financial Offices

### SITE AND REQUEST SYNOPSIS

The subject property, which consists of approximately 1.76± total acres is zoned B-2, General Business District. The site is located on the east side of US Hwy 31 at 2411 S US Hwy 31, approximately 300 feet NE of Industrial Boulevard. The applicant is requesting Planning Commission Site Plan approval for an addition to and renovation of the existing facility, known as “The Landing”, a sober living facility for women. The existing structure is 6,339ft<sup>2</sup> under roof and contains 13 bedrooms, with office, laundry, kitchen, dining and meeting space; plus a covered porch and patio. The new wing will add approximately 1,200ft<sup>2</sup> of meeting space and five (5) bedrooms with a total of 17 beds (1 manager & 4 shared bedrooms). In anticipation of this proposed redevelopment, the subject property was rezoned in December of 2021 from R-2, Medium Density Single Family Residential zoning designation to B-2, General Business District (Z-2101, Ordinance 999). The applicants then received approval of their Special Exception request for a Lodging/Boarding/Rooming House by the Board of Adjustment in January 2022 (SE-2105).

### ZONING DISTRICT AND TABLE OF PERMITTED USES

6.3.2 B-2, General Business District. This district is intended to provide opportunity for activities causing noise and heavy traffic, not considered compatible in the more restrictive business district. These uses also serve a regional as well as a local market and require location in proximity to major transportation routes. Recreational vehicle parks, very light production and processing activities are included.

Table of Permitted Uses and Conditions	R-A	R-1	R-2	R-3	R-4	R-5	B-1	B-2	M-1	M-2
Lodging, boarding or rooming houses							S	S		

## DEPARTMENT AND AGENCY COMMENTS

North Baldwin Utilities – No comments received.

Bay Minette Public Works – No comments received.

Bay Minette Police Department - No comments received.

Bay Minette Fire Department – Submitted the following comments:

*Regarding this project a fire hydrant will be required within 100 feet of the FDC.*

*As a note to the applicant: If future development is proposed behind this facility apparatus access road will be difficult to achieve if not impossible between the south side of the building and the property line.*

Baldwin County E-911 – No comments received.

Tensaw Engineering, Benjamin White, P.E. – *City Consultant as Civil Engineer* - No comments received.

Neel-Schaffer, Shane Bergin, PE, PTOE, PTP, RSP1 – *City Consultant as Transportation Engineer* - No comments received.

2.) Other matters which may be appropriate in relation to *Section 8.9 Site Plan*

- a) *The density or intensity of land use to be allocated to all parts of the site together with tabulations by acreage and percentages thereof itemized by use and density.*

Subject Property Site Totals	76,826± ft <sup>2</sup>	1.76± acres	
Site Use/Type	±Square Footage	% Lot Coverage	Note
Existing Building	6,339±ft <sup>2</sup>	8.25%	Existing Facility
Proposed Addition	4,342±ft <sup>2</sup>	5.65%	New Wing and Covered Porch
Proposed Future Pavilion	1,200±ft <sup>2</sup>	1.56%	30'x40'
<b>Total Building Coverage</b>	<b>11,881±ft<sup>2</sup></b>	<b>15.46%</b>	
Existing Impervious Surface	6,850±ft <sup>2</sup>	8.92%	Driveway and Parking Areas
Additional Impervious Surface	6,140±ft <sup>2</sup>	7.99%	New Parking Area
<b>Total Impervious Surface</b>	<b>24,870±ft<sup>2</sup></b>	<b>32.37%</b>	
Landscaped Area	0±ft <sup>2</sup>	0%	No landscape plan provided
Open Space/Natural Areas	51,796±ft <sup>2</sup>	67.42%	Grassed and natural open space
<b>Total Landscaped/Open Space</b>	<b>51,796±ft<sup>2</sup></b>	<b>67.42%</b>	

The above calculations are estimations made by staff using the applicant’s submitted information and are not exact calculations provided by a licensed professional. Drainage/Stormwater information was not submitted, but the development is required to comply with the Zoning Ordinance regulation below:

*8.3.4 Noise, air pollutants including dust emissions, and surface runoff shall not exceed background levels by more than 10%.*

*7.13 Surface Drainage Owners, particularly developers of larger paved areas such as those in connection with apartment complexes, shopping centers, etc., shall be responsible for increased runoff resulting from these developments which cause flood damage to neighboring property. The Building Official shall, in consultation with a certified Engineer, determine that reasonable provisions for properly handling surface drainage have been made in the applicant's design and report these findings for the Planning Commission's consideration in acting on building applications. If such reasonable provisions are not made in the applicant's design, the Planning Commission shall make such remedies as may be available to the applicant as a condition of the building permit issuance.*

*9.2.8 Drainage. Off-street parking facilities shall be drained to prevent damage to abutting property and streets and to prevent pollutants from draining onto the adjacent lots. Landscaped areas and perimeter areas shall be so*

*graded as to receive a reasonable portion of the rainfall from the surrounding pavement. Protective curbing around landscaped areas will leave openings for the flow of water onto unpaved areas.*

**12.1 Erosion and Sediment Control:** *Persons engaged in land-disturbing activities shall take all reasonable measures to protect all public and private property, including roadways, from damage by such activities. In addition, owners shall comply with all applicable laws, rules and regulations, including federal and state regulations regarding the discharge of storm water. For all projects required by the Alabama Department of Environmental Management ("ADEM") to obtain a national pollutant discharge elimination system ("NPDES") permit, a copy of said permit shall be provided to the City Planner and Building Official prior to the land disturbance activities. For projects requiring a NPDES permit, owners shall prepare a Construction Best Management Practices Plan ("CBMPP") in accordance with ADEM requirements. It shall be the responsibility of the owner to design, install and maintain an ADEM approved CBNPP. Where required by ADEM, owners shall provide the City Planner and Building Official with a copy of its CBMPP prior to land disturbance activities.*

**b) *The location, size and character of any common open space, commonly owned facilities and form of organization which will own and maintain any common open space and such facilities.***

Not applicable to this development.

**c) *The use and maximum height, bulk and location of all buildings and other structures to be located on the site.***

The proposed site plan shows a building footprint of 31'x148'4" with a covered porch area of 24'6"x10' for a total of approximately 4,342ft<sup>2</sup>. for the new wing. The existing structure is approximately 6,339ft<sup>2</sup> under roof and contains 13 bedrooms; office, laundry, kitchen, dining and meeting space; plus a covered porch and patio. The majority of renovations proposed for this structure primarily affect interior finishes, HVAC work, window replacement or infill - all outside the scope of the Planning Commission's review. The construction of the new wing, parking area and future pavilion are items within the Commission's review authority as the development increases and/or alters the footprint, lot coverage, intensity and structure locations.

The new wing will add approximately 4,047ft<sup>2</sup> of conditioned space and 295ft<sup>2</sup> of unconditioned area with the covered deck. It contains approximately 1,200ft<sup>2</sup> of meeting space, a laundry area and five bedrooms. The new wing has a total occupancy of 17 - one Manager's room & four shared-occupancy bedrooms each containing four beds, two closets and one bathroom. The new wing will bring the facility's total occupancy to 30 residents and staff.

Submitted elevations show the addition's finishes will match the existing structure. The new roof will match the type, color and slope of the existing roof with an approximate height of 16 feet. Space has also been dedicated for a 30'x40' pavilion in the rear yard on the NE side of the property for future development. Apartments were previously noted for future development, but no additional structures are proposed at this time. The Fire Inspector did note that if additional development is proposed in the future to the rear of the facility, a fire apparatus access road will be difficult, if not impossible to achieve between the south side of the new wing and the property line. This does not affect the current application and the applicant is aware of and understands the potential barrier to the future development of apartments.

The B-2 district requires a 30' front setback on arterial/collectors and the new wing will be approximately 120' from the front property line. The southeast corner of the front of the new wing appears to be located approximately 24 feet from the southern property line and the southwest corner in the rear is approximately 40 feet from the southern property line. The B-2 district does not have a required rear or side yard setback except it will be five feet if abutting an alley (not applicable in this case), and when abutting a residential district, it shall be not less than 20 feet (applicable only to the northern property line). As shown on the submitted survey, the existing structure is less than 18 feet from the northern property line and the adjacent residential district, but is considered to be a legal nonconformity. The proposed pavilion would be a new structure and would be required to meet the minimum setbacks along the northern property line at the time of construction.



d) *The substance of covenants, grants of easements or other restrictions which will be imposed upon the use of the land, buildings and structures, including proposed easements or grants for public utilities or other purposes.*

N/A

e) *The provisions for disposition of open space, including tree protection, landscaping provisions and buffering requirements.*

**Landscape Provisions // Off-Street Parking:** The design and appearance of parking areas are intended to be compatible with the character of the community, and as this development requires the construction of off-street parking areas accommodating six (6) or more parking spaces, the parking areas will require additional landscaping to meet the following regulations:

- 10.10.1 Landscaped areas and perimeter areas shall be so graded as to receive a reasonable portion of the rainfall from the surrounding placement. Protective curbing around landscaped areas will leave openings for the flow of water onto unpaved areas.*
- 10.10.2 At least ten (10) percent of the total interior area intended for off-street parking shall be suitably landscaped.*
- 10.10.3 A maximum of twelve (12) parking spaces in a row will be permitted without a landscaped island.*
- 10.10.4 Interior portions of the parking area shall be broken by provision of landscaped islands. Such landscaped area shall include the placement of shade or flowering trees at intervals of twelve (12) parking spaces; such trees shall be at least three and one half (3 ½) inches or greater in caliper and twelve (12) feet in height in planting.*
- 10.10.5 Each separate landscaped area must be a minimum of ninety (90) square feet if it is to be counted toward the minimum landscaped area requirements.*
- 10.10.6 Landscaped area shall be protected from vehicular encroachment by the use of curbing or wheel stops.*
- 10.10.7 The owner, tenant and/or agent, if any, shall be jointly and severally responsible for watering and maintaining all landscaping in a healthy, neat and orderly condition, replacing it when necessary, and keeping it free of refuse and debris.*
- 10.10.8 A minimum of five (5) feet side and rear landscaping may be required in the landscape plan depending on the topography and arrangement of parking facilities. If required, such areas shall be planted with a combination of trees, shrubs and grass or other ground cover adequate to break the expanse of contiguous parking areas and to present an attractive appearance as determined by the City Planner. Adjacent property owners may jointly agree on the establishment of a common landscaped area between their properties that meets such agreement and the planting and maintenance of the common area shall be binding upon both parties and their successors in interest, heirs, and their assigns.*
  - 10.10.8.1 Innovative landscape designs using "natural cluster of trees" rather than the required one (1) tree for every twelve (12) parking spaces may be approved by the Planning Commission if it is compatible with the character of the community and shown not to be a safety hazard.*

**Buffering:** The property is zoned B-2, Commercial with R-2, Residential zoning to the North, which, per Section 8.3.2, will require a 10-foot buffer zone along the abutting lot line. The property has an existing wooden fence that appears to meet the minimum requirements below:

- 8.3.2.1 Wall or Fence. If a wall or fence is provided as a protection buffer, it shall be six (6) feet high and of a construction and a design approved by the Planning Commission. Said wall or fence shall be maintained in good repair by the owners of the property.*

**Open Space & Landscape Provisions // General:** For this property, approximately 11,523ft<sup>2</sup>//.26+ acres, will be required to be landscaped or remain open space. A landscape plan was not submitted, but based on the submitted plans and GIS information, the percentage of open grassed and natural area is estimated at approximately 67.42%. That amount will change slightly based on required landscaping of off-street parking areas and Greenbelt Zone. The balance of the site will remain as natural green space, easily exceeding the 15% requirement.

**Tree Protection:** A tree survey was not submitted; however, there does not appear to be a significant quantity or quality of trees to be affected by the proposed development. This property is located within the Greenbelt Zone and would be required to meet those standards:

**10.6.4 Greenbelt Zone.** *All developments along or abutting the right-of-ways of U.S. Highway 31 South, U.S. Highway 31 North, State Highway 59, State Highway 287, McMeans Avenue, D'Olive Street and North Hand Avenue shall maintain a minimum of ten (10) feet of the required thirty (30) foot setback as a landscaped greenbelt along the entire front width of the property except where curb cuts provided ingress and egress. If any of the thirty (30) foot front setback is used for parking, said greenbelt shall be in addition to the landscape requirements for parking areas described in Section 9.2 of this Ordinance. Said greenbelt shall be planted with trees, shrubs, and grass or other ground cover so that an attractive appearance is presented as detailed in the developer's required landscape plan. The trees shall be shade of flowering trees and shall be at least three and one half (3 ½) inches or greater in caliper and twelve (12) feet in height at planting. There shall be a minimum of one (1) tree planted for every twenty-five (25) feet or fraction thereof of lot frontage, fifty (50) percent of which shall be shade trees having a maximum crown of seventy (70) feet.*

**f) *In the case of plans which call for development over a period of years, a schedule showing the proposed times within which applications for building permits are intended to be filed.***

N/A

**g) *Where required by the Alabama Department of Transportation ("ALDOT"), the Building Official shall be proved proof that the applicant has submitted a driveway permit application to ALDOT. In the event that any type of traffic study is required by the ALDOT, copies thereof shall be provided to the Building Official.***

The applicant submitted correspondence from ALDOT's Area Permit Manager Michael Smith, P.E., stating that:

*"ALDOT will not require any access improvements for this site at this time based on the attached plans. Any expansion beyond what is shown in the attached plans will require the access to be brought into compliance with current ALDOT standards."*

**h) *Front and side architectural elevations.***

Submitted plans note that the new wing will be constructed to match the existing structure's construction and lap siding. As the pavilion is proposed for future development, elevations were not submitted at this time.

**i) *The location and size of all signs to be located on the site. In the event that a sign is pre-existing and fails to conform to the requirements as set forth in this ordinance, site plan approval will be granted only under the condition that all signs will comply with the regulations as set forth in the sign ordinance.***

Signage will require a Sign Permit prior to construction/installation.

**j) *Landscape plans.***

See Item (e) above.

**k) *Any additional data, plans or specifications which the applicant or the City believes is pertinent and which will assist in clarifying the application including, but not limited to plans for screening, lighting and space, surface drainage, erosion and sediment control, water and sewer connections, landscaping, and signs.***

As noted by the Fire Inspector, this project will require a hydrant with 100 ft of the FDC. If the infrastructure is not existing, the applicant will be responsible for the cost of installation.

The facility has private garbage service, and the current dumpster is located at the front of the building on the south side. The new location is proposed within the parking area along the south lot line.

**Off-Street Parking:** Plans show a total of 20 10'x20' parking spaces in the front. Boarding and rooming houses require one space for each guest bedroom. There are 13 existing bedrooms, and the new wing will accommodate 5 additional bedrooms for a total of 18 required spaces.

The access widths are noted on the plan at the minimum required width of 24-feet for two-way access driveways within parking areas.

## STAFF RECOMMENDATION

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Based on the information submitted by the applicant, City Staff and Consultant input and the analysis above, staff recommends that the Planning Commission Site Plan Application be

**Approved with the following conditions:**

- 1.) The applicant submit a landscaping plan satisfying the provisions for the disposition of open space, including tree protection, Greenbelt Zone standards, off-street parking landscaping provisions, and buffering requirements prior to the issuance of a building permit.
- 2.) Prior to the issuance of a Building Permit for the construction of the proposed pavilion, the applicant shall submit a Land Use Application and Site Plan for review of setback and other minimum requirements.

## PLANNING COMMISSION ACTION

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For Site Plan Approval, the Planning Commission makes the final decision and has the option to:

- Approve the Site Plan
- Approve the Site Plan with conditions, stating the conditions required
- Deny the Site Plan, with stated factors for the denial
- Table Request, due to lack of information

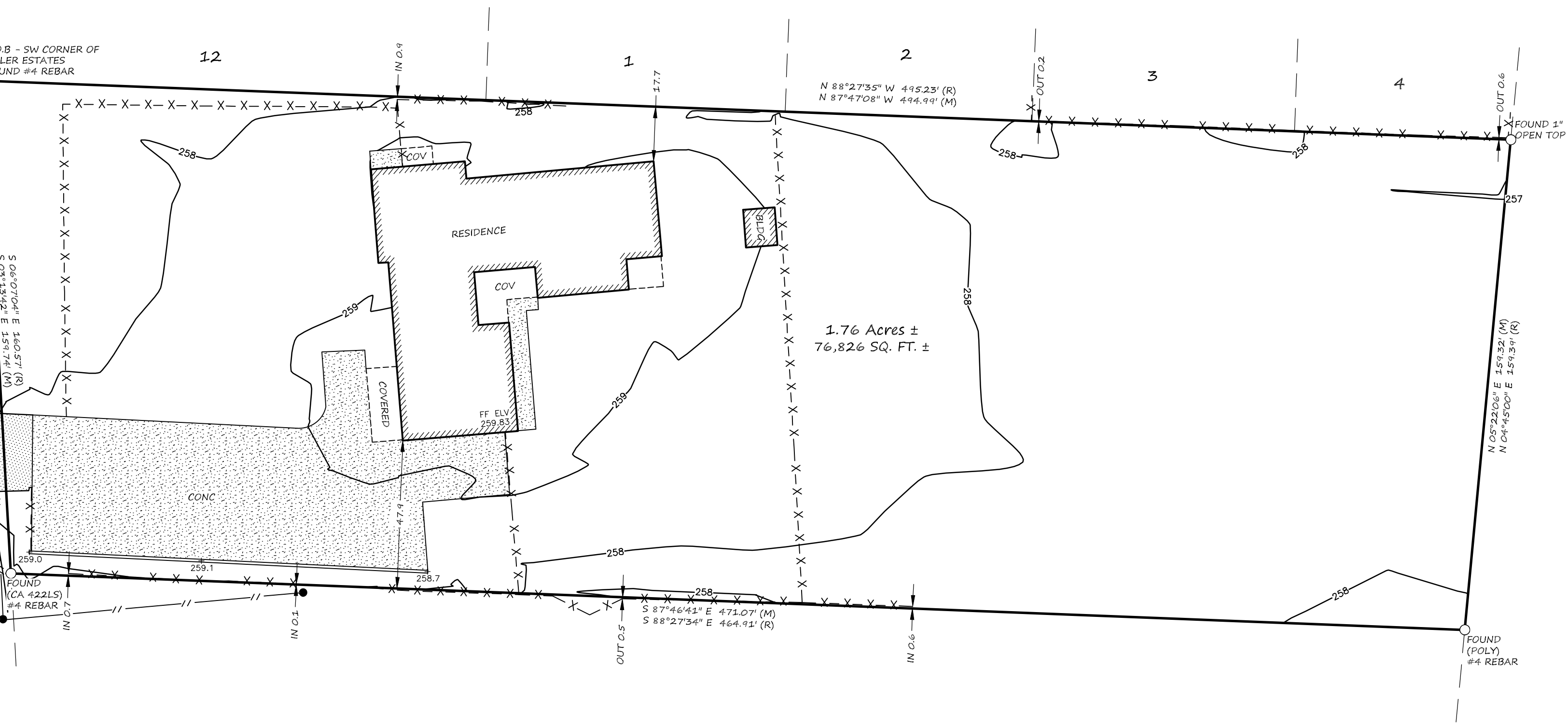
**Legal Description as provided by client - Instrument 1758823:**

Beginning at a point on the East right-of-way line of U.S. Highway 31, 383.0 feet East and 244 feet South of the Southeast corner of the Northwest Quarter of Section 28, Township 2 South, Range 3 East, Baldwin County, Alabama, said point also being the Southwest corner of Boler Estates as recorded in Map Book 10, page 110, Probate Court, Baldwin County, Alabama; thence run South 06 degrees 07 minutes 04 seconds East, along the East right-of-way line of U. S. Highway No. 31, 160.57 feet to a point; thence run 88 degrees 27 minutes 34 seconds East, 464.91 feet to a point on the West right-of-way line of Bay Minette and Fort Morgan Railroad; thence run North 04 degrees 45 minutes 00 seconds East, along said line 159.39 feet to a point on the South line of Boler Estates; thence run North 88 degrees 27 minutes 34 seconds West, along said line 495.23 feet to the Point of Beginning.



SCALE: 1"=40'

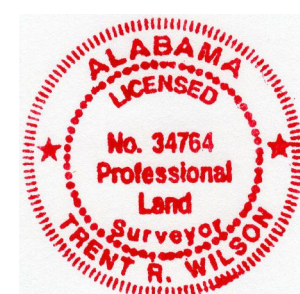
- NOTES:  
 1. MEASURED BEARINGS BASED ON ASTRONOMIC NORTH AS OBTAINED BY GPS OBSERVATION.  
 2. ELEVATIONS BASED ON NAVD 1988 AS OBTAINED BY GPS OBSERVATION.



Survey & Topographic Survey  
 I have examined the real property as shown hereon in Baldwin County, Alabama; and hereby state that all parts hereof conform to the requirements of the Standards of Practice for Surveying in the State of Alabama to the best of my knowledge and belief, and that the same are correct and reliable, and that I am not aware of any facts or circumstances which would render the same invalid if not sealed in red.

*Wilson*

PLS #34764  
 Surveying LLC  
 Suite 12  
 AL 36542  
 205-975-7555



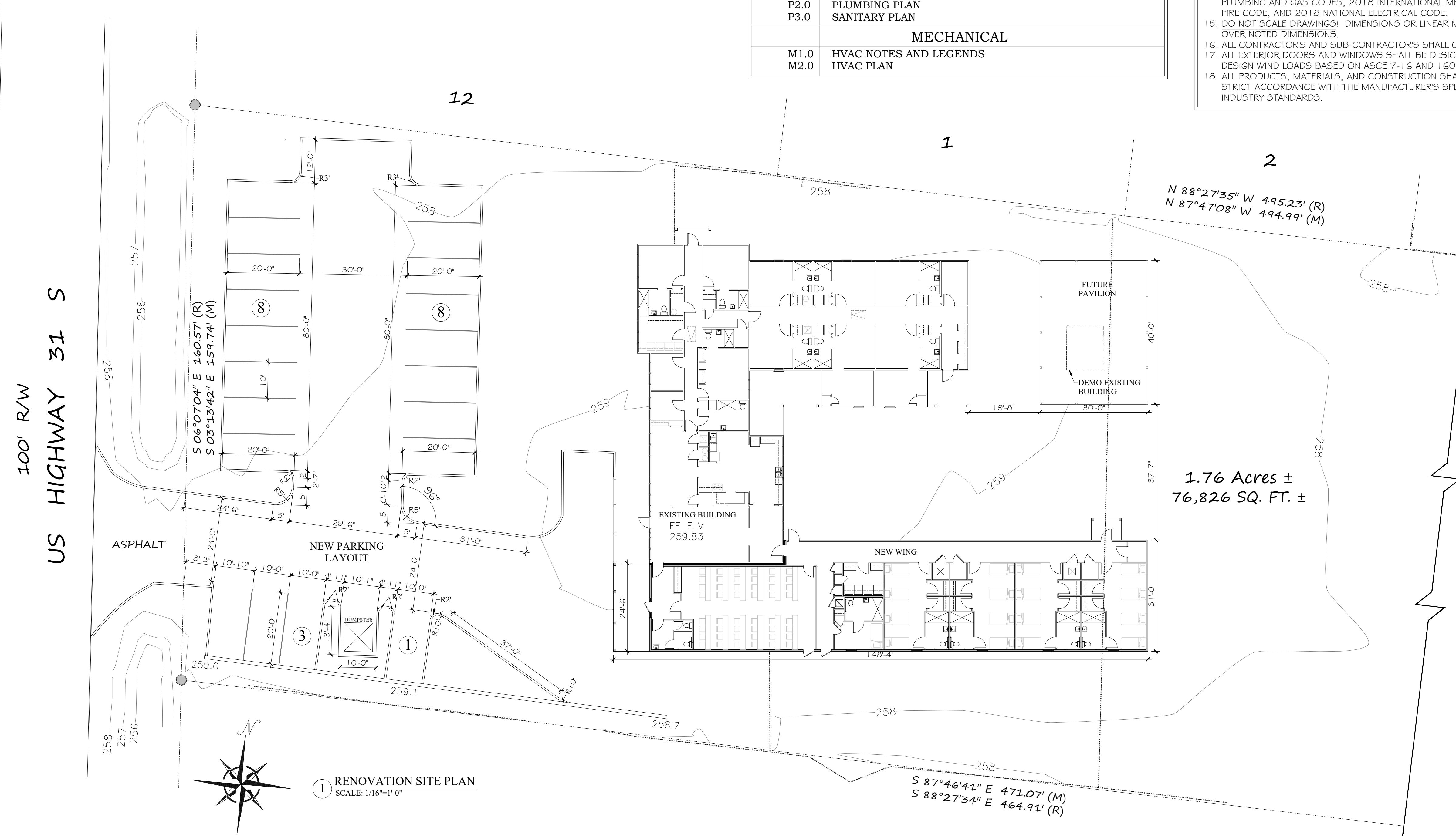
This firm. The parcel shown hereon is subject to setbacks, zoning, easements, rights of way, encumbrances, utilities, cemeteries or burial sites were not located unless otherwise noted. This plat is valid for a period of 6 years from the date of survey and non-transferable.

# RENOVATION AND ADDITION FOR SOBER LIVING BAY MINETTE, ALABAMA

DRAWING INDEX	
SHEET NO.	SHEET TITLE
T1.0	TITLE SHEET & SITE PLAN
ARCHITECTURAL	
A1.0	ADA SHEET
LS1.1	LIFE SAFETY PLAN
A1.1	FLOOR PLAN
A1.2	ROOF PLAN
A2.1	SCHEDULES, INTERIOR ELEVATIONS & WALL SECTION
A3.1	EXTERIOR ELEVATIONS
STRUCTURAL	
S0.0	GENERAL NOTES
S0.1	GENERAL NOTES
S1.0	FOUNDATION PLAN
S1.1	FOUNDATION SECTIONS & DETAILS
S2.0	CEILING FRAMING PLAN
S3.0	ROOF FRAMING PLAN
S4.0	SHEAR WALL PLAN
S5.0	FRAMING SECTIONS & DETAILS
S5.1	FRAMING SECTIONS & DETAILS
ELECTRICAL	
E1.0	LEGENDS, NOTES AND SPECIFICATIONS
E2.0	POWER PLAN
E3.0	LIGHTING PLAN
E4.0	RISER DIAGRAM AND PANEL SCHEDULE
PLUMBING	
P1.0	PLUMBING NOTES AND SCHEDULES
P2.0	PLUMBING PLAN
P3.0	SANITARY PLAN
MECHANICAL	
M1.0	HVAC NOTES AND LEGENDS
M2.0	HVAC PLAN

## GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES, AND INDUSTRY STANDARDS FOR CONSTRUCTION, ELECTRICAL, PLUMBING, AND MECHANICAL.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED HEREIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
- IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF STUD OR MASONRY UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASE OF MATERIALS, FABRICATION, OR BEGINNING CONSTRUCTION.
- PROVIDE TEMPORARY SETTLING BASINS, HAY BALES, AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN ALL SOIL WHICH FLOWS OFF-SITE.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES ARE ALLOWED.
- ALL WORK RELATED DEBRIS SHALL BE REMOVED FROM THE SITE REGULARLY AND PROMPTLY.
- THE CONTRACTOR SHALL LEAVE ALL AREAS AND FINISHED SPACES IN A CLEAN AND ACCEPTABLE CONDITION AT THE PROJECT COMPLETION.
- ALL MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS ARE TO BE FULLY COORDINATED WITH THE ARCHITECTURAL DOCUMENTS.
- ALL PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS SHALL BE DESIGNED AND INSTALLED BY A STATE OF ALABAMA LICENSED AND CERTIFIED CONTRACTOR AND THEIR RESPECTIVE DISCIPLINE. PLUMBING CONTRACTOR SHALL SHOW EVIDENCE OF THEIR ALABAMA PLUMBERS' AND GAS FITTERS LICENSE; HEATING AND COOLING CONTRACTOR'S LICENSE; AND ALABAMA ELECTRICAL CONTRACTOR'S LICENSE.
- PLUMBING, MECHANICAL, AND ELECTRICAL CONTRACTORS SHALL PROVIDE THE OWNER WITH SHOP DRAWINGS AND SPECIFICATIONS PRIOR TO ORDERING AND INSTALLATION. ALL WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL PLUMBING AND GAS CODES, 2018 INTERNATIONAL MECHANICAL CODE, 2018 INTERNATIONAL FIRE CODE, AND 2018 NATIONAL ELECTRICAL CODE.
- DO NOT SCALE DRAWINGS! DIMENSIONS OR LINEAR MEASUREMENTS TAKE PRECEDENT OVER NOTED DIMENSIONS.
- ALL CONTRACTORS AND SUB-CONTRACTORS SHALL COMPLY WITH OSHA REQUIREMENTS.
- ALL EXTERIOR DOORS AND WINDOWS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND DESIGN WIND LOADS BASED ON ASCE 7-16 AND 160 MPH WIND RATING.
- ALL PRODUCTS, MATERIALS, AND CONSTRUCTION SHALL BE PROVIDED AND/OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, GUIDELINES, AND/OR INDUSTRY STANDARDS.



RENOVATION DRAWINGS FOR  
FOR  
SOBER LIVING  
BAY MINETTE, ALABAMA

JOB NO.:  
DRAWN: CLT  
CHECKED: SBM  
DATE: 2022.11.11  
REVISION:

SCALE: 1/16" = 1'-0"

SHEET NO.:

**T1.0**  
TITLE SHEET  
& SITE PLAN



# ACCESSIBLE NOTES:

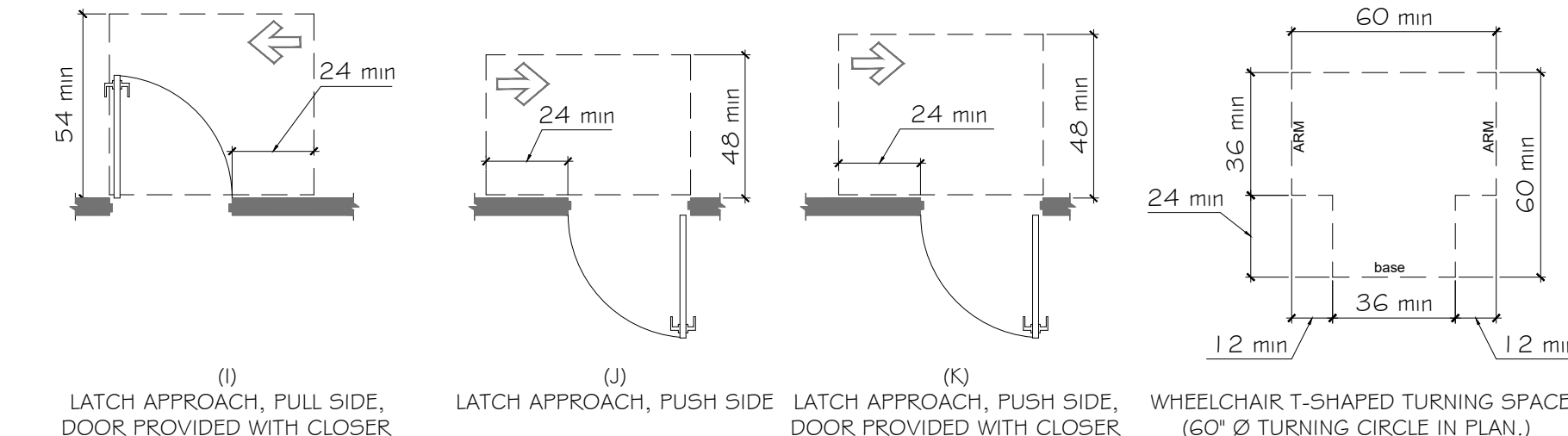
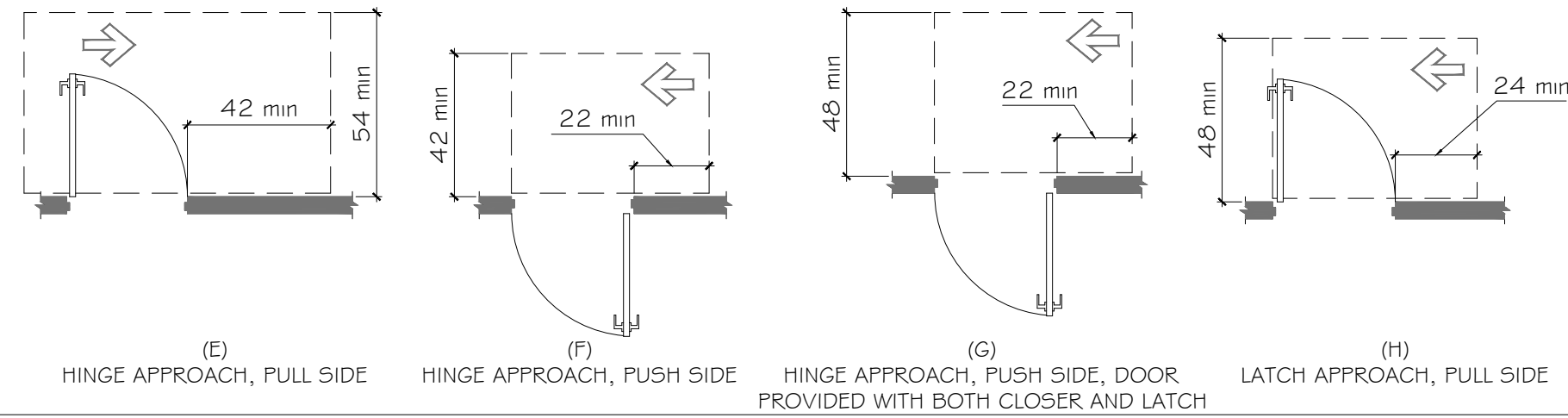
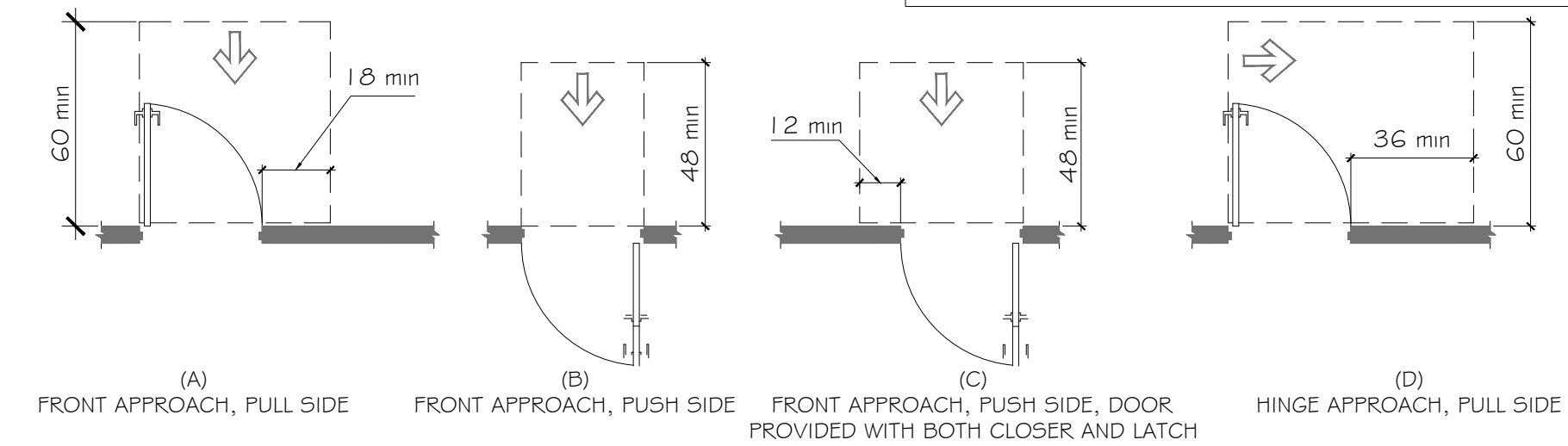
## 1/A1.0 ADA COMPLIANCE DOOR SWINGS AND CLEARANCES

309.4 OPERATION. OPERABLE PARTS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5# MAXIMUM.

404.2.7 DOOR \* GATE HARDWARE. DOOR HARDWARE THAT CAN BE OPERATED WITH A CLOSED FIST OR A LOOSE GRIP ACCOMMODATES THE GREATEST RANGE OF USERS. HARDWARE THAT REQUIRES SIMULTANEOUS HAND AND FINGER MOVEMENTS REQUIRE GREATER DEXTERITY AND COORDINATION, AND IS NOT RECOMMENDED.

DOOR PULLS TO HAVE ACCESSIBLE LEVERS AND NOT TO EXCEED 5LBS. OF FORCE REQUIRED TO OPEN

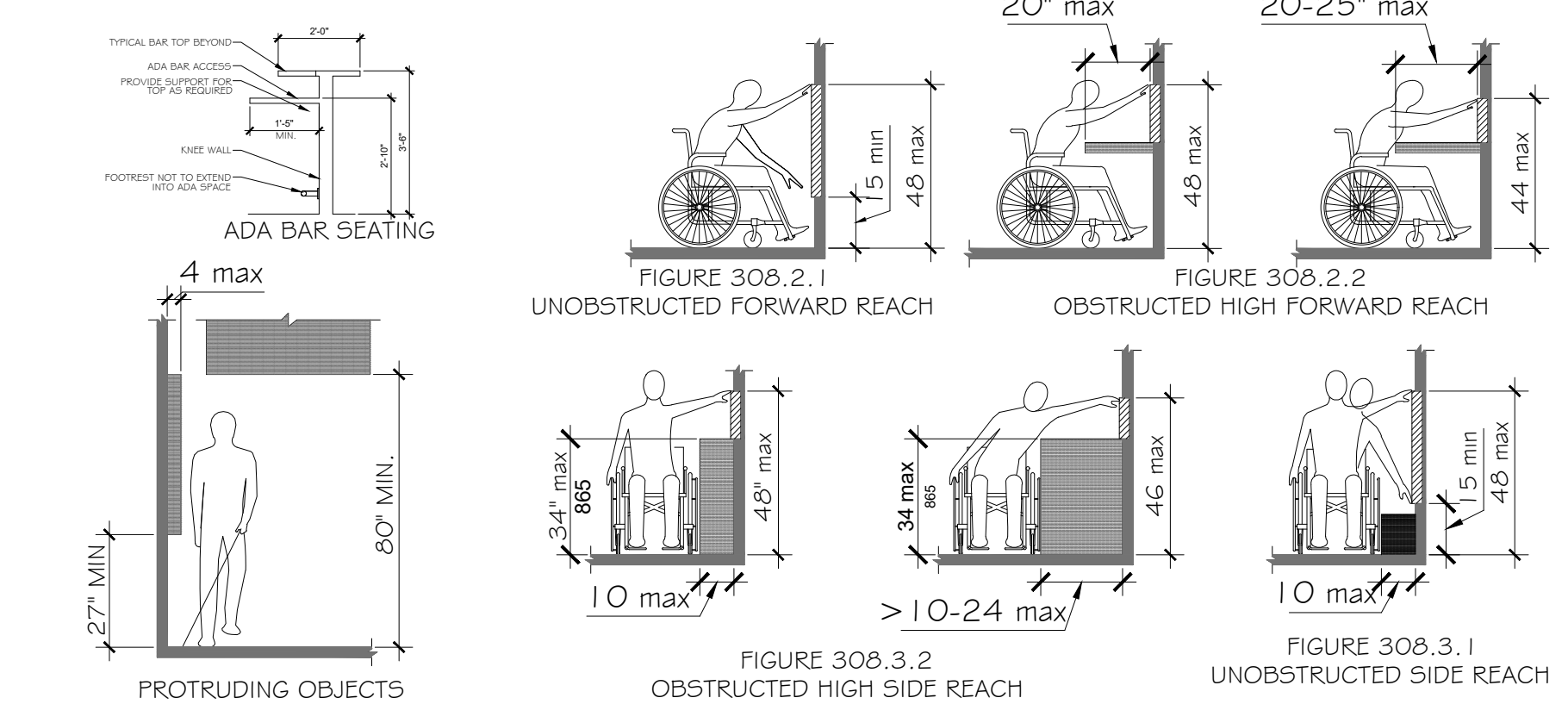
### SEC. 404 : 2010 ADA STANDARDS



## 2/A1.0 REACH / PROTRUDING OBJECTS

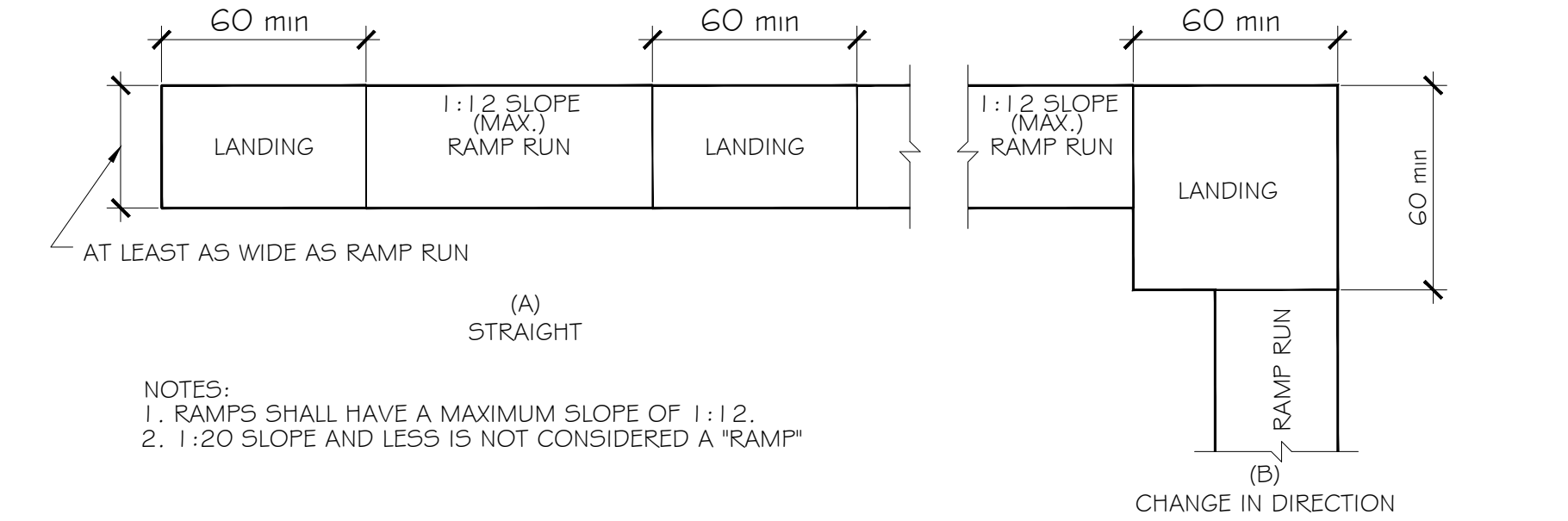
THE FOLLOWING DIAGRAMS SHALL BE TYPICAL FOR ALL ADA COMPLIANT CONDITIONS FOR MOUNTED OBJECTS: (INCLUDING BUT NOT LIMITED TO HAND DRYERS; SOAP DISPENSERS; AND PAPER TOWEL DISPENSERS)

### SEC. 308 : 2010 ADA STANDARDS



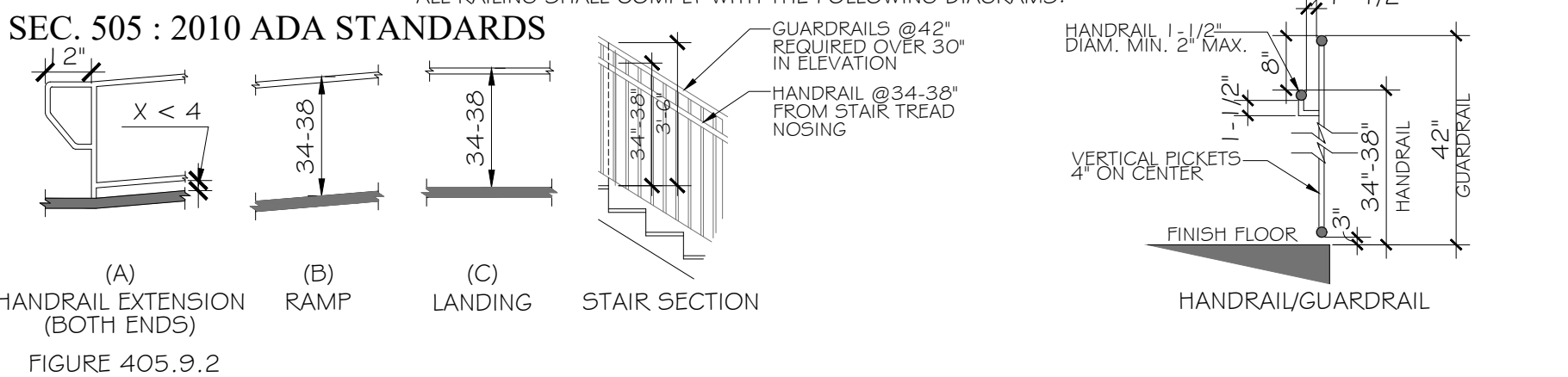
## 3/A1.0 ADA COMPLIANT RAMPS

### SEC. 405.7 : 2010 ADA STANDARDS



## 4/A1.0 RAILINGS

ALL RAILING SHALL COMPLY WITH THE FOLLOWING DIAGRAMS:

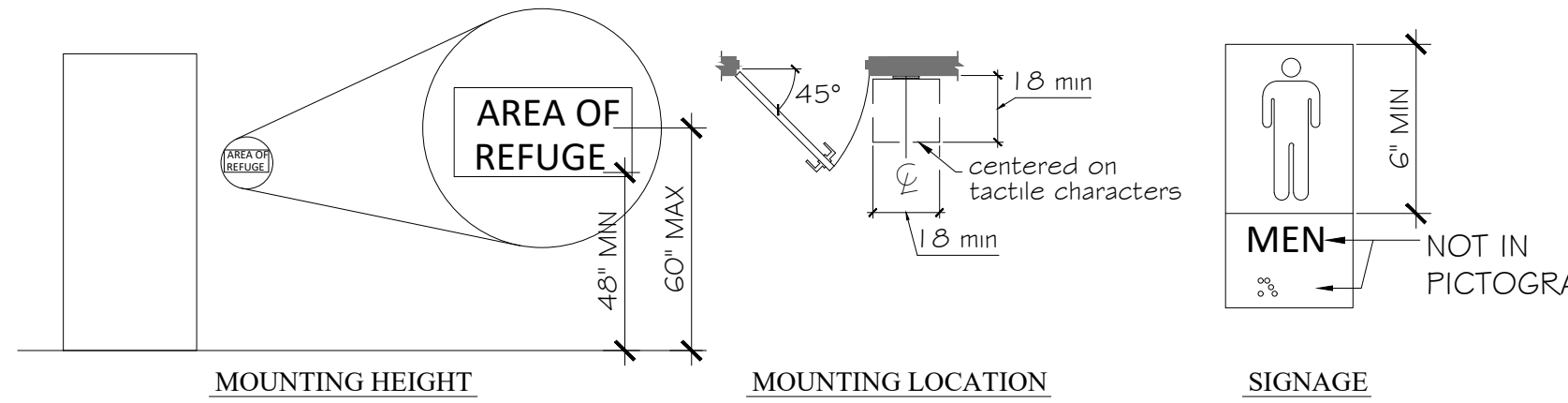


## 5/A1.0 COMMUNICATION ELEMENTS AND FEATURES

### SEC. 703 : 2010 ADA STANDARDS

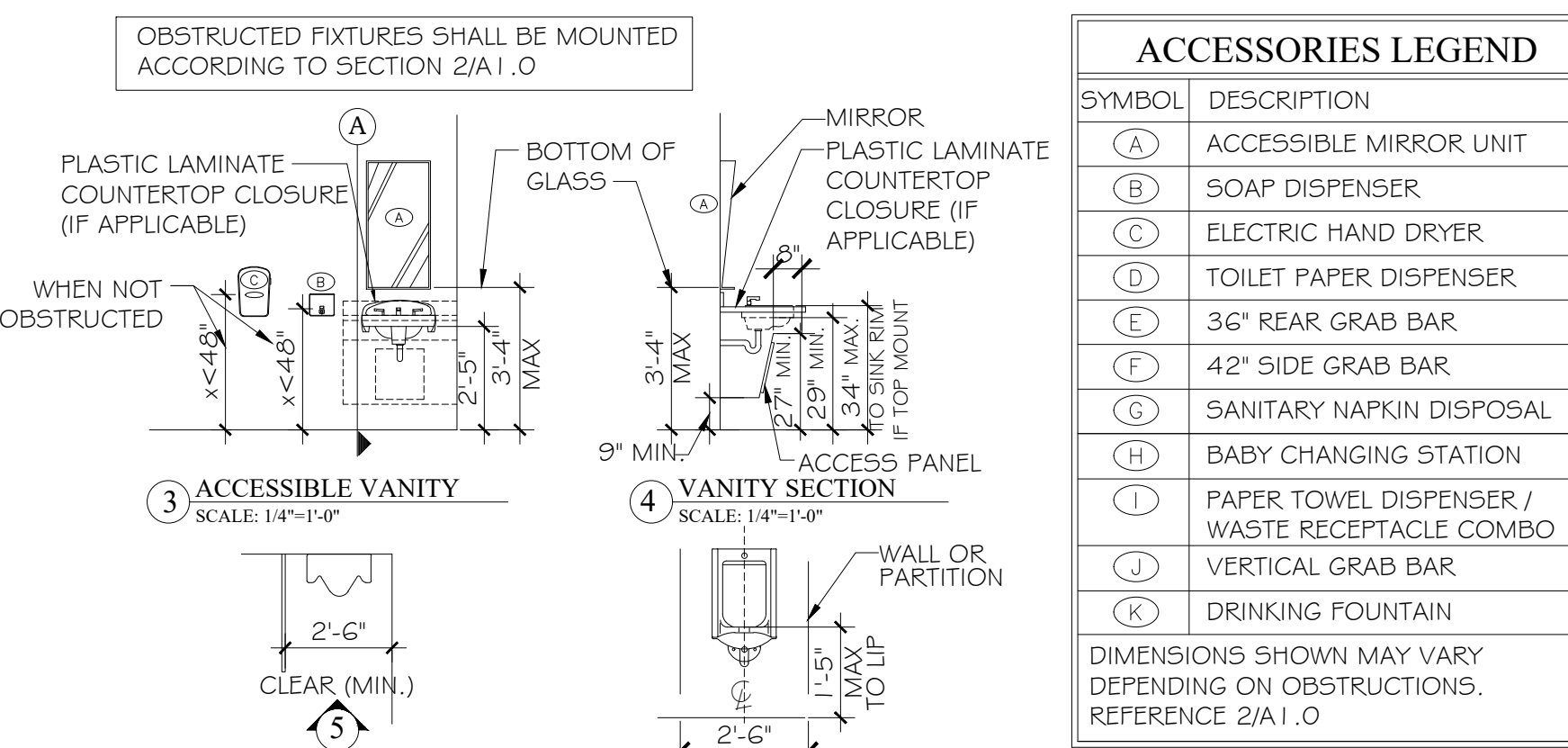
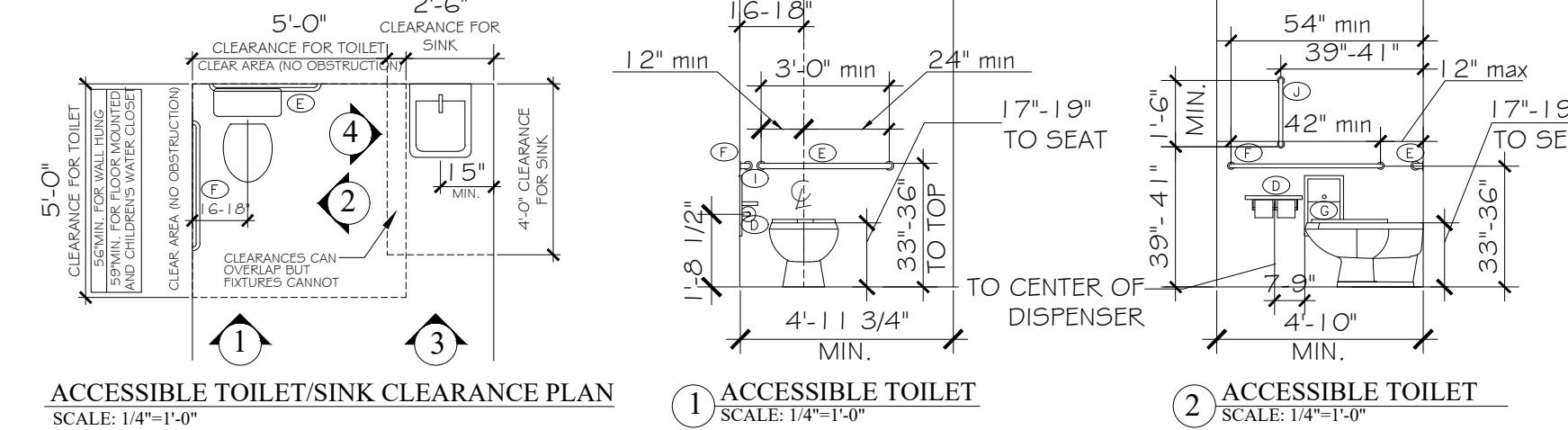
703.4.2 LOCATION. WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES (455 MM) MINIMUM BY 18 INCHES (455 MM) MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.

703.7 SYMBOLS OF ACCESSIBILITY. SYMBOLS OF ACCESSIBILITY SHALL COMPLY WITH 703.7



## 6/A1.0 ADA ACCESSIBLE BATHROOM FIXTURES/ACCESSORIES

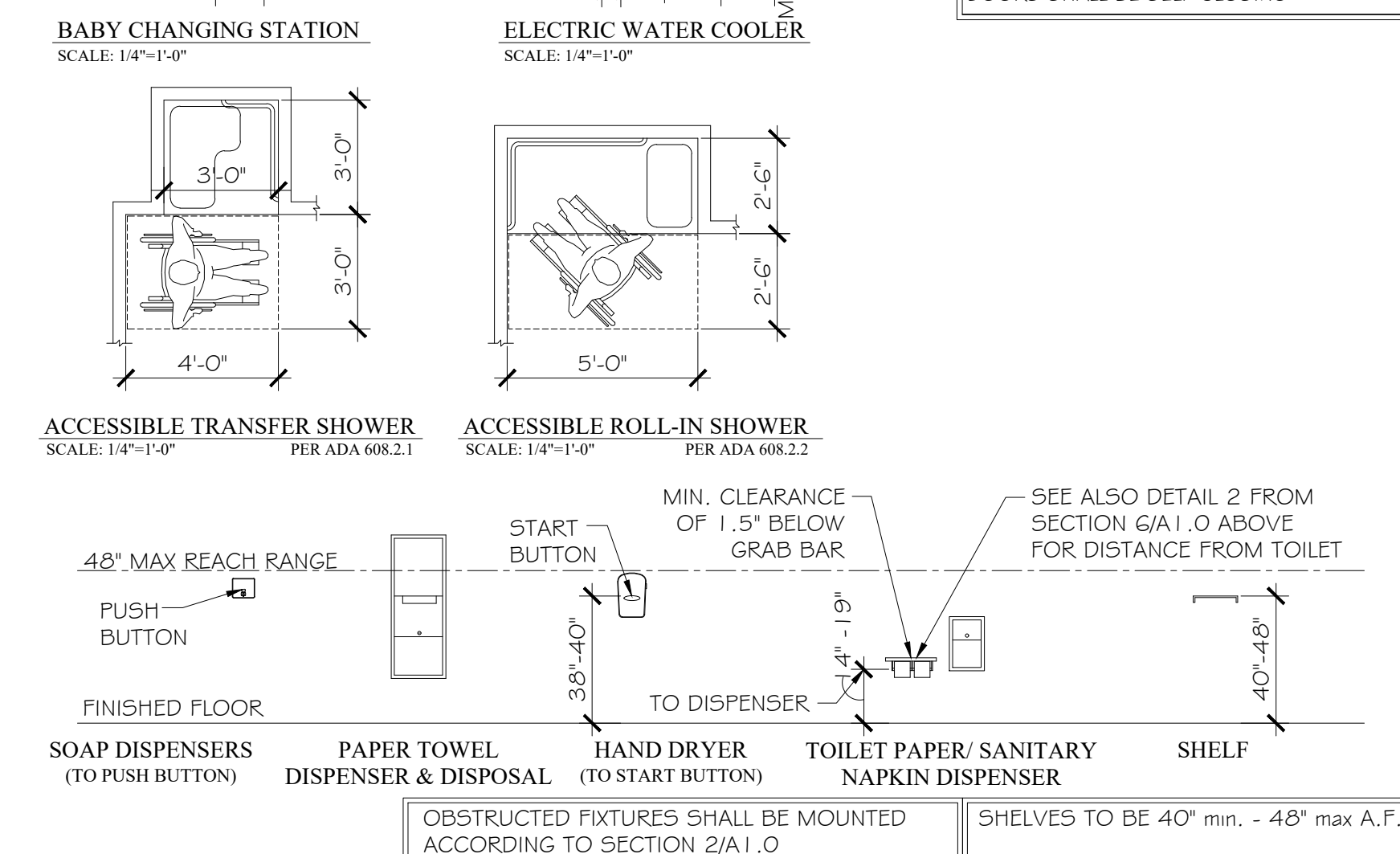
### SEC. 604 : 2010 ADA STANDARDS



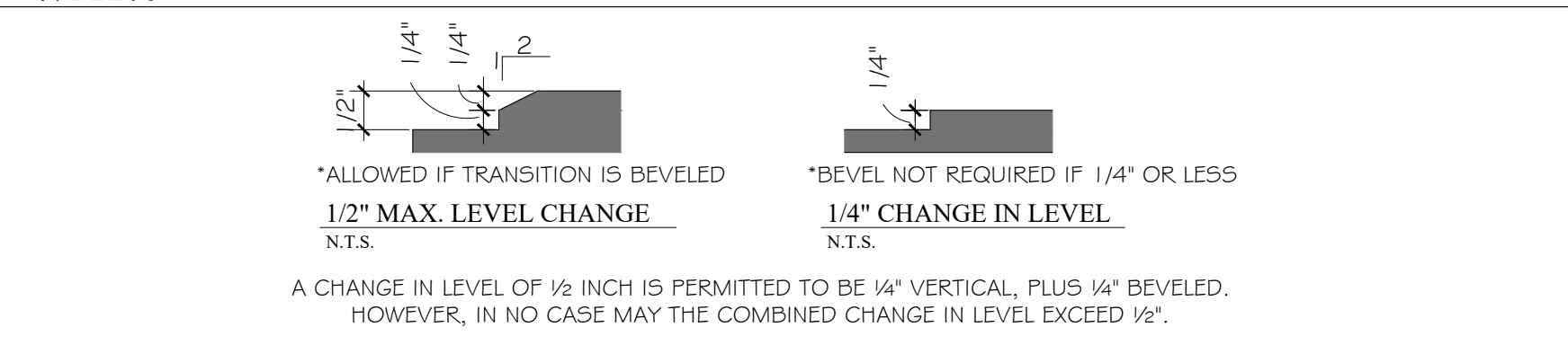
ACCESSORIES LEGEND	
SYMBOL	DESCRIPTION
(A)	ACCESSIBLE MIRROR UNIT
(B)	SOAP DISPENSER
(C)	ELECTRIC HAND DRYER
(D)	TOILET PAPER DISPENSER
(E)	36" REAR GRAB BAR
(F)	42" SIDE GRAB BAR
(G)	SANITARY NAPKIN DISPOSAL
(H)	BABY CHANGING STATION
(I)	PAPER TOWEL DISPENSER / WASTE RECEPTACLE COMBO
(J)	VERTICAL GRAB BAR
(K)	DRINKING FOUNTAIN

DIMENSIONS SHOWN MAY VARY DEPENDING ON OBSTRUCTIONS. REFERENCE 2/A1.0

ADA TOILET COMPARTMENTS	
DOORS SHALL NOT SWING INTO THE MINIMUM REQUIRED COMPARTMENT AREA	
TOILET COMPARTMENT DOORS SHALL HAVE ADA DOOR PULLS ON EACH SIDE	
DOORS SHALL BE SELF CLOSING	



## 7/A1.0 THRESHOLD CONDITIONS SEC. 303 : 2010 ADA STANDARDS



## ABBREVIATION LEGEND

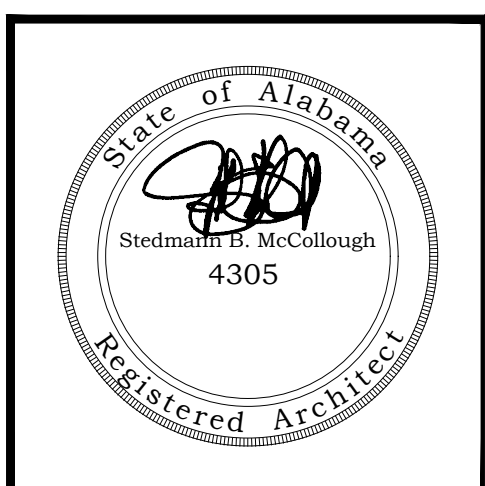
ABBREV.	TERM
ACC.	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ADA	AMERICANS WITH DISABILITIES ACT
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ASSEM.	ASSEMBLY
B.B.	BEAD BOARD
CONC.	CONCRETE
CONT.	CONTINUOUS
CPT.	CARPET
DIM.	DIMENSION(S)
DW	DISHWASHER
ELEC.	ELECTRIC / ELECTRICAL
ELEV.	ELEVATOR
EQUIP.	EQUIPMENT
E.P.	EPOXY PAINT
EXT.	EXTERIOR
EWC	ELECTRIC WATER COOLER
FEC	FIRE EXTINGUISHER CABINET
FG.	FIBERGLASS
FIN.	FINISH / FINISHED
FLR.	FLOOR
FRP	FIBER-REINFORCED PLASTIC
FT.	FOOT / FEET
GFI	GROUND FAULT INTERRUPTOR
GYP.BD.	GYPSTUM BOARD
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HR	HOUR
INT.	INTERIOR
JAN.	JANITOR
MAX	MAXIMUM
MECH.	MECHANICAL
MT.	METAL
MICRO.	MICROWAVE
MIN.	MINIMUM
M.R.	MOISTURE RESISTANT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
PRE-FAB	PRE FABRICATED
PT.	PAINT / PAINTED
P.T.	PRESSURE TREATED
Q.T.	QUARRY TILE
REF.	REFRIGERATOR
REINF.	REINFORCED
REQ.	REQUIRED
SC.	SOLID CORE
S.F.	SQUARE FOOT / FEET
SHWR.	SHOWER
S.S.	SCORED & STAINED
S/S	STAINLESS STEEL
ST.	STAINED
STOR.	STORAGE
TYP.	TYPICAL
U/C	UNDER COUNTER
VEND.	VENDING MACHINE
V.W.P.	VINYL WOOD PLANK
WD	WOOD
W/	WITH
W/D	WASHER DRYER
W/O	WITH OUT

## PLAN MARKER/TAG LEGEND

(130)	ROOM NUMBER
(124)	DOOR NUMBER
(AG)	DETAIL NUMBER
(A4.2)	INTERIOR ELEVATION
(BB)	SECTION IDENTIFICATION
(A4.2)	SECTION LOCATION
(A4.2)	SECTION CUT LOCATION MARKER
(A)	DRAWING DESIGNATION
(A2.5)	DETAIL LOCATION
(A2.5)	DETAIL MARKER
(A)	WALL TYPE NUMBER
(A)	INTERSECTS WALL REFERENCED
(A)	WALL TYPE MARKER
(A)	STOREFRONT TYPE
(A)	STOREFRONT TYPE
(A)	HEIGHT OF CEILING A.F.F.
(A)	ELEVATION MARKER
(2)	REVISION NUMBER
(2)	REVISION MARKER

## GENERAL NOTES

- ALL PRODUCTS, MATERIALS, AND CONSTRUCTION SHALL BE PROVIDED AND/OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS, GUIDELINES, AND/OR INDUSTRY STANDARDS.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE THE BUILDERS RISK UNLESS APPROVED IN WRITING OR WITH SUPPLEMENTAL DRAWINGS FROM THE ARCHITECT.
- IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURE IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL, AND PLUMBING INSPECTORS, ETC.
- DO NOT SCALE DRAWINGS!!! DIMENSIONS OR LINEAR MEASUREMENTS TAKE PRECEDENCE OVER NOTED DIMENSIONS.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO FACE OF STUDS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED WITHIN THESE DOCUMENTS AND SHALL NOTIFY THE ARCHITECT OF ANY VARIATION PRIOR TO THE PURCHASING OF ANY MATERIALS, STARTING FABRICATION, OR BEGINNING CONSTRUCTION
- PROVIDE TEMPORARY SETTLING BASINS, HAY BALES, AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF SITE AT THE END OF THE DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY CONTRACTOR BEFORE START OF CONSTRUCTION.
- PROVIDE CHEMICAL BARRIER TO BUILDING FROM SUBTERRANEAN TERMITE ATTACK.
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE ALLOWED.
- ALL WORK RELATED DEBRIS SHALL BE REMOVED FROM THE SITE REGULARLY AND PROPERLY.
- THE CONTRACTOR SHALL LEAVE ALL AREAS AND FINISHED SPACES IN A CLEAN AND ACCEPTABLE CONDITION AT THE PROJECT COMPLETION.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY W/ OSHA REQUIREMENTS.
- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, ELECTRICAL, PLUMBING, AND MECHANICAL.



RENOVATION DRAWINGS FOR SOBER LIVING FOR SOBER LIVING BAY MINETTE, ALABAMA

JOB NO.:  
DRAWN: CLT  
CHECKED: SBM  
DATE: 2022.11.11  
REVISION:

SCALE: 1/4" = 1'-0"

SHEET NO.:

# A1.0

ADA SHEET







McCOLLOUGH ARCHITECTURE, INC.  
P.O. BOX 6310  
GULF SHORES, ALABAMA  
36547-6310  
PHONE: 251-968-7222



RENOVATION DRAWINGS FOR  
FOR  
**SOBER LIVING**

BAY MINETTE, ALABAMA

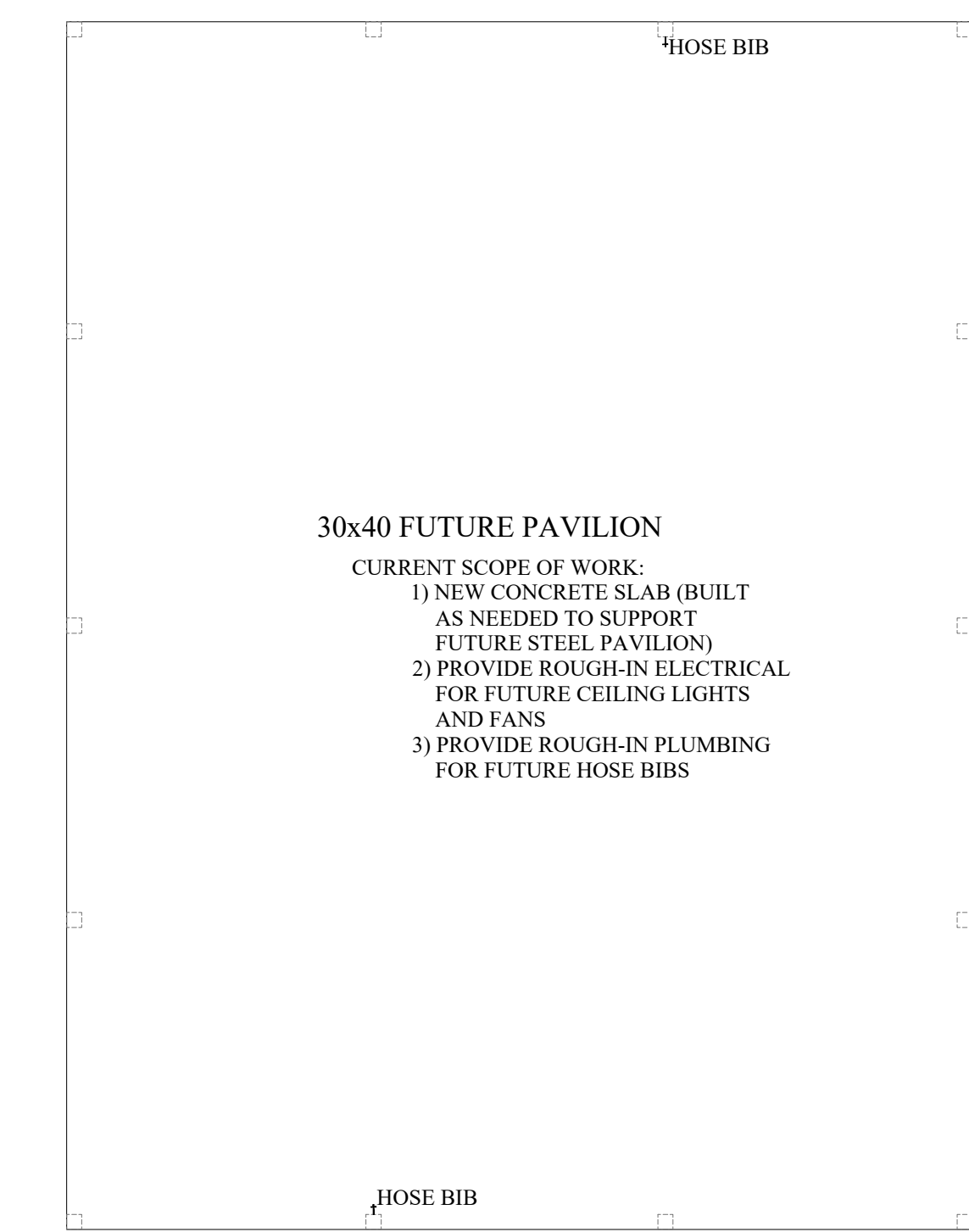
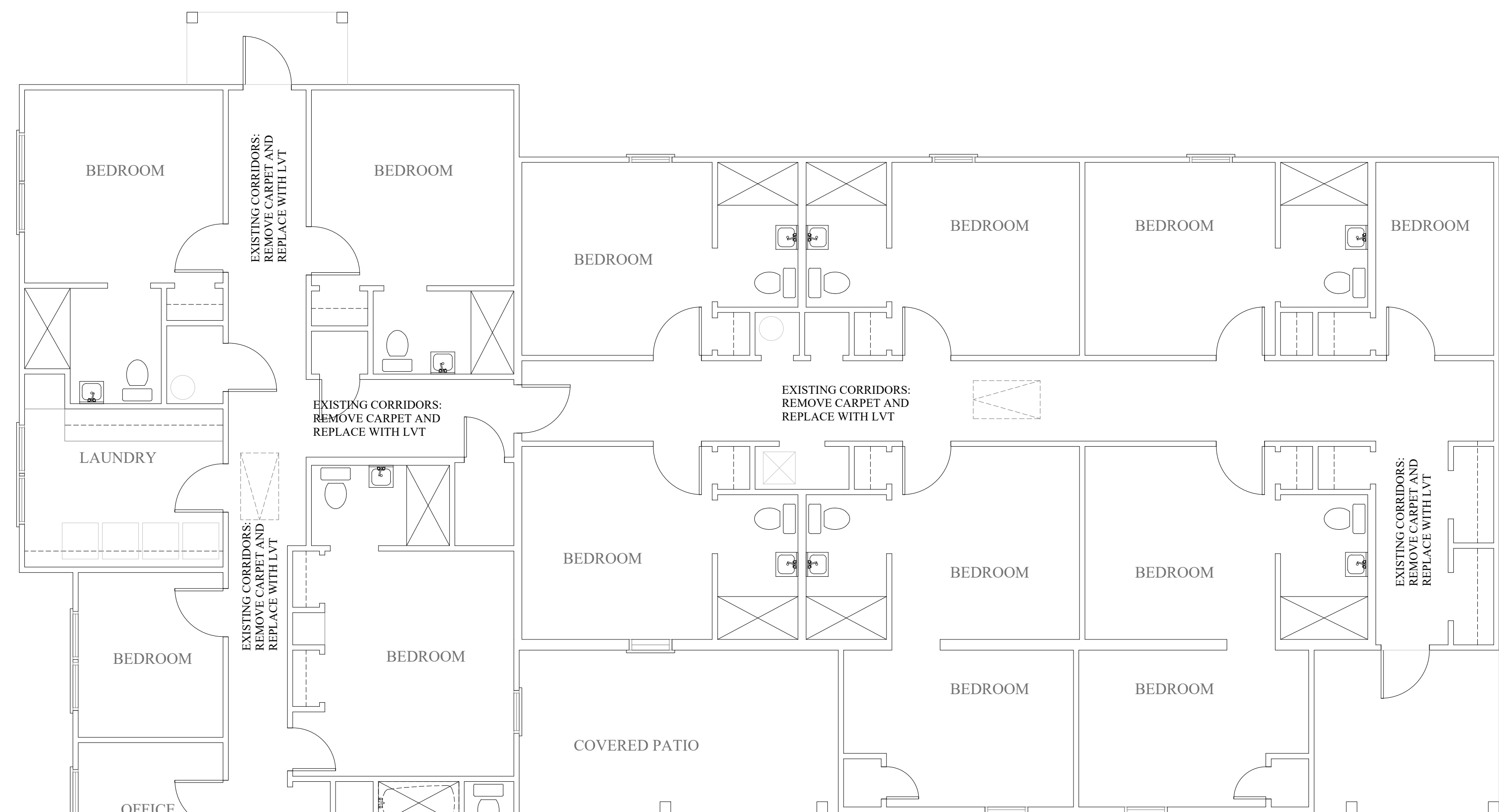
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SCALE: 3/16" = 1'-0"

SHEET NO.:

**A1.1**

RENOVATION  
FLOOR PLAN



**30x40 FUTURE PAVILION**

- CURRENT SCOPE OF WORK:
- 1) NEW CONCRETE SLAB (BUILT AS NEEDED TO SUPPORT FUTURE STEEL PAVILION)
  - 2) PROVIDE ROUGH-IN ELECTRICAL FOR FUTURE CEILING LIGHTS AND FANS
  - 3) PROVIDE ROUGH-IN PLUMBING FOR FUTURE HOSE BIBS

**WALL NOTES**

ALL WALLS TO RECEIVE BATT INSULATION. 2X4 WALLS TO RECEIVE R-13, 2X6 WALLS TO RECEIVE R-19.

2X4" WOOD STUD WALLS TO BE 16" O.C. WITH 5/8" GYP. BD. PAINTED EACH SIDE. PROVIDE DOUBLE TOP PLATE AND PRESSURE TREATED BOTTOM PLATE (SEE STRUCTURAL)

2X6" WOOD STUD WALLS TO BE 16" O.C. WITH 5/8" GYP. BD. PAINTED EACH SIDE. PROVIDE DOUBLE TOP PLATE AND PRESSURE TREATED BOTTOM PLATE (SEE STRUCTURAL)

1 RENOVATION FLOOR PLAN  
SCALE: 3/16" = 1'-0"



EXISTING HVAC DUCTWORK TO BE CUT BACK TO THIS WALL  
NEW HVAC DUCTWORK AND UNITS. ADD MORE AC UNITS TO EXISTING LIVING AND MEETING ROOMS

VERIFY CURRENT KITCHEN FLOOR CONDITION. OWNER HAS MENTIONED SOFT SPOTS. REPLACE / REINFORCE AS REQUIRED. REPLACE EXISTING FLOOR FINISH WITH LVT

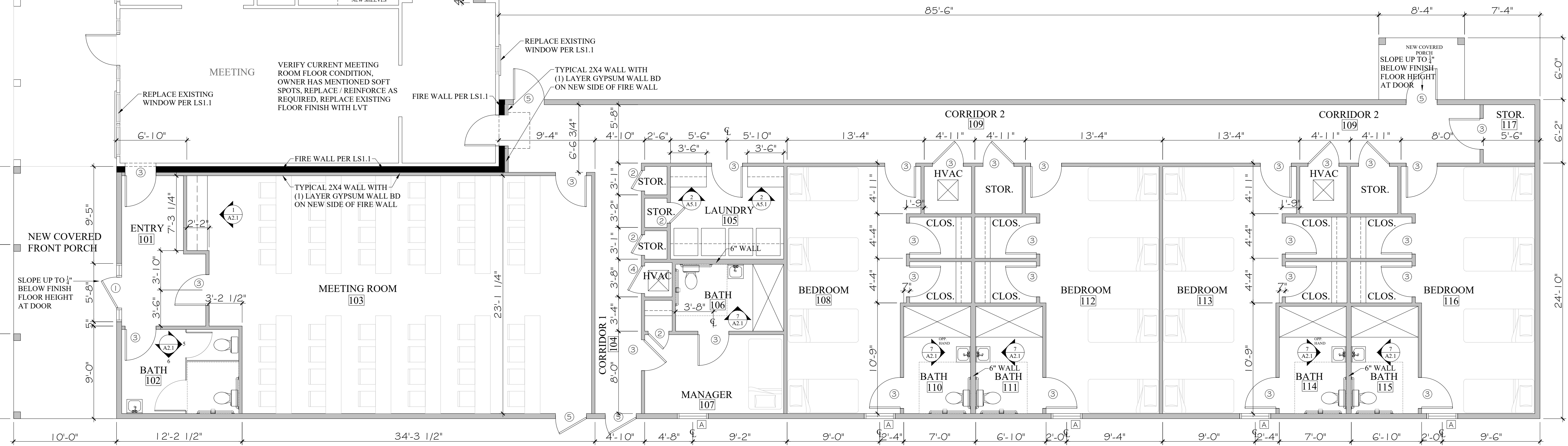
VERIFY CURRENT MEETING ROOM FLOOR CONDITION. OWNER HAS MENTIONED SOFT SPOTS. REPLACE / REINFORCE AS REQUIRED. REPLACE EXISTING FLOOR FINISH WITH LVT

REPLACE EXISTING WINDOW PER LS.1  
TYPICAL 2X4 WALL WITH (1) LAYER GYPSUM WALL BD ON NEW SIDE OF FIRE WALL

TYPICAL 2X4 WALL WITH (1) LAYER GYPSUM WALL BD ON NEW SIDE OF FIRE WALL

NEW COVERED PORCH  
SLOPE UP TO 1" BELOW FINISH FLOOR HEIGHT AT DOOR

NEW BUILDING - EXISTING BUILDING







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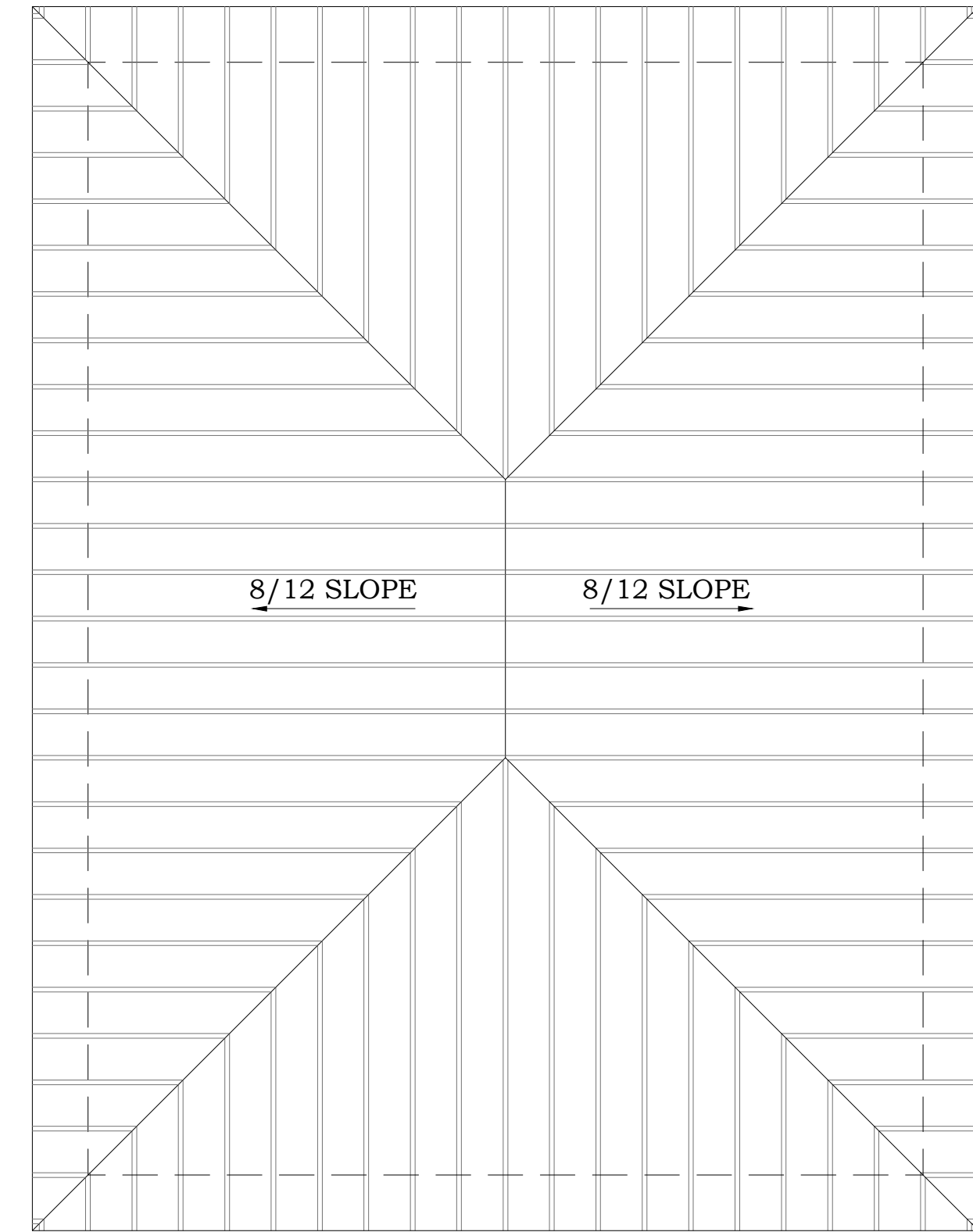
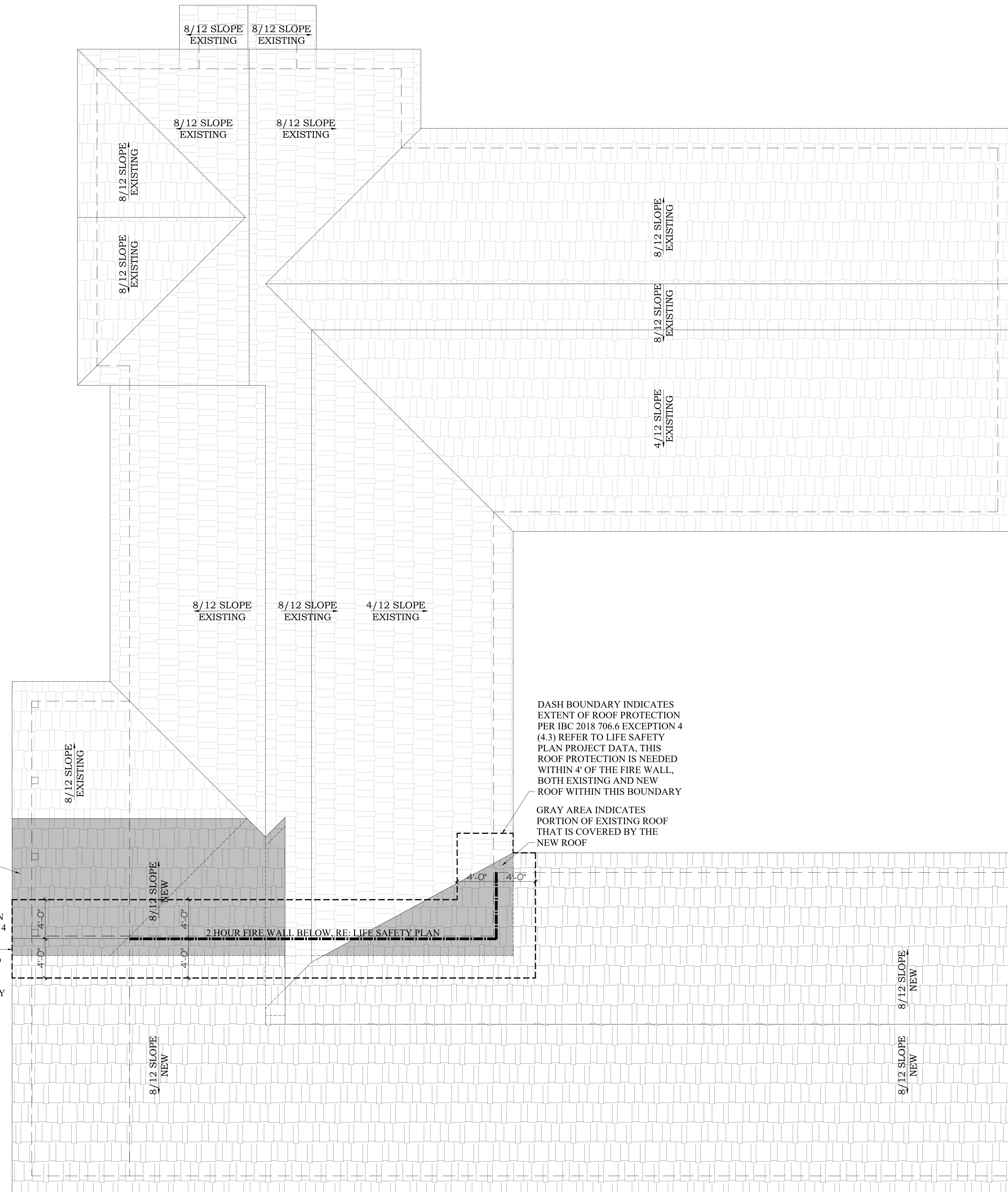
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**A1.2**

RENOVATION  
ROOF PLAN

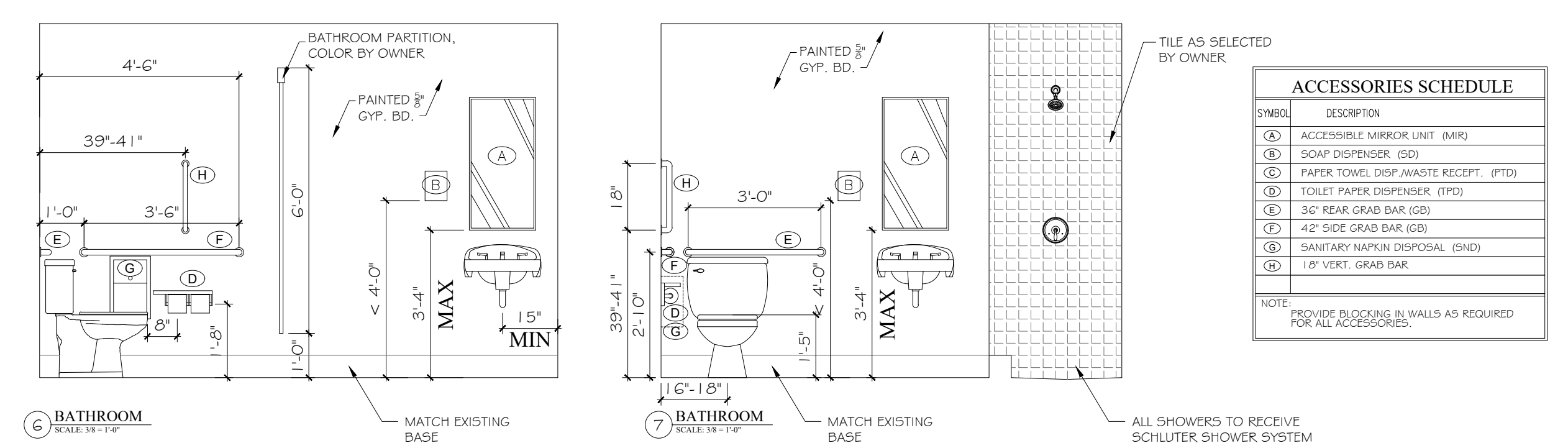
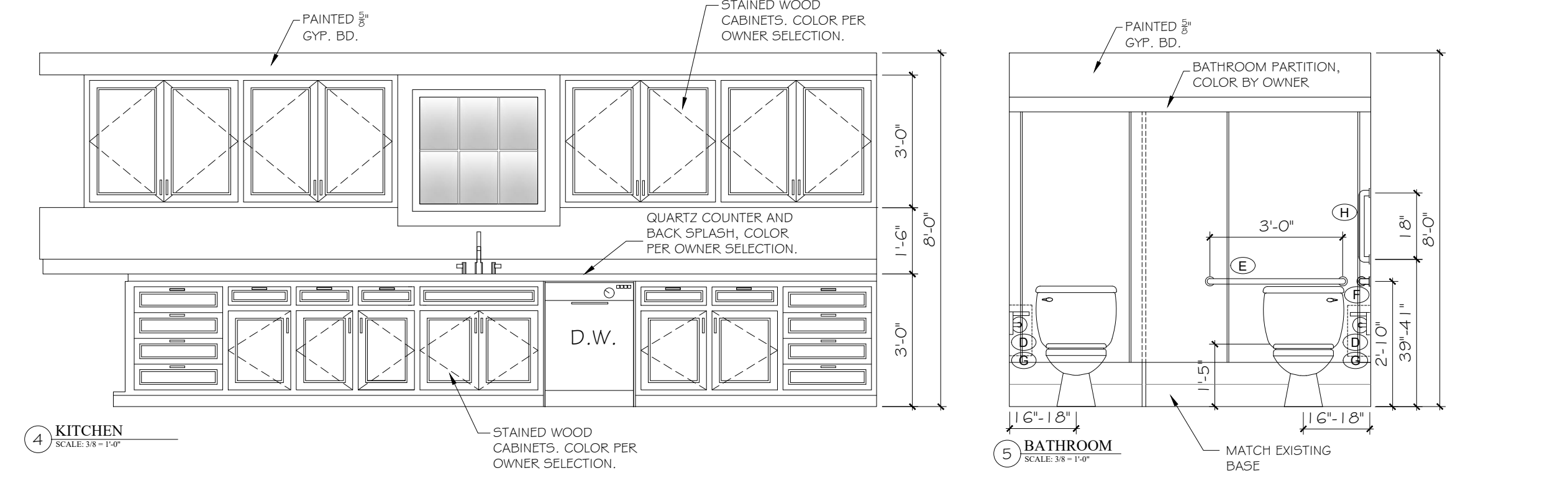
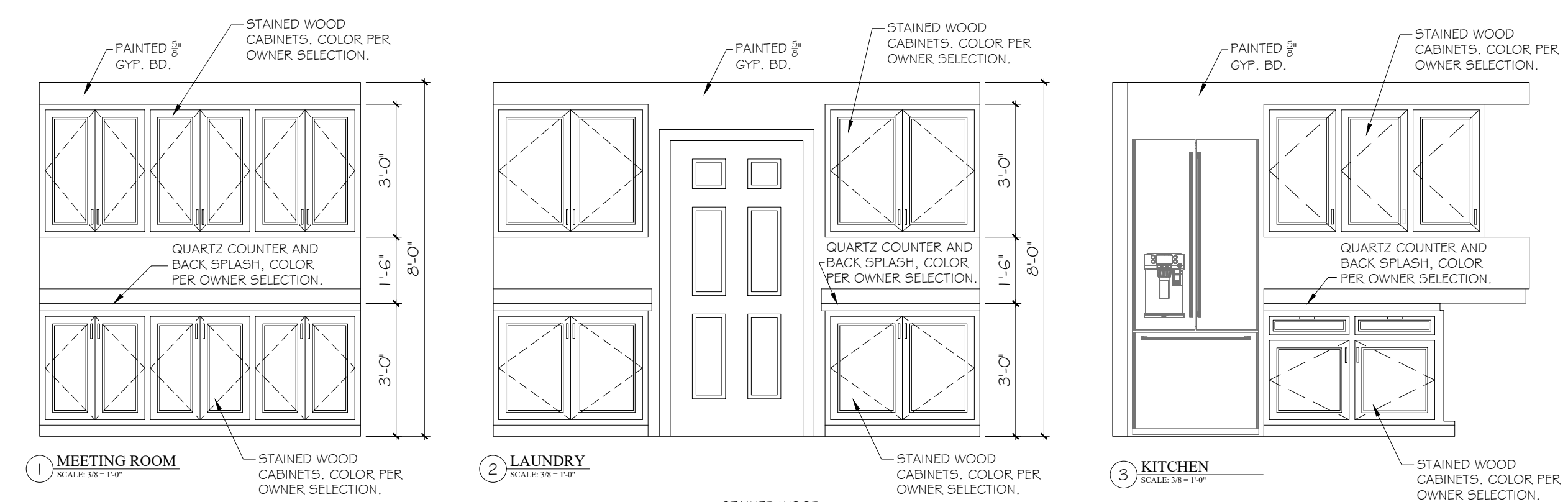


DASH BOUNDARY INDICATES  
EXTENT OF ROOF PROTECTION  
PER IBC 2018 706.6 EXCEPTION 4  
(4.3) REFER TO LIFE SAFETY  
PLAN PROJECT DATA. THIS  
ROOF PROTECTION IS NEEDED  
WITHIN 4' OF THE FIRE WALL,  
BOTH EXISTING AND NEW  
ROOF WITHIN THIS BOUNDARY

GRAY AREA INDICATES  
PORTION OF EXISTING ROOF  
THAT IS COVERED BY THE  
NEW ROOF

GRAY AREA INDICATES  
PORTION OF EXISTING ROOF  
THAT IS COVERED BY THE  
NEW ROOF

DASH BOUNDARY INDICATES  
EXTENT OF ROOF PROTECTION  
PER IBC 2018 706.6 EXCEPTION 4  
(4.3) REFER TO LIFE SAFETY  
PLAN PROJECT DATA. THIS  
ROOF PROTECTION IS NEEDED  
WITHIN 4' OF THE FIRE WALL,  
BOTH EXISTING AND NEW  
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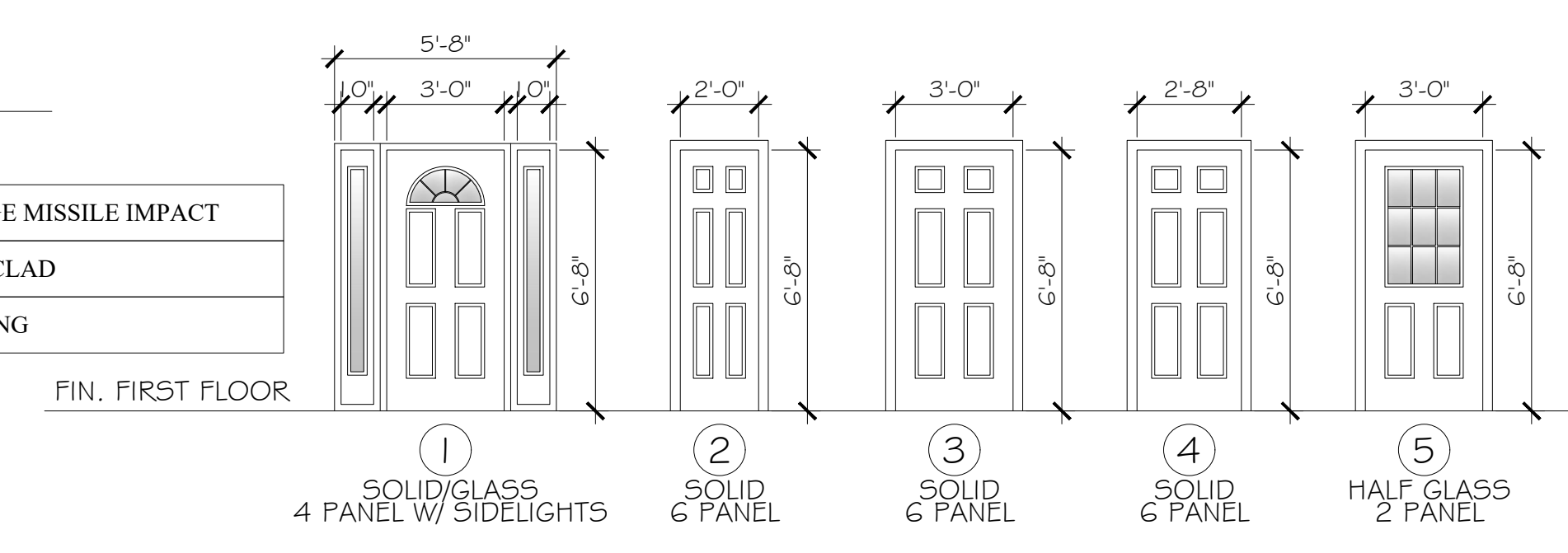
ACCESSORIES SCHEDULE	
SYMBOL	DESCRIPTION
(A)	ACCESSIBLE MIRROR UNIT (MIR)
(B)	SOAP DISPENSER (SD)
(C)	PAPER TOWEL DISP. WASTE RECEPT. (PTD)
(D)	TOILET PAPER DISPENSER (TPD)
(E)	30" RETAR GRAB BAR (GR)
(F)	42" SIDE GRAB BAR (GB)
(G)	SANITARY NAPKIN DISPOSAL (SND)
(H)	18" VERT. GRAB BAR

NOTE: PROVIDE BLOCKING IN WALLS AS REQUIRED FOR ALL ACCESSORIES.

### DOOR SCHEDULE

SCALE: 1/4"=1'-0"

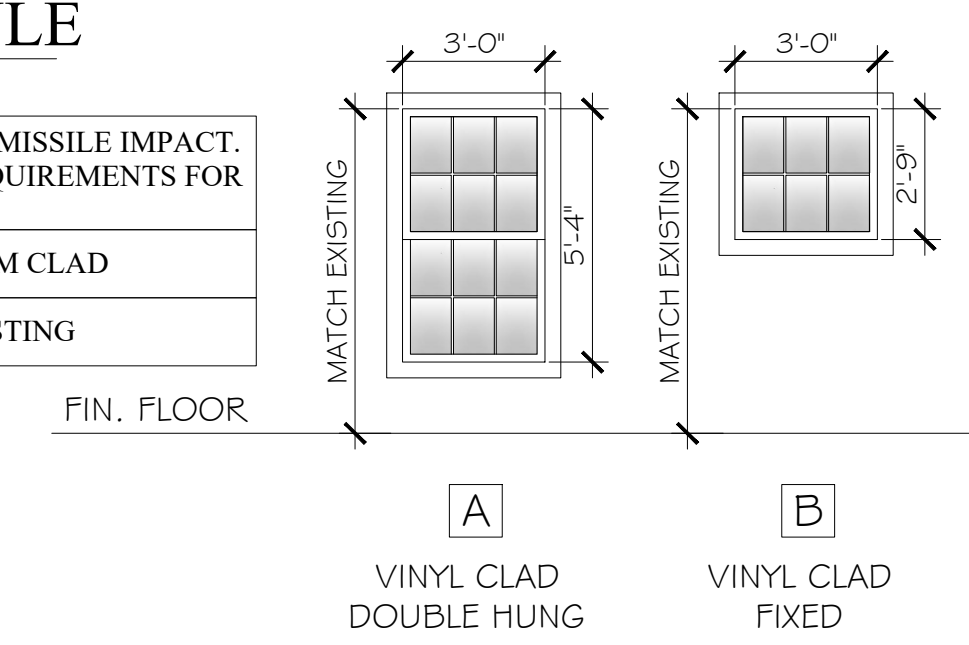
- \*ALL EXT. DOORS TO BE RATED LARGE MISSILE IMPACT
- DOORS TO BE VINYL OR ALUMINUM CLAD
- ALL DOOR TRIM IS TO MATCH EXISTING



### WINDOW SCHEDULE

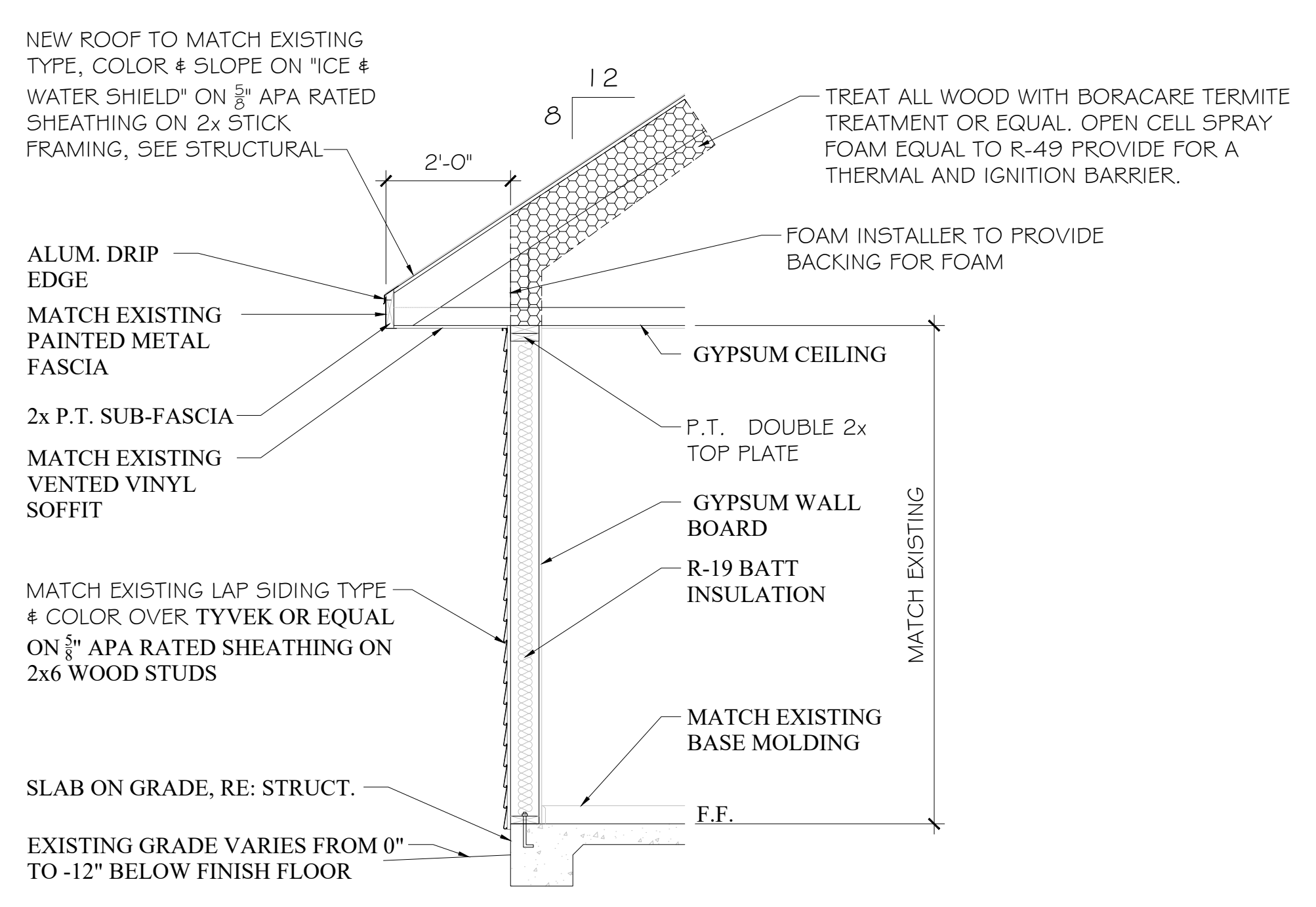
SCALE: 1/4"=1'-0"

- \*ALL WINDOWS TO BE RATED LARGE MISSILE IMPACT. CONTRACTOR TO VERIFY EGRESS REQUIREMENTS FOR ALL BEDROOM WINDOWS.
- WINDOWS TO BE VINYL OR ALUMINUM CLAD
- ALL WINDOW TRIM IS TO MATCH EXISTING



**GENERAL NOTE**

1 REVIEW FLOOR PLAN THOROUGHLY FOR ADDITIONAL FINISHES TO BE INSTALLED. EXISTING ROOMS SCOPE OF WORK ARE NOT ON THIS A2.1, REFER TO FLOOR PLAN A1.1



**TYPICAL WALL SECTION**  
SCALE: 1/2"=1'-0"

### ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOORS		WALLS		CEILING		HEIGHT	CHAIR RAIL	REMARKS
		FLOOR	BASE	FINISH	MATERIALS	FINISH	MATERIAL			
101	ENTRY	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	(3)
102	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
103	MEETING ROOM	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	(3)
104	CORRIDOR 1	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	(3)
105	LAUNDRY	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
106	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
107	MANAGER	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
108	BEDROOM	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
109	CORRIDOR 2	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	(3)
110	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
111	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
112	BEDROOM	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
113	BEDROOM	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
114	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
115	BATH	TILE	(2)	-	M.R. GYP. BD. (1)	PAINT	M.R. GYP. BD.	PAINT	9'-0"	(1)
116	BEDROOM	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-
117	STORAGE	LVT	(2)	PRE-FIN	GYP. BOARD	PAINT	GYP. BOARD	PAINT	9'-0"	-

**GENERAL NOTES**

ABBREVIATIONS	REMARKS
GYP. BOARD = GYPSUM BOARD	(1) TILE TUB/SHOWER WALLS TO CEILING
M.R. GYP. BD. = MOISTURE RESISTANT GYPSUM BOARD	(2) MATCH EXISTING BASE MOLDING
RE: ELEV. = REFER TO ELEVATIONS	(3) MATCH EXISTING CHAIR RAIL
PRE-FIN = PRE-FINISHED	
LVT = LUXURY VINYL TILE	

NOTE: FINAL SELECTION OF ALL MATERIALS AND COLORS TO BE DETERMINED BY OWNER.

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**A2.1**  
DOOR, WINDOW & ROOM FINISH SCHEDULE

GENERAL NOTE

1 ALL HEIGHT DIMENSIONS ARE TO BE FIELD VERIFIED. DIMENSIONS SHOWN HERE ARE APPROXIMATES ONLY, MATCH EXISTING FLOOR HEIGHTS AND TOP PLATE HEIGHTS



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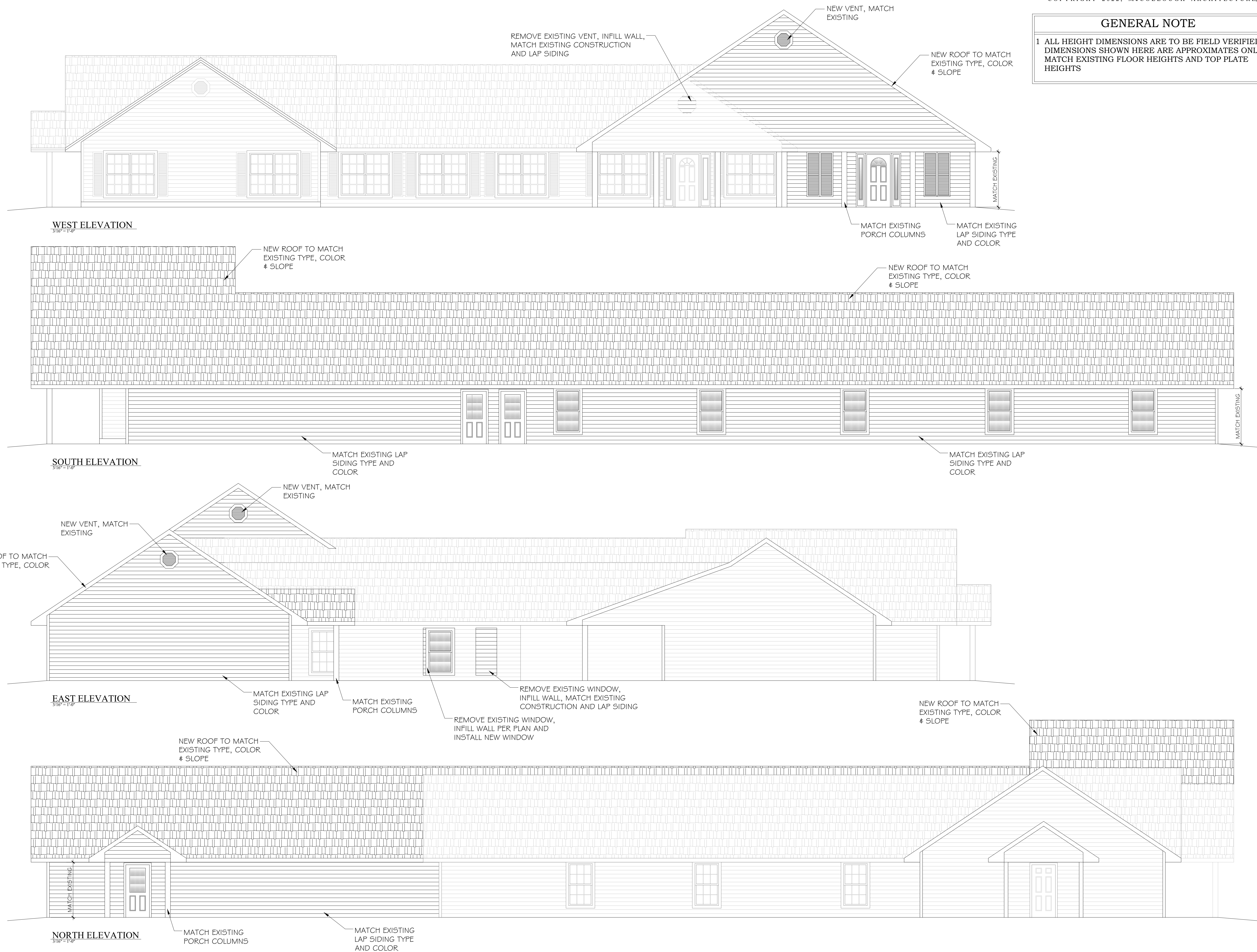
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A3.1

EXTERIOR ELEVATIONS





LAST SAVED: JEFFREY WILLIAMSON, 11/14/2022 2:04:41 PM (B:\Bethel\Engineering\Main\Structural\Engineering\B.E. Engineering\CB.LLC\2022\CB2027\414 The Landing Renovation\CB2027\414\Drawings\Design\S-0.0.dwg) INTENT ARE THE SOLE PROPERTY OF B/E ENGINEERING CB, LLC AND THEIR CLIENT & MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION. DO NOT SCALE FROM DRAWINGS.

GENERAL:

- 1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO STARTING CONSTRUCTION AND SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES OR INCONSISTENCIES WITH ANY WORK SO INVOLVED.
2. ALL PHASES OF THE WORK SHALL CONFORM TO THE MINIMUM STANDARDS AND REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE AND ITS RELATED REFERENCES.
3. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS NOTED OTHERWISE, THEY DO NOT INDICATE THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND OTHER PERSONNEL DURING CONSTRUCTION.
4. ALL ASTM SPECIFICATIONS NOTED ON THESE DRAWINGS SHALL BE OF THE LATEST EDITIONS OR REVISIONS.
5. IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE CONTRACT DRAWINGS OR CALLED FOR IN THE NOTES OR SPECIFICATIONS, THEN THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN. IF SIMILAR CONDITIONS ARE NOT SHOWN, THEN CONTACT THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO START OF WORK FOR CLARIFICATIONS.
6. EXISTING CONDITIONS DEPICTED ON THESE DRAWINGS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR, AS THEY ARE UNCOVERED DURING THE CONSTRUCTION. IN THE EVENT EXISTING CONDITIONS ARE DIFFERENT THAN SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IMMEDIATELY AND AWAIT FURTHER INSTRUCTION BEFORE PROCEEDING WITH CONSTRUCTION.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL DIMENSIONS AND ELEVATIONS ON THE STRUCTURAL DRAWINGS ARE THE SAME OR EQUIVALENT TO THOSE ON THE ARCHITECTURAL DRAWINGS. NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
8. VERIFY ALL OPENINGS IN FOUNDATIONS, FLOORS, WALLS, AND ROOF WITH MECHANICAL AND ELECTRICAL REQUIREMENTS BEFORE PROCEEDING WITH CONSTRUCTION.
9. SITE WORK AND DRAINAGE DESIGN SHALL BE BY OTHERS.

CODES:

LOCAL CODES, ORDINANCES, AND AMENDMENTS

GENERAL BUILDING CODE: 2018 INTERNATIONAL RESIDENTIAL CODE ASCE 7-16

CONCRETE CODES: BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-14) GUIDE TO DESIGN OF SLABS-ON-GROUND (ACI 309R-10)

MASONRY CODES: BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 402-13/ACI 530-13/ASCE 5-13)

WOOD CODES: AWC MANUAL FOR ENGINEERED WOOD CONSTRUCTION (2018) AWC NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION (2018) AWC SPECIAL DESIGN PROVISIONS FOR WIND & SEISMIC (SDPWS) (2015) AWC NATIONAL DESIGN SPECIFICATION (NDS) SUPPLEMENT (2018) AWC WOOD FRAME CONSTRUCTION MANUAL (WFCM) (2018)

DESIGN LOADS:

- FLOOR LOADS: DEAD LOAD 10 PSF, LIVE LOAD 40 PSF
CEILING LOADS: DEAD LOAD 10 PSF, LIVE LOAD 10 PSF (UNINHABITABLE ATTIC w/o STORAGE), 20 PSF (UNINHABITABLE ATTIC w/ LIMITED STORAGE), 30 PSF (HABITABLE ATTICS AND ATTICS w/ FIXED STAIRS)
ROOF LOADS: DEAD LOAD 10 PSF, LIVE LOAD 20 PSF
WIND LOADS: WIND SPEED = 160 MPH, EXPOSURE = B, RISK CATEGORY II, WIND DIRECTIONALITY FACTOR, Kd = 0.85, TOPOGRAPHIC FACTOR, Kzt = 1.0, GUST-EFFECT FACTOR, G = 0.85, ENCLOSURE CLASSIFICATION = ENCLOSED BUILDING, INTERNAL PRESSURE COEFFICIENT = +/- 0.18, # = 3 FEET, ROOF SLOPE = 8/12 = 33.69°

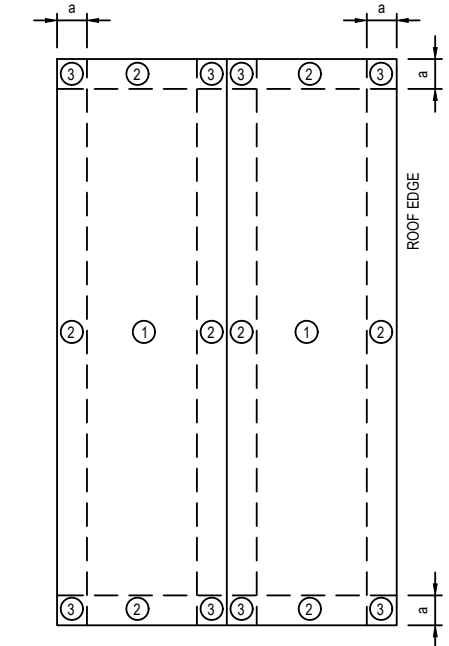
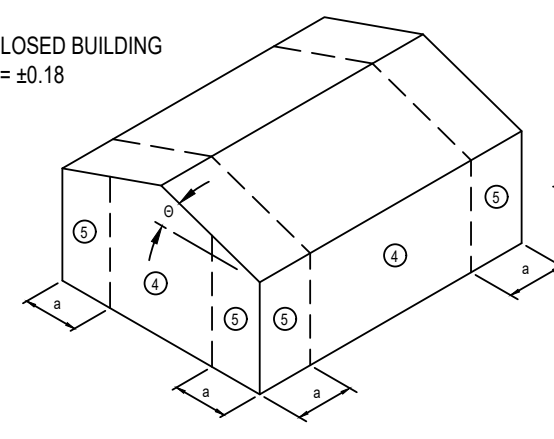


Table with 4 columns: EFFECTIVE AREA (SF), > 2a FROM CORNER (ZONE 4), <= 2a FROM CORNER (ZONE 5), and values for various window and door sizes.

Table with 5 columns: EFFECTIVE AREA (SF), ZONE 1, ZONE 2, ZONE 3, and values for roof and wall loads at different wind directions.

FOUNDATIONS:

- 1. NO SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE SOIL SUPPORT FOR THE FOUNDATION DESIGN, AND SHALL REPORT UNEXPECTED CONDITIONS TO THE DESIGNER.
2. ALLOWABLE SOIL BEARING = 1500 PSF. THIS PRESUMPTIVE CAPACITY IS BASED ON THE ASSUMPTION THAT THE EXISTING SOILS ARE AS DESCRIBED IN SECTION R401.4 AND TABLE R401.4.1 OF THE INTERNATIONAL RESIDENTIAL CODE. THE ENGINEER OF RECORD MAKES NO WARRANTY OR GUARANTEE OF FUTURE SETTLEMENT OF THE EXISTING SOILS. THE TOP 12 INCHES OF EXISTING SOIL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT.
3. ALL FOOTINGS, OR PORTIONS THEREOF, BELOW GRADE MAY BE EARTH FORMED BY NEAT EXCAVATIONS.
4. FOOTINGS TO BE CENTERED ON WALLS OR COLUMNS UNLESS NOTED OTHERWISE.
5. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINTS OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATIONS OR FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
6. STRUCTURES REQUIRED BY THE PERMITTING AUTHORITY TO BE FLOOD RESISTANT SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER REGARDING THE DESIRED TOP OF FOUNDATION ELEVATION.

CONCRETE WORK:

- 1. CONCRETE (NORMAL WEIGHT) COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI, UNLESS NOTED OTHERWISE.
2. PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I OR II.
3. ALL AGGREGATE FOR NORMAL WEIGHT CONCRETE SHALL MEET ASTM C33.
4. ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185.
5. MINIMUM WWF LAP SHALL BE THE GREATER OF ONE CROSS WIRE SPACING PLUS 2 INCHES OR MINIMUM OF 6 INCHES.
6. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST ADOPTION EDITION OF THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318) AND ITS REVISIONS AND THE "ACI MANUAL OF CONCRETE PLACEMENT."
7. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI STANDARDS. NO WELDING OF REINFORCEMENT SHALL BE ALLOWED UNLESS NOTED OTHERWISE OR APPROVED BY ENGINEER.
8. NO SPLICING OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. LAP SPLICES WHERE PERMITTED SHALL BE CLASS B TENSION LAP SPLICES, UNLESS NOTED OTHERWISE. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
9. STAGGER SPLICES A MINIMUM OF 4'-0" FOR CONTINUOUS BARS IN ALL CONCRETE WORK, UNLESS NOTED OTHERWISE.
10. PROVIDE TWO (2) #5 BARS (1 EACH FACE) WITH MINIMUM 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE UNLESS NOTED OTHERWISE.
11. SLABS, WALLS, AND PILE CAPS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE.
12. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCED CAST-IN-PLACE CONCRETE:
12.1. CONCRETE PLACED AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 INCHES
12.2. FORMED CONCRETE EXPOSED TO EARTH OR WEATHER: #6 - #18 BARS 2 INCHES, #5 BARS AND SMALLER 1.5 INCHES
12.3. CONCRETE NOT EXPOSED TO WEATHER NOR IN CONTACT WITH EARTH:
12.3.1. SLABS, WALL, AND JOISTS: #14 AND #18 BARS 1.5 INCHES, #11 BARS AND SMALLER 1 INCH
12.3.2. BEAMS, COLUMNS, AND WALL JAMBS: PRIMARY REINFORCEMENT, TIES, STRIPPERS, AND SPIRALS: #14 AND #18 BARS 2.5 INCHES, #11 BARS AND SMALLER 1.5 INCHES
13. PROVIDE REINFORCING BAR PLACING ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT IN ACCORDANCE WITH ACI MANUAL OF STANDARD PRACTICE.
14. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE STRUCTURAL ENGINEER.
15. ALL FIELD BENDING OF REINFORCING BARS SHALL BE MADE COLD FOR #8 BARS AND SMALLER, #9, #10 AND #11 BARS UPON APPROVAL MAY BE PREHEATED UNIFORMLY AND CAREFULLY BENT OR STRAIGHTENED PER CRSI RECOMMENDATIONS.
16. ALL REINFORCING BAR ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
17. PROJECTING CORNERS OF BEAMS, COLUMNS, ETC. SHALL BE FORMED WITH 3/4" CHAMFER UNLESS NOTED OTHERWISE.
18. CONSTRUCTION JOINTS SHALL BE PROVIDED TO MINIMIZE CRACKING. CONSTRUCTION JOINTS SHALL BE CAULKED USING A URETHANE CAULKING.
19. TERMITE PROTECTION SHALL BE INSTALLED TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
20. THE CONTRACTOR SHALL PASS ALL REQUIRED LOCAL INSPECTIONS PRIOR TO PLACING CONCRETE.
21. UNLESS OTHERWISE DIRECTED BY THE OWNER, THE PORCH, PATIO, AND GARAGE SURFACES SHALL BE LIGHT BROOM FINISHED AND THE HOUSE SHALL BE SMOOTH FAN FINISH.

STRUCTURAL LUMBER:

- 1. WOOD FRAMING AND COLUMNS 5" x 5" AND LARGER SHALL BE NO. 1 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 1350 PSI, Fc = 375 PSI, Fcl = 825 PSI, Fv = 165 PSI, E = 1,500,000 PSI
2. WOOD FRAMING AND COLUMNS 2" x 4" THICK AND 2" x 4" WIDE SHALL BE NO. 2 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 1100 PSI, Fc = 565 PSI, Fcl = 1450 PSI, Fv = 175 PSI, E = 1,400,000 PSI
3. WOOD FRAMING AND COLUMNS 2" x 4" THICK AND 5-6" WIDE SHALL BE NO. 2 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 1000 PSI, Fc = 565 PSI, Fcl = 1400 PSI, Fv = 175 PSI, E = 1,400,000 PSI
4. WOOD FRAMING AND COLUMNS 2" x 4" THICK AND 8" WIDE SHALL BE NO. 2 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 925 PSI, Fc = 565 PSI, Fcl = 1350 PSI, Fv = 175 PSI, E = 1,400,000 PSI
5. WOOD FRAMING AND COLUMNS 2" x 4" THICK AND 10" WIDE SHALL BE NO. 2 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 800 PSI, Fc = 565 PSI, Fcl = 1300 PSI, Fv = 175 PSI, E = 1,400,000 PSI
6. WOOD FRAMING AND COLUMNS 2" x 4" THICK AND 12" WIDE SHALL BE NO. 2 STRESS RATED SOUTHERN PINE OR BETTER WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 750 PSI, Fc = 565 PSI, Fcl = 1250 PSI, Fv = 175 PSI, E = 1,400,000 PSI
7. 2x4 WALL STUDS AND PLATES SHALL BE SPRUCE-PINE-FIR IN STUD GRADE WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 675 PSI, E = 1,200,000 PSI
8. 2x6 WALL STUDS AND PLATES SHALL BE SPRUCE-PINE-FIR IN STUD GRADE WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 675 PSI, E = 1,200,000 PSI
9. ALL LVL BEAMS SHALL BE VERSALAM AS MANUFACTURED BY BOISE CASCADE, OR AN APPROVED EQUAL WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 3100 PSI, Fc = 750 PSI, Fcl = 3000 PSI, Fv = 285 PSI, E = 2,100,000 PSI
10. ALL GLULAM BEAMS SHALL BE POWER PRESERVED GLULAM BEAMS BY ANTHONY FOREST PRODUCTS, OR AN APPROVED EQUAL WITH THE MINIMUM FOLLOWING CHARACTERISTICS: Fb = 2400 PSI, Fc = 740 PSI, Fcl = 1650 PSI, Fv = 300 PSI, E = 1,800,000 PSI
11. ALL WOOD JOISTS SHALL BE AS MANUFACTURED BY BOISE CASCADE, OR AN APPROVED EQUAL.
12. PLYWOOD DECKING AS FOLLOWS:
12.A. ALL WALL SHEATHING AND ROOF DECKING SHALL BE APA RATED SHEATHING, STRUCTURAL I OR II, EXTERIOR PLYWOOD. ROOF SHEATHING THICKNESS SHALL BE AS SHOWN ON THE ROOF FRAMING PLAN, BUT 7/16" THICK AT A MINIMUM. PANEL IDENTIFICATION INDEX 1/8" PLYWOOD LONG DIMENSION OF PANEL PERPENDICULAR TO SUPPORTS.
12.B. WALL SHEATHING THICKNESS SHALL BE AS SHOWN ON THE SHEAR WALL PLAN, BUT 7/16" THICK AT A MINIMUM.
12.C. STAGGER ENDS OF SHEETS IF LAYING HORIZONTALLY.
12.D. PROVIDE BLOCKING AT EDGES OF ALL SHEAR WALL PANELS & ROOF SHEETS.
12.E. ROOF SHEATHING NAILING: (U.N.O. ON PLANS) 4" O.C. MAXIMUM SPACING PANEL EDGES 12" O.C. MAXIMUM SPACING INTERMEDIATE SUPPORTS.
12.G. USE MINIMUM 0.113" x 2.98" RING SHANK NAILS (6d RING SHANK).
12.H. INSTALL SIMPSON PSC CLIPS OR USP MODEL PC SHEATHING CLIPS AT ALL UNSUPPORTED EDGES OF ROOF DECK (ONE PER SPAN) PANELS SHALL BE SPACED 1/8" END TO END PER MANUFACTURER'S RECOMMENDATION.
13. TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS & RECOMMENDATIONS OF TP1-2014 & BCSP-2103 BY THE TRUSS PLATE INSTITUTE (TPI).
14. TRUSS MANUFACTURER SHALL SUBMIT FOR APPROVAL CALCULATIONS & SHOP DRAWINGS FOR DETAILS, FABRICATION & ERECTION OF WOOD TRUSSES. DRAWINGS SHALL INCLUDE LAYOUT, SPACING, MATERIAL, MEMBER PROPERTIES, & DETAILS OF CONNECTIONS FOR ALL TIMBER FRAMING INDICATED ON THE DRAWINGS. TRUSSES SHALL BE DESIGNED TO RESIST THE FORCES AS INDICATED, BY THE FABRICATOR, UNDER THE DIRECT SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED.
15. TRUSS MANUFACTURER SHALL DESIGN FOR THE FOLLOWING SUPERIMPOSED LOADS: ROOF TOP CHORD DEAD LOAD 10 PSF, ROOF TOP CHORD LIVE LOAD 20 PSF, BOTTOM CHORD DEAD LOAD 10 PSF, DESIGN ROOF TRUSSES TO RESIST A NET UPLIFT PRESSURE APPLIED NORMAL TO THE ROOF PLANE AS REQUIRED IN THE INTERNATIONAL RESIDENTIAL CODE.
16. IN ADDITION, WOOD TRUSSES SHALL BE DESIGNED FOR ALL CONCENTRATED LOADS HUNG FROM OR SUPPORTED ON TRUSSES. REFER TO MECHANICAL, ELECTRICAL AND ARCHITECTURAL DRAWINGS & SPECIFICATIONS FOR LOADING INFORMATION & LOCATIONS. LOADS AS REQUIRED BY OTHER SUB-CONTRACTORS, SUCH AS FIRE PROTECTION SHALL BE COORDINATED BY THE GENERAL CONTRACTOR.
17. TEMPORARY BRACING SHALL NOT IMPOSE ANY FORCES ON THE SUPPORTING STRUCTURE. PERMANENT BRACING FORCES SHALL BE TRANSFERRED TO THE ROOF DIAPHRAGM BY THE BRACING DESIGN PROVIDED BY THE TRUSS MANUFACTURER.
18. ALL SAWN LUMBER IN CONTACT WITH STEEL, MASONRY, OR CONCRETE OR EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARD U1-21 TO THE REQUIREMENTS OF USE CATEGORIES 2, 3, OR 4.
19. ALL MULTIPLE PIECE WOOD BEAMS SHALL BE CONNECTED TOGETHER WITH MINIMUM TWO ROWS OF 16d NAILS @ 8" O.C. (U.N.O.).
20. NAILING U.N.O., SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE INTERNATIONAL RESIDENTIAL CODE.
21. ALL CONNECTORS AND HARDWARE SHALL BE INSTALLED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. SIZE, QUANTITY, AND LOCATION OF NAILS AND FASTENERS SHALL CONFORM TO THE MANUFACTURER'S PUBLISHED LITERATURE.
22. ALL BOLTS, NAILS, JOIST HANGERS, CLIPS, STRAPS, ETC. THAT ARE IN CONTACT WITH PRESSURE TREATED MATERIAL SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
23. ALL LUMBER AND WOOD STRUCTURAL PANEL MEMBERS, INCLUDING PRESSURE TREATED 2" THICK AND LESS SHALL CONTAIN NO MORE THAN 19% MOISTURE AT THE TIME OF PERMANENT INCORPORATION INTO STRUCTURE.
24. FLOOR JOISTS SHALL BE DOUBLED UNDER PARALLEL WALLS U.N.O. ON PLANS.
25. SOLID 2x BLOCKING OR DIAGONAL 1x BLOCKING SHALL BE PLACED BETWEEN FLOOR JOISTS AT INTERVALS NOT EXCEEDING 8 FT. UNDER LOAD BEARING WALLS.
26. STRUCTURAL MEMBERS SHALL NOT BE CUT, BORED, OR NOTCHED IN EXCESS OF THE LIMITATIONS OF THE MANUFACTURER'S PUBLISHED LITERATURE OR THE INTERNATIONAL RESIDENTIAL CODE.

MASONRY:

- 1. HOLLOW CONCRETE BLOCK (MASONRY) UNITS SHALL CONFORM TO ASTM C90 SPECIFICATIONS, NORMAL WEIGHT, TYPE I, GRADE N.
2. COMPOSITION, QUALITY, STORAGE, HANDLING, PREPARATION AND PLACEMENT OF MATERIALS, QUALITY ASSURANCE FOR MATERIALS AND MASONRY AND CONSTRUCTION OF MASONRY SHALL COMPLY WITH TMS 402/ACI 530/ASCE 5. A QUALITY ASSURANCE PROGRAM SHALL BE USED TO ENSURE THAT THE CONSTRUCTED MASONRY IS IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
3. SPECIFIED COMPRESSIVE STRENGTH OF MASONRY SHALL BE A MINIMUM OF Fm = 1500 PSI.
4. MINIMUM NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS SHALL BE 1900 PSI.
5. ALL MORTAR USED IN MASONRY SHALL CONFORM TO ASTM C270 TYPE M OR S. TYPE N MASONRY CEMENT MORTAR IS NOT ACCEPTABLE. MASONRY SHALL BE LAID IN MORTAR IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE SECTION 2103 AND TABLES 2103.8(1) AND 2103.8(2).
6. ALL REINFORCING IN MASONRY WALLS SHALL BE FULLY ENCLOSED WITH GROUT. GROUT MIX SHALL CONFORM TO ASTM C476 WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI. USE GROUT TYPE (FINE OR COARSE) THAT WILL COMPLY WITH TABLE 7 (GROUT SPACE REQUIREMENTS) OF ACI 530 SPECIFICATION OF MASONRY STRUCTURES FOR DIMENSIONS OF GROUT SPACES AND FOUR HEIGHTS. PROVIDE A MINIMUM OF 1" GROUT BETWEEN MAIN REINFORCING AND MASONRY UNITS.
7. ALL REINFORCEMENT FOR USE IN MASONRY CONSTRUCTION SHALL CONFORM TO ASTM A615, GRADE 60.
8. ALL DEFORMED WIRE HORIZONTAL REINFORCEMENT IN CMU WALLS SHALL CONFORM TO ASTM A497. PROVIDE #9 TRUSS TYPE JOINT REINFORCEMENT @ 16" O.C. FOR TYPICAL HORIZONTAL REINFORCING AND @ 8" O.C. FOR TYPICAL HORIZONTAL REINFORCING AT PARAPET WALLS.
9. ALL PLAIN WIRE HORIZONTAL REINFORCEMENT IN CMU WALLS SHALL CONFORM TO ASTM A82 OR ASTM A185.
10. MAKE ALL REINFORCING CONTINUOUS BY LAPPING AND PROVIDING CORNER BARS FOR ALL REINFORCEMENT. VERTICAL AND HORIZONTAL REINFORCEMENT IS TO BE CONTINUOUS AND LAPPED A MINIMUM OF 48 BAR DIAMETERS.
11. VERTICAL REINFORCEMENT FOR CMU WALLS TO BE PLACED IN CENTER OF WALL, UNLESS INDICATED OTHERWISE ON THE DRAWINGS. PROVIDE ALL ACCESSORIES AS REQUIRED TO SUPPORT BARS AT LOCATIONS INDICATED.
12. MASONRY IS TO BE LAID IN ACCORDANCE WITH LATEST ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE SECTION 2104.7 AND TABLES 2104.7A AND 2104.7B, OR APPLICABLE LOCAL GOVERNING CODES. ALL CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND IN ACCORDANCE WITH ACI 530.
13. MASONRY WALLS SHALL BE ADEQUATELY BRACED DURING CONSTRUCTION TO WITHSTAND WIND LOADS. BRACING SHALL REMAIN IN PLACE UNTIL ROOF FRAMING IS COMPLETELY INSTALLED AND CAPABLE OF PROVIDING LATERAL SUPPORT.

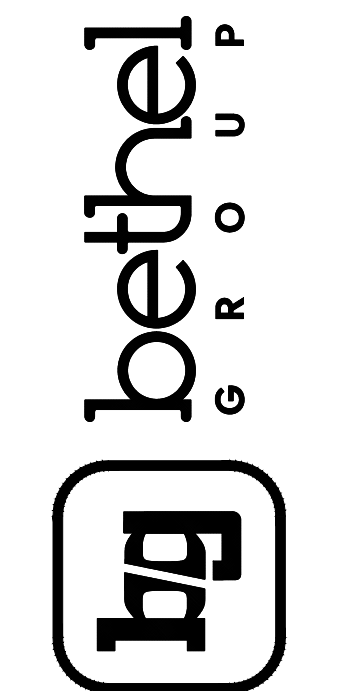
STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST PROVISIONS OF THE AISC MANUAL OF STEEL CONSTRUCTION.
2. ALL STRUCTURAL STEEL SHALL CONFORM TO FOLLOWING: STRUCTURAL WIDE FLANGE SHAPES ASTM A992 MIN 50 KSI, STRUCTURAL M. S. & HP SHAPES ASTM A36, ALL OTHER STRUCTURAL SHAPES ASTM A36, STEEL PIPE ASTM A53 GRADE B, STEEL TUBING ASTM A500 GRADE B, STEEL STUDS ASTM A108
3. WELDING:
3.1. ALL WELDING SHALL BE IN CONFORMANCE WITH ANSII/AWS D1.1 STRUCTURAL STEEL WELDING CODE.
3.2. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
3.3. ALL WELDERS SHALL HAVE EVIDENCE OF PASSING THE AWS STANDARD QUALIFICATION TESTS WITHIN 180 DAYS OF DATE OF FABRICATION OR ERECTION.
3.4. ALL WELDS NOT SPECIFIED SHALL BE CONTINUOUS FILLET WELDS, SIZE OF WELD SHALL BE BASED ON AISC STANDARD FOR THICKER PART JOINED.
4. ANCHOR BOLTS SHALL BE ASTM F1554, GRADE 36, UNLESS NOTED OTHERWISE. IN SIZES INDICATED ON THE DRAWINGS, ALL ANCHOR BOLTS, NUTS AND WASHERS FOR COLUMNS OUTSIDE OF THE BUILDING (i.e. CANOPIES) SHALL BE HOT DIPPED GALVANIZED.
5. BEARING (N) TYPE CONNECTIONS SHALL BE USED AT ALL SIMPLE SHEAR CONNECTIONS, U.N.O. IT IS THE INTENT OF THE ENGINEER THAT ALL CONNECTIONS SHALL BE SHOP-WELDED & FIELD BOLTED TO FULLEST EXTENT POSSIBLE. ALL STRUCTURAL CONNECTIONS NOT SPECIFICALLY DETAILED ON THE DRAWINGS SHALL BE DESIGNED TO RESIST FORCES AS INDICATED, BY THE CONTRACTOR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER REGISTERED IN THE STATE WHERE THE PROJECT IS LOCATED.
6. ALL BOLTS SHALL BE A MIN. OF 3/4" U.N.O. AND SHALL CONFORM TO ASTM A325 HIGH STRENGTH, WITH HEX NUTS & WASHERS U.N.O. ON THE DRAWINGS.
9. OPENINGS SHALL NOT BE ALLOWED IN STRUCTURAL STEEL UNLESS SPECIFICALLY DETAILED OR WITHOUT ENGINEER'S APPROVAL.
10. STRUCTURAL STEEL SHALL BE DELIVERED TO THE JOBSITE FREE OF EXCESS RUST, MILL SCALE, GREASE, ETC. AND/OR SHALL BE FINISHED WITH STANDARD PRIMER.

SHEET INDEX

Table with 2 columns: SHEET NUMBER and SHEET TITLE. Includes entries for GENERAL NOTES, FOUNDATION PLAN, FOUNDATION SECTIONS & DETAILS, CEILING FRAMING PLAN, ROOF FRAMING PLAN, SHEAR WALL PLAN, FRAMING SECTIONS & DETAILS.

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PROPOSED RENOVATION CONSTRUCTION FOR
THE LANDING
SOBER LIVING
BAY MINETTE, AL

Table with 2 columns: REV. DATE BY and DESCRIPTION. Includes a REVISION LOG header.

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DRAWN BY: Jeffrey
CHECKED BY: V.D.L.
ISSUE DATE: 11-14-2022



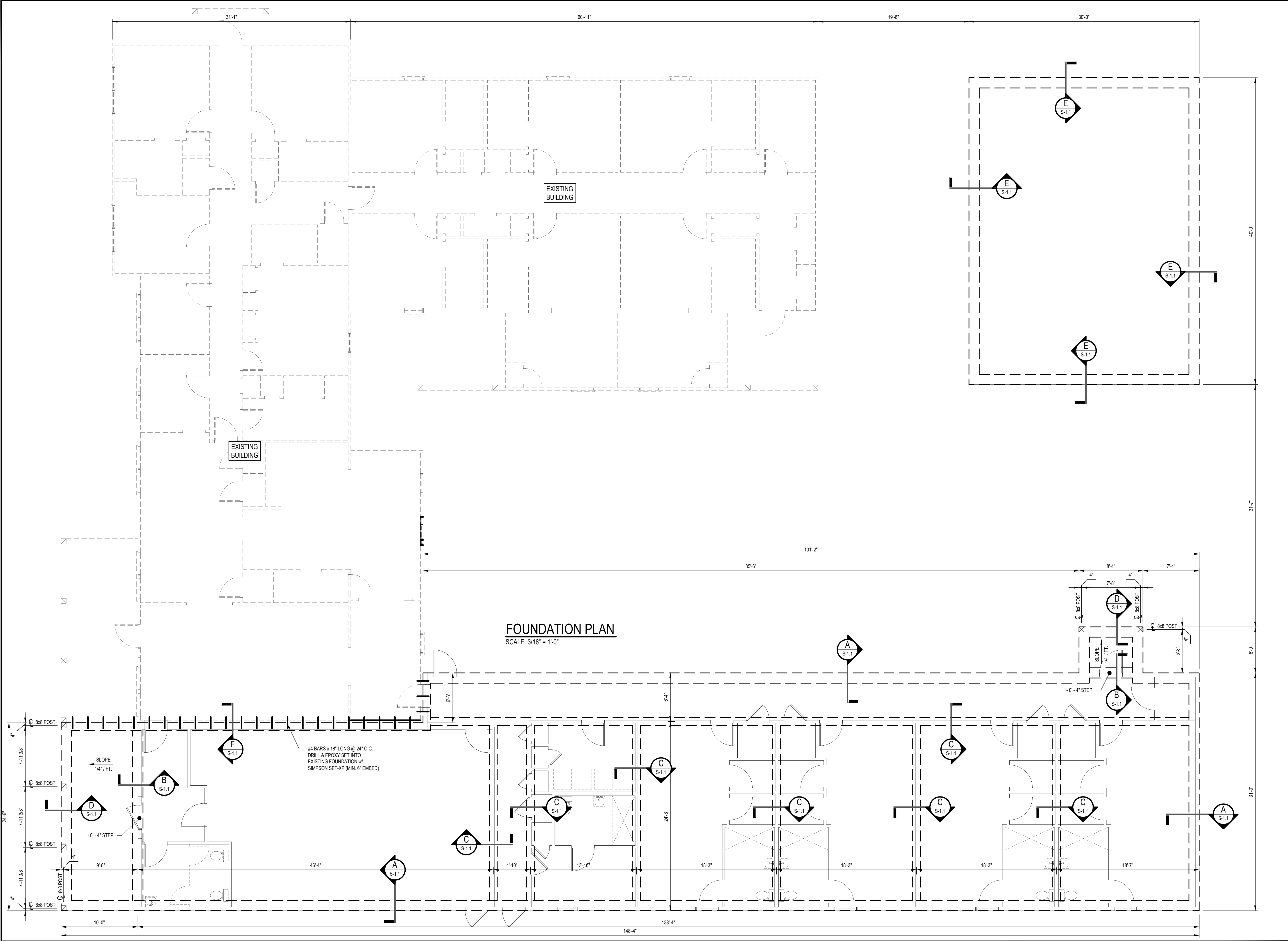
SHEET TITLE & NUMBER: GENERAL NOTES

S-0.0



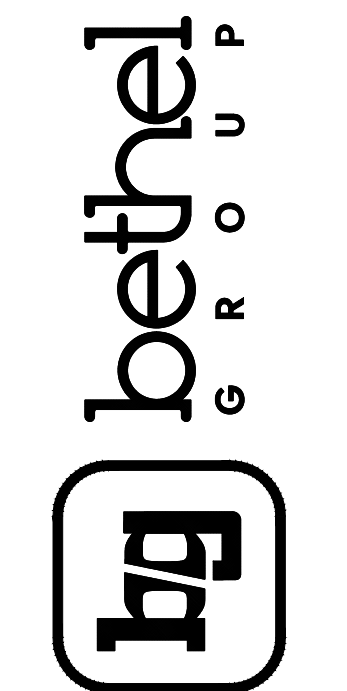


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**FOUNDATION PLAN**  
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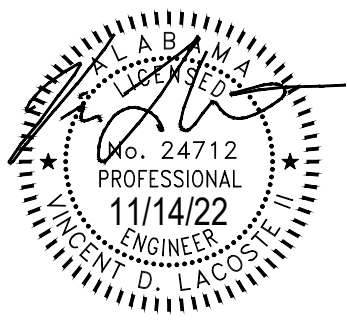
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REV.	DATE	DESCRIPTION

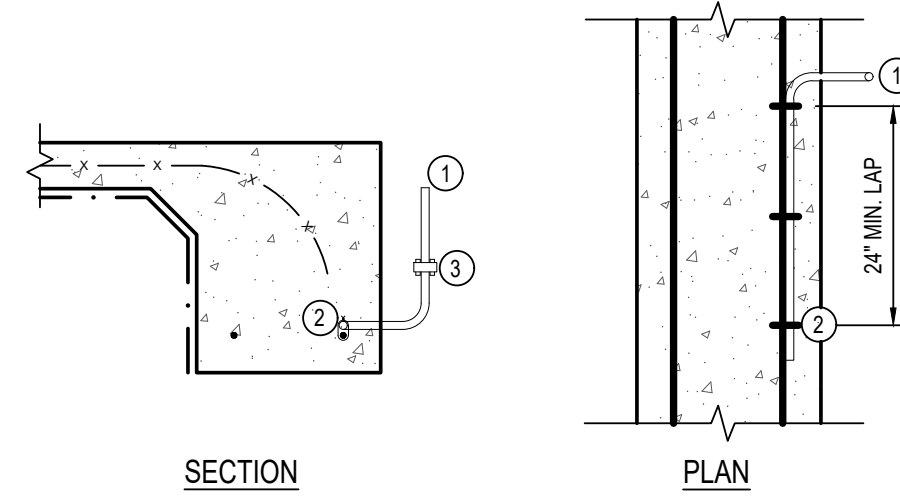
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FOUNDATION PLAN

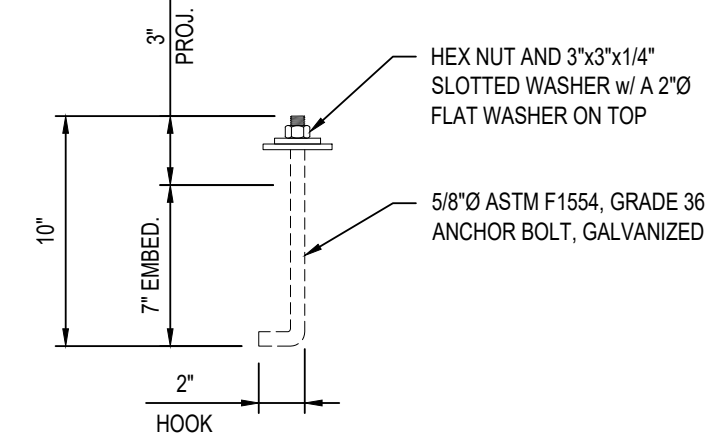
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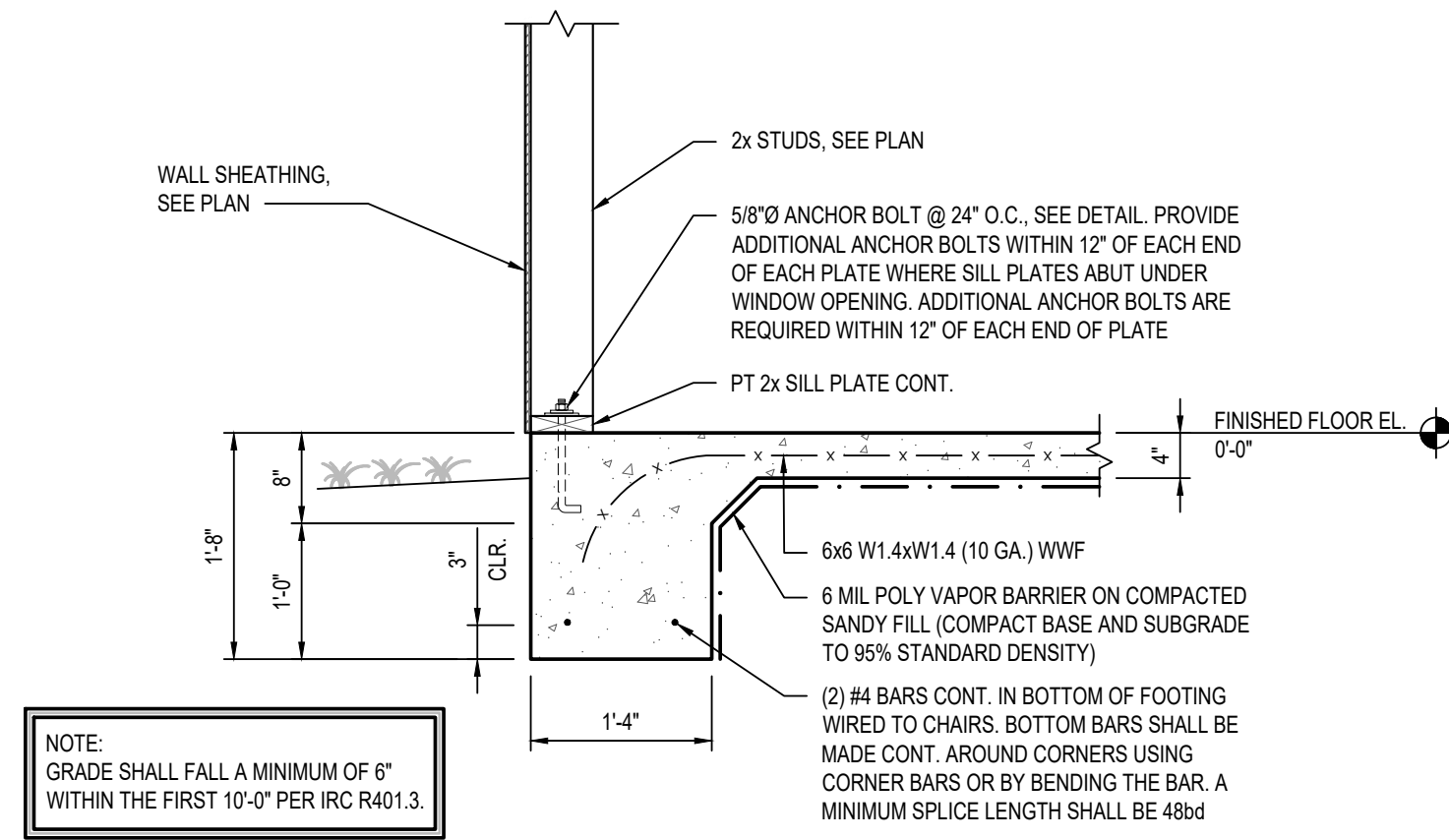


- SECTION**
- PLAN**
- STANDARD GROUNDING ELECTRODE LOCATED CLOSE TO SERVICE ENTRANCE, ABOVE GRADE.
  - ELECTRODE TIED (MIN. 3 TIES) TO OUTER TENSION ROD IN FOOTING - MIN. 24" LAP.
  - ELECTRICIAN TO INSTALL GROUND CLAMP BELOW GRADE, CUT ELECTRODE BELOW GRADE AND INSTALL GROUND SERVICE ENTRANCE.

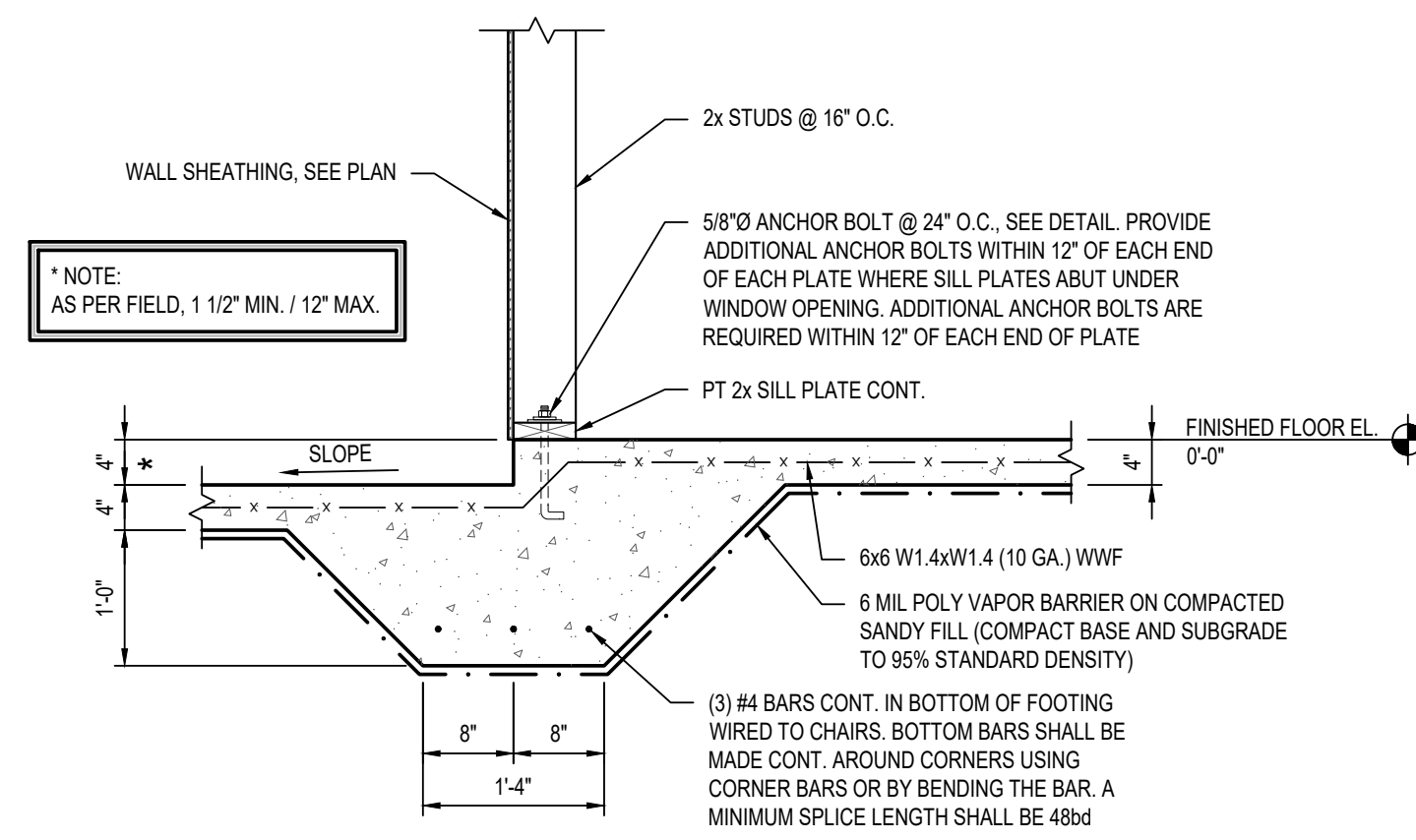
**TYPICAL GROUNDING DETAIL**  
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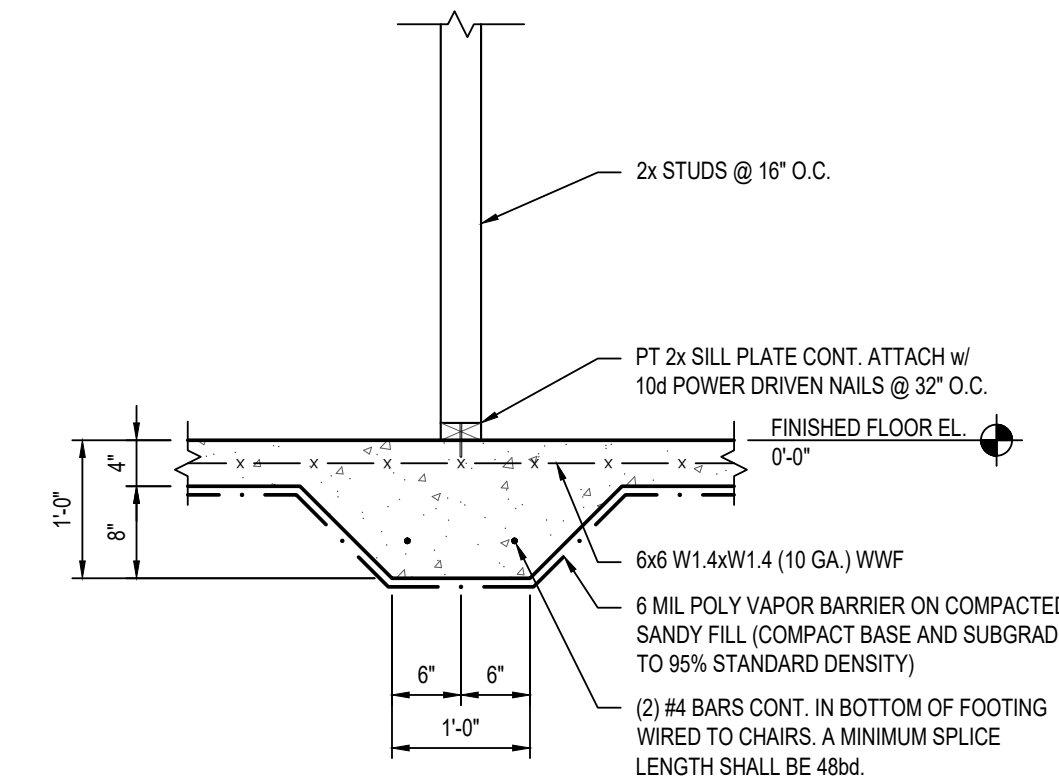
**TYPICAL ANCHOR BOLT DETAIL**  
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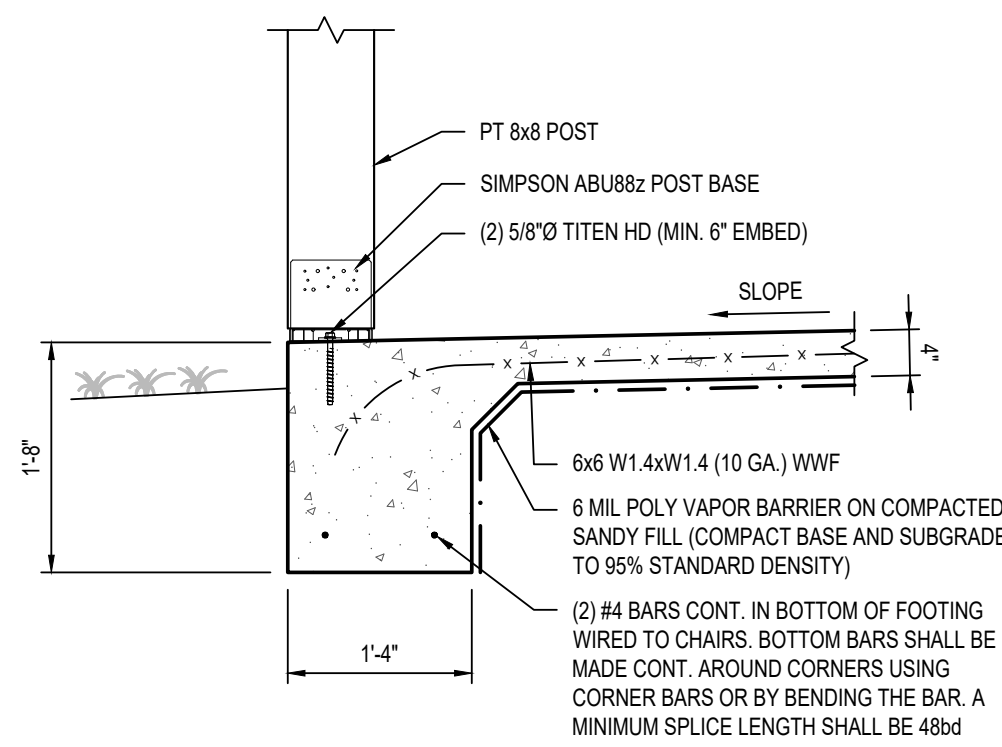
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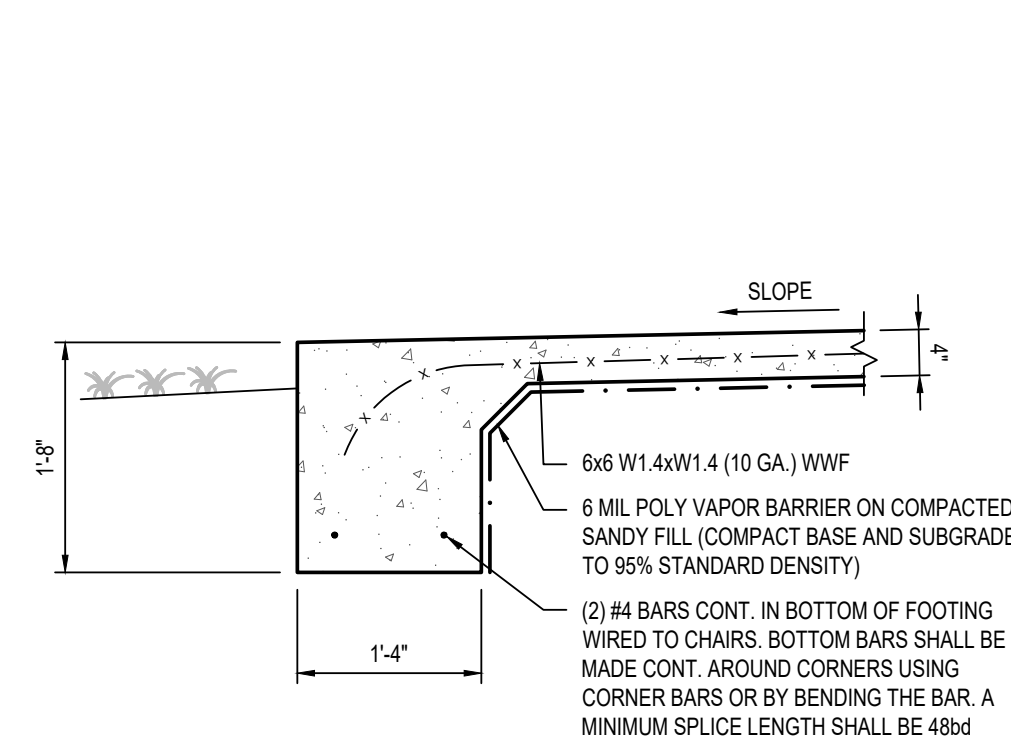
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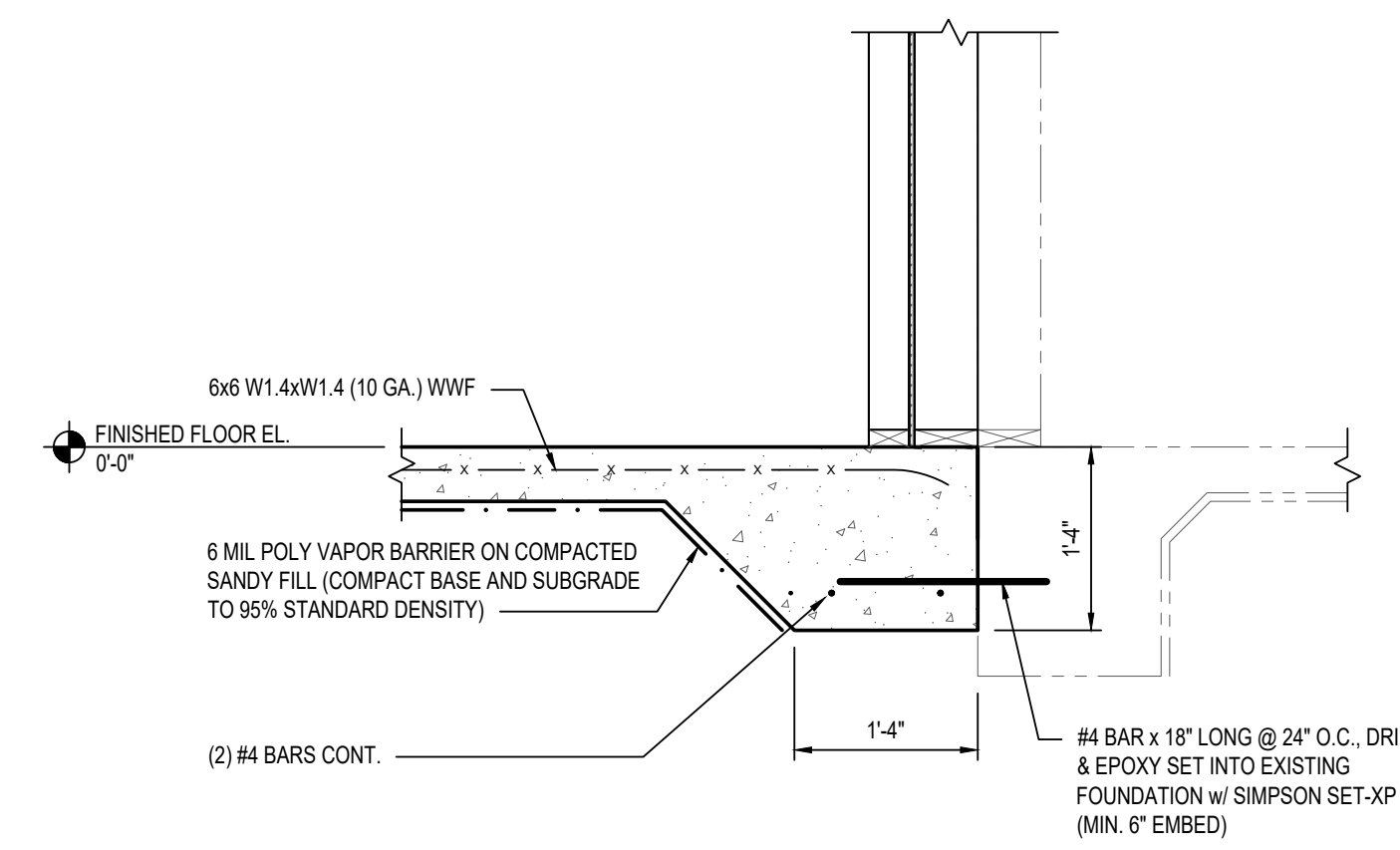
**C SECTION**  
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**D SECTION**  
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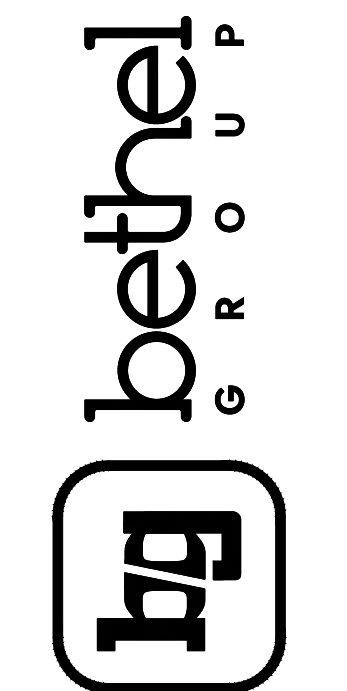


**E SECTION**  
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**F SECTION**  
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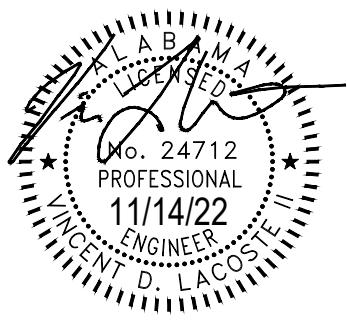
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PROPOSED RENOVATION CONSTRUCTION FOR  
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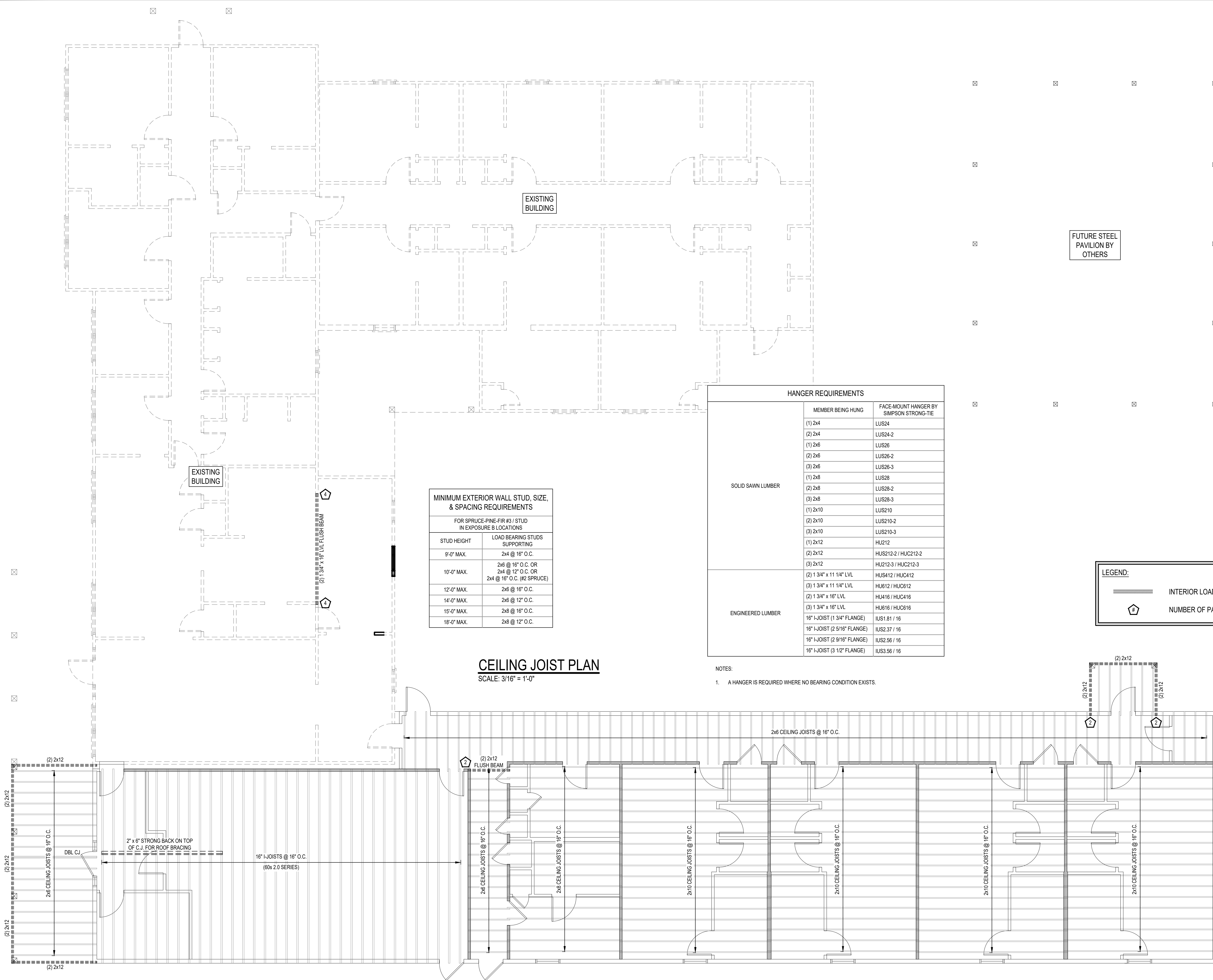
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SHEET TITLE & NUMBER:  
FOUNDATION SECTIONS & DETAILS

**S-1.1**



PROPOSED RENOVATION CONSTRUCTION FOR  
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 SOBER LIVING  
 BAY MINETTE, AL

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SHEET TITLE & NUMBER:  
**CEILING FRAMING PLAN**

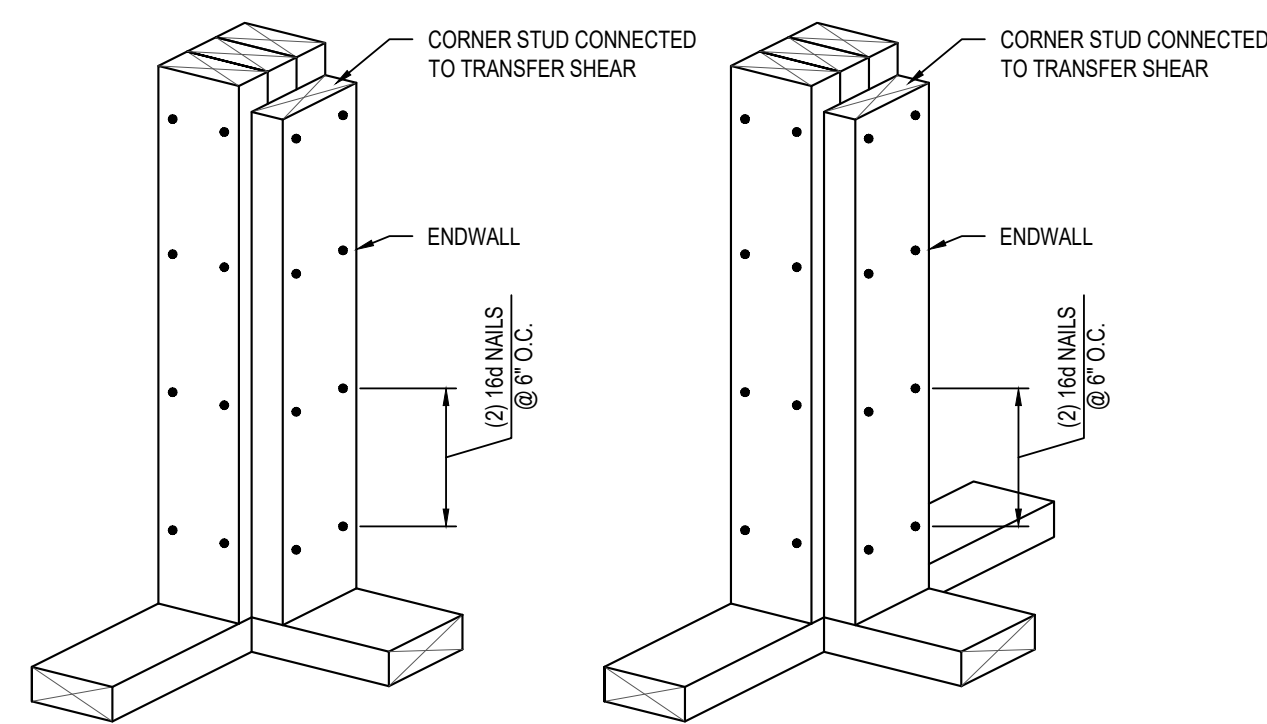
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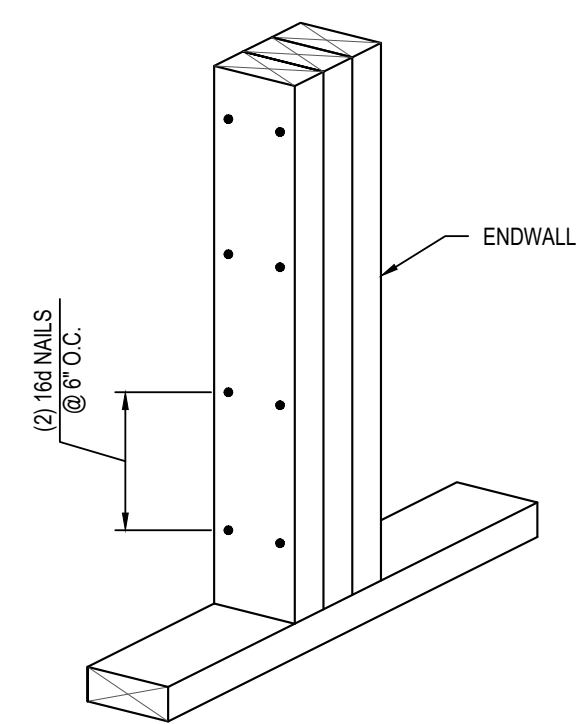




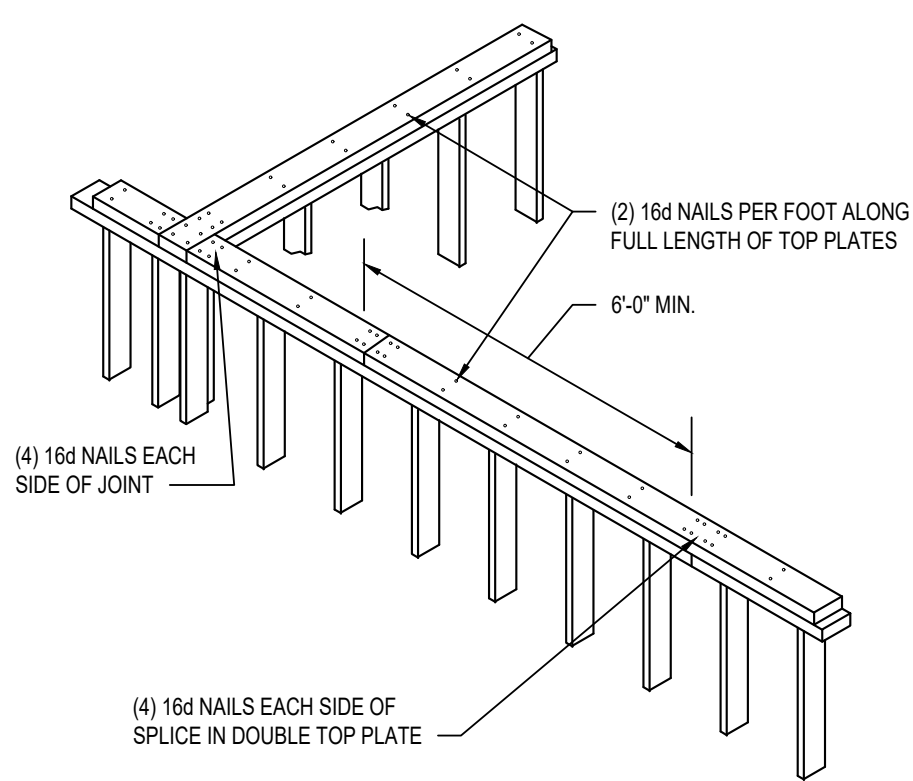
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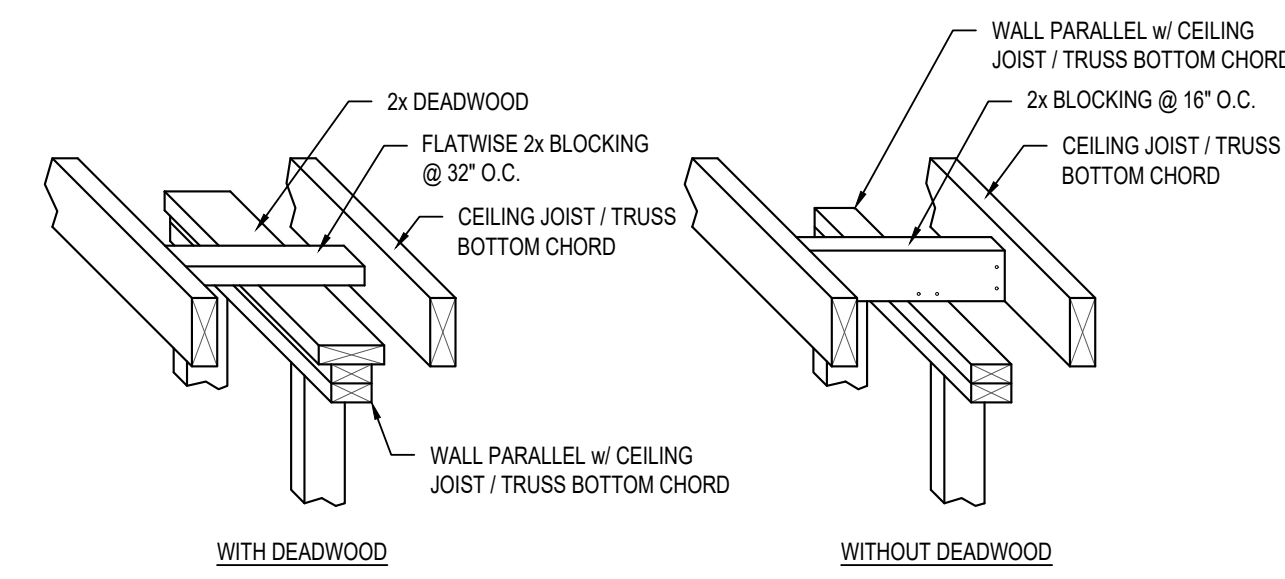
**EXTERIOR CORNER & "T" STUD DETAIL**  
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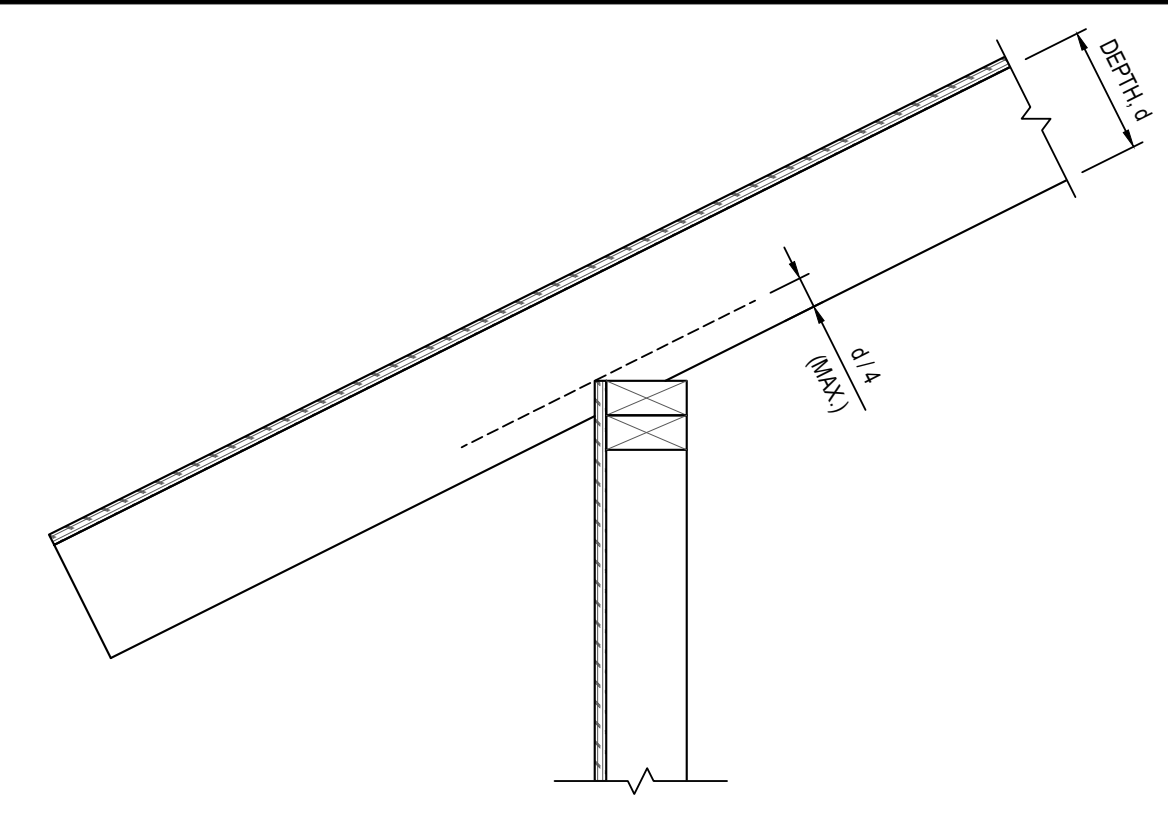
**PACK STUD DETAIL**  
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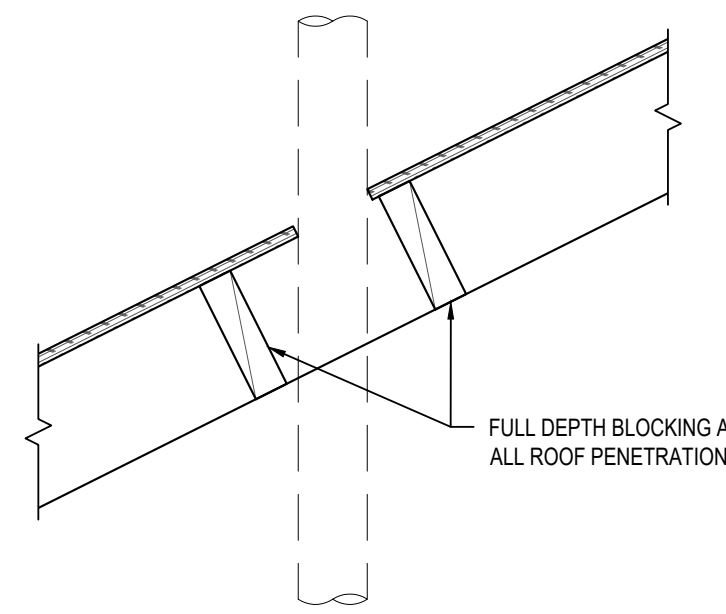
**TYPICAL TOP PLATE NAILING & SPLICE**  
SCALE: N.T.S.



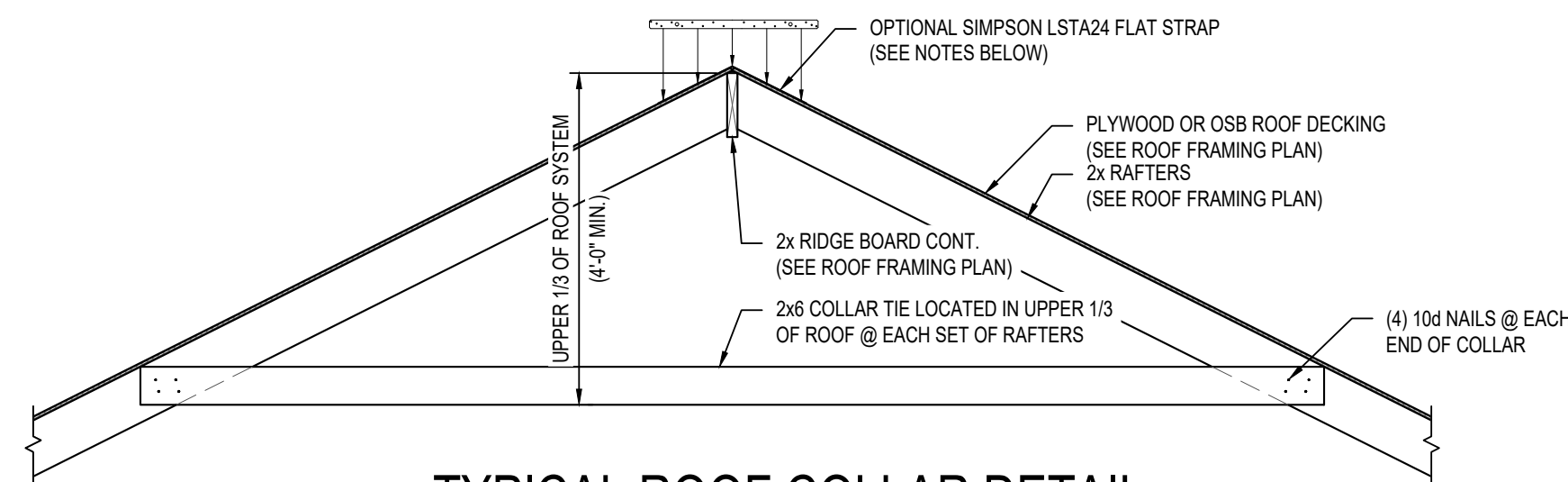
**PARALLEL JOIST & STUD DETAIL**  
SCALE: 3/4" = 1'-0"



**BIRDSMOUTH DETAIL**  
SCALE: 1 1/2" = 1'-0"

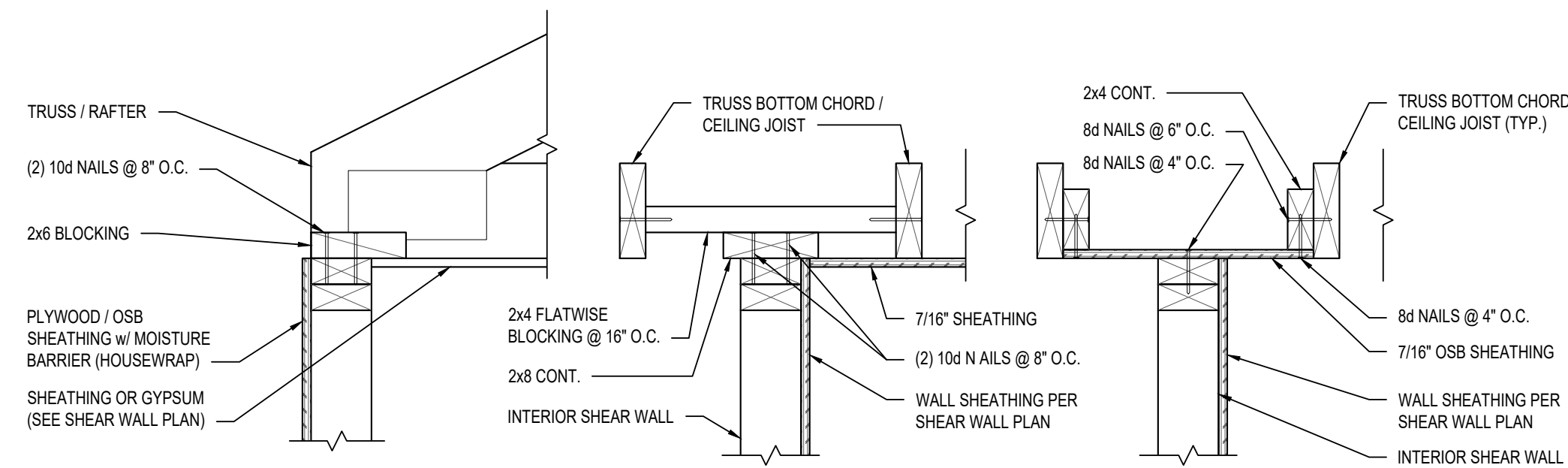


**BLOCKING AT ROOF PENETRATIONS**  
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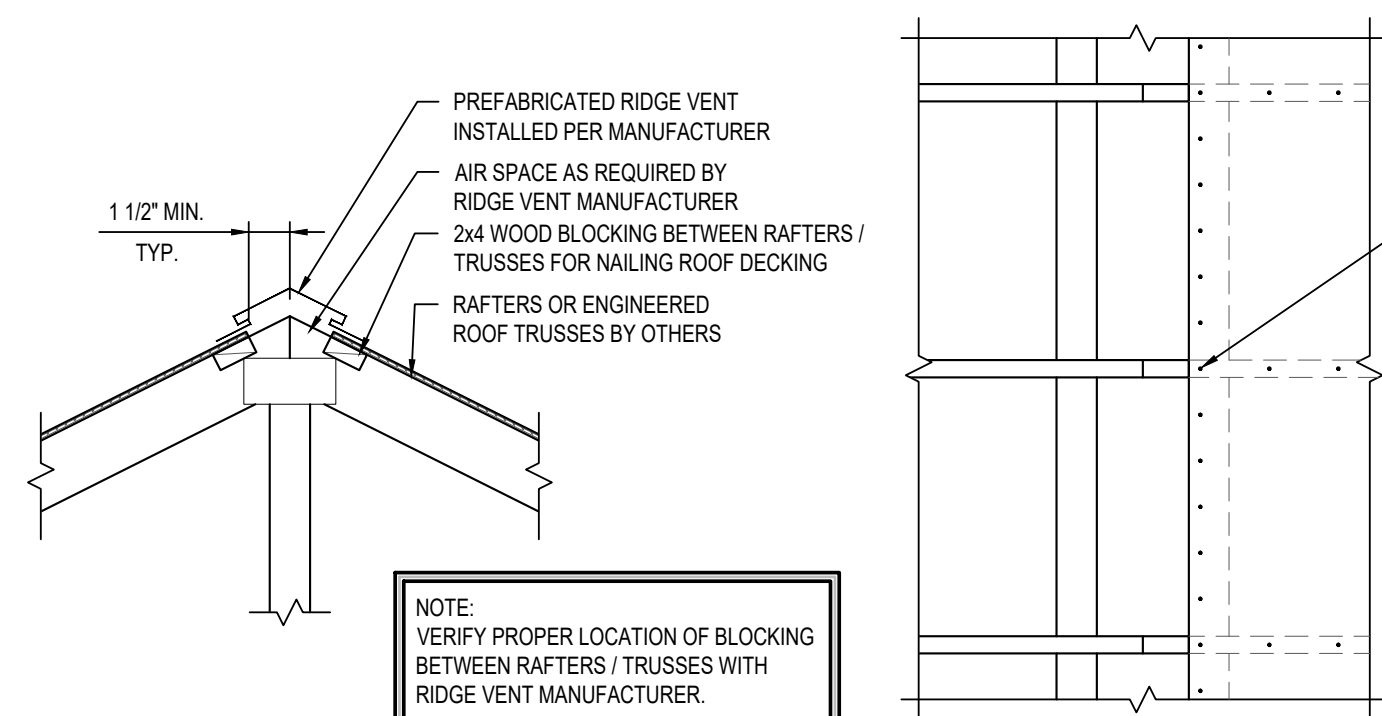


**TYPICAL ROOF COLLAR DETAIL**  
SCALE: 1/2" = 1'-0"

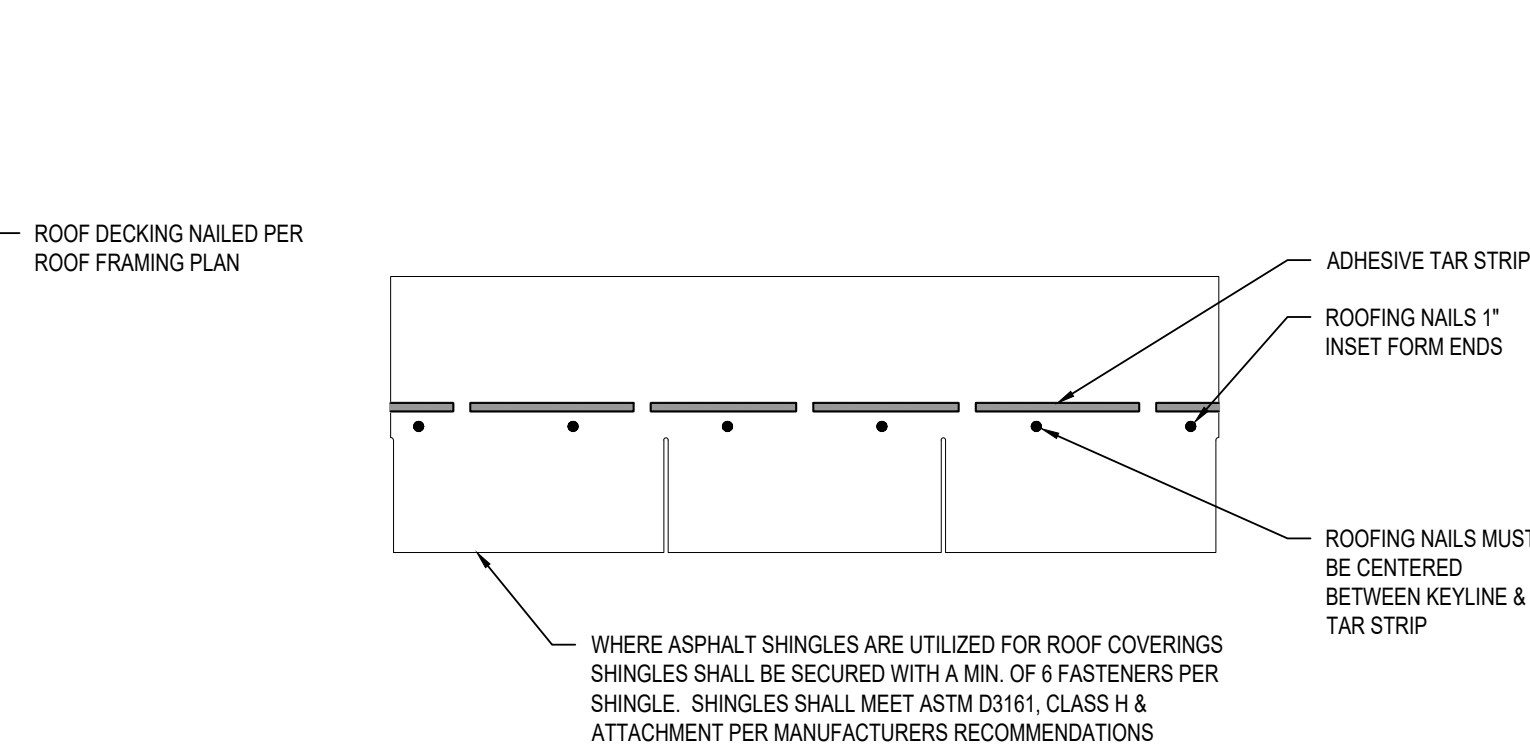
- NOTES:**
- CONTRACTOR HAS THE OPTION TO USE SIMPSON LSTA24 FLAT STRAP @ EACH SET OF RAFTERS IN LIEU OF THE 2x6 ROOF COLLARS NOTED. FASTEN STRAP W/ (6) 8d NAILS ON EACH SIDE OF RIDGE INTO OPPOSING RAFTERS.
  - WHEN STRAPS ARE USED, 2x6 ROOF COLLARS NOTED SHALL BE SPACED AT 6'-0" ON CENTER MAXIMUM.



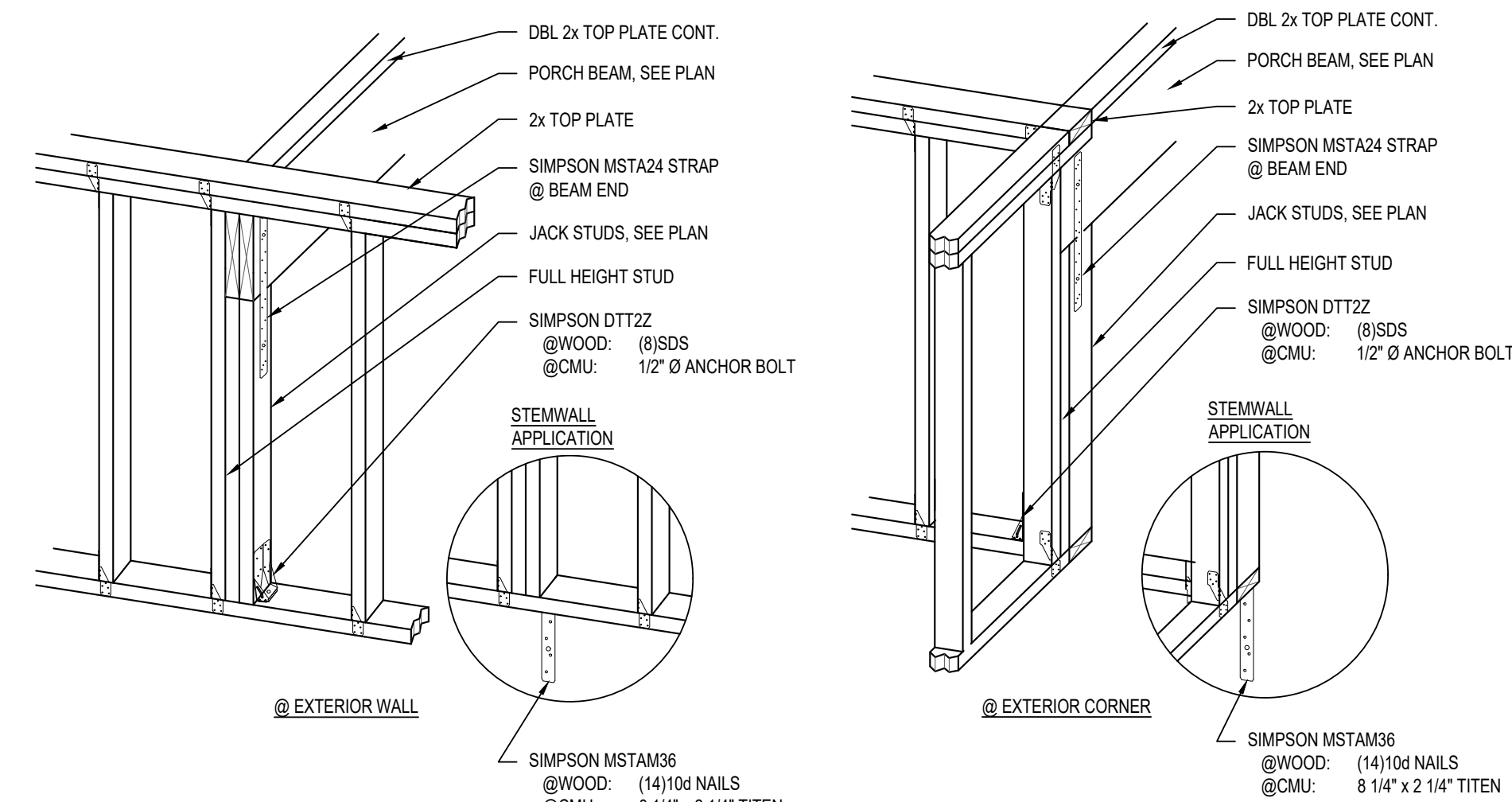
**HORIZONTAL DIAPHRAGM CONNECTION DETAILS**  
SCALE: 1 1/2" = 1'-0"



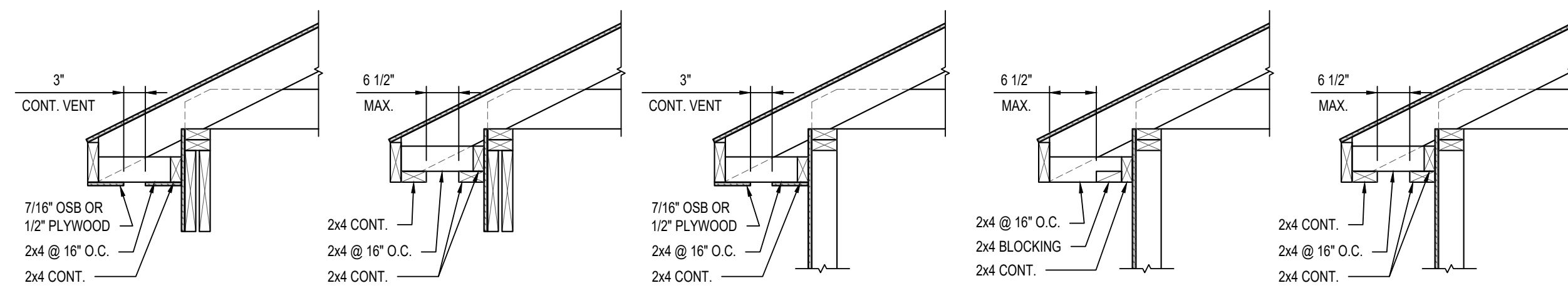
**RIDGE VENT BLOCKING DETAIL**  
SCALE: 3/4" = 1'-0"



**ASPHALT SHINGLE NAILING DIAGRAM**  
SCALE: 1 1/2" = 1'-0"

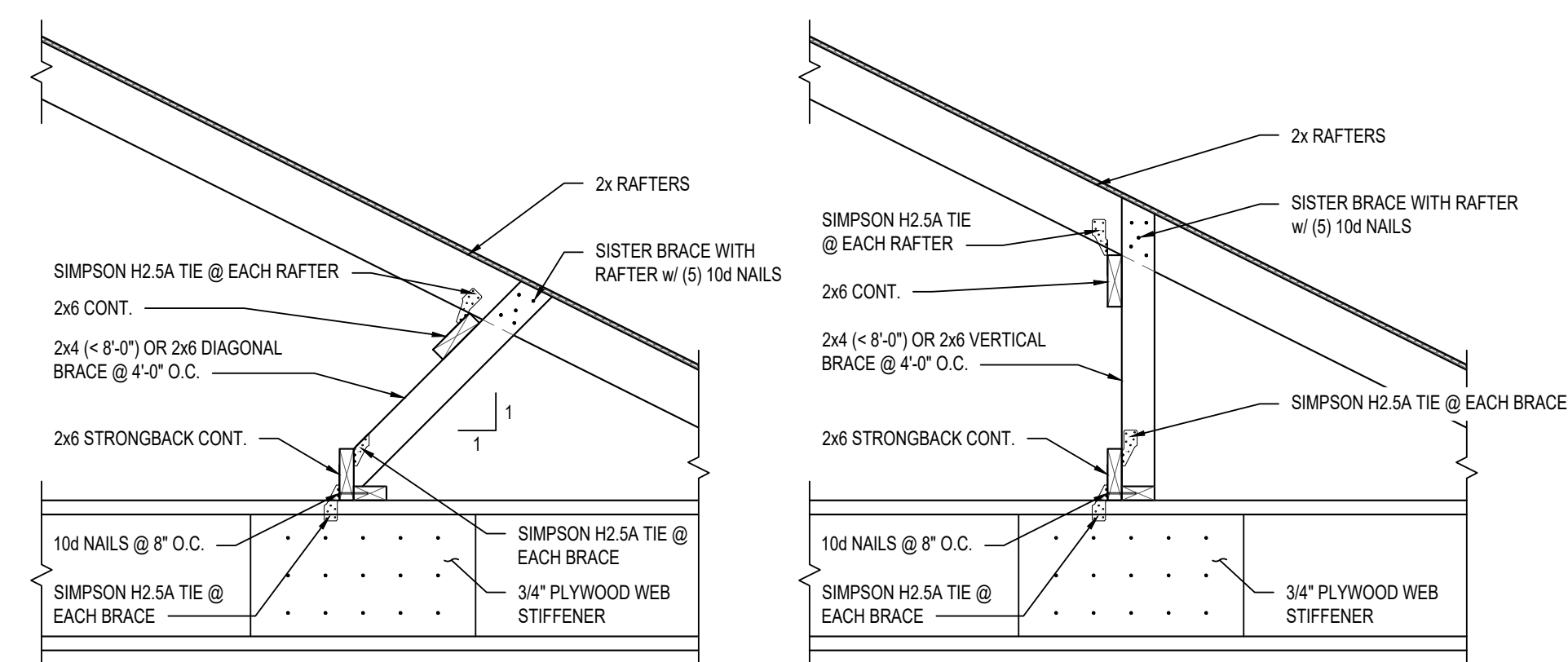


**PORCH BEAM TO EXTERIOR WALL DETAILS**  
SCALE: 3/4" = 1'-0"



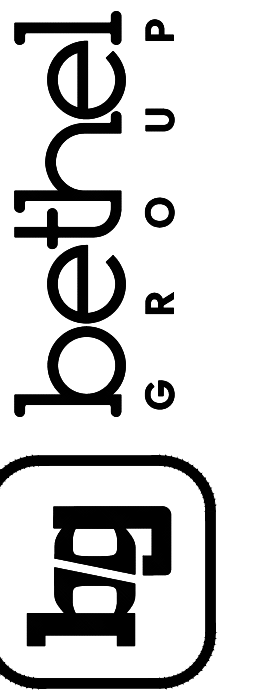
**ALUMINUM / VINYL SOFFIT NAILING DETAILS**  
SCALE: 3/4" = 1'-0"

- NOTES:**
- DETAILS SHOWN ARE LISTED AS OPTIONS. CONTRACTOR MAY SELECT ANY OPTION.
  - IF AN ALTERNATE WAY OF FRAMING IS DESIRED, CONTRACTOR SHALL CONTACT ENGINEER OF RECORD TO VERIFY CONFORMANCE TO LOCAL STANDARDS OR CODES.



**TYPICAL ROOF BRACING DETAILS (@ I-JOIST)**  
SCALE: 3/4" = 1'-0"

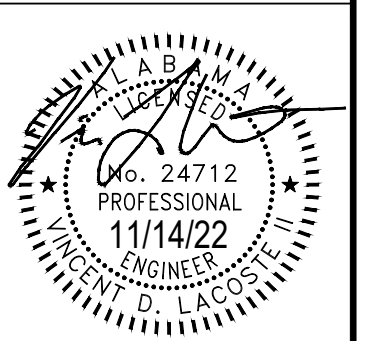
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CHECKED BY: V.D.L.  
ISSUE DATE: 11-14-2022

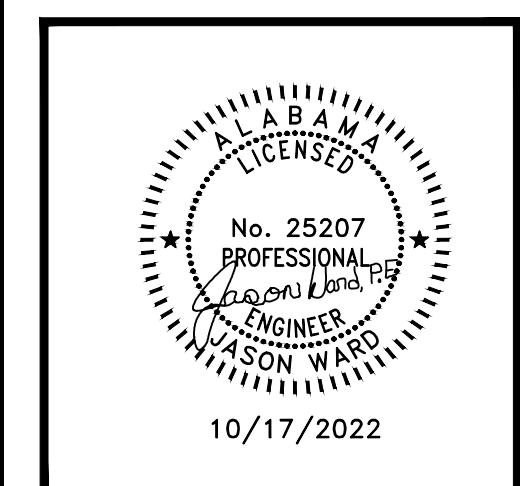


SHEET TITLE & NUMBER:  
FRAMING SECTIONS & DETAILS

**S-5.0**







RENOVATION DRAWINGS FOR  
FOR  
**SOBER LIVING**  
BAY MINETTE, ALABAMA

**JOB NO.:**  
**DRAWN:** XX  
**CHECKED:** XX  
**DATE:** 2022.06.24  
**REVISION:**

**SCALE:** 1:1

**SHEET NO.:**  
**E1.0**  
LEGENDS, NOTES AND SPECIFICATIONS

## LEGEND

- SPECIFICATION GRADE DUPLEX RECEPTACLE, - 20 AMP, 125V. TAMPER PROOF HEAVY DUTY.
- SPECIFICATION GRADE DUPLEX RECEPTACLE, - 20 AMP, 125V. TAMPER PROOF. WITH USB CHARGING PORTS.
- SPECIFICATION GRADE WEATHER RESISTANT, DUPLEX RECEPTACLE - TAMPER PROOF WITH GROUND FAULT INTERRUPT.
- SPECIFICATION GRADE, DUPLEX RECEPTACLE - TAMPER PROOF WITH GROUND FAULT INTERRUPT.
- "C" INDICATES DEVICE MOUNTED @ 2" ABOVE BACKSPASH UNLESS NOTED. COORDINATE IN FIELD.
- SPECIFICATION GRADE, DUPLEX RECEPTACLE - 20 AMP, 125V. TAMPER PROOF HEAVY DUTY. MTD. IN FLOOR BOX, WITH BRASS COVERPLATE.
- 240V SIMPLEX RECEPTACLE, MTD. AS REQUIRED BY EQUIPMENT BEING SERVED, COORDINATE IN FIELD, AMPERAGE AS NOTED.
- SPECIFICATION GRADE 20A-1P TOGGLE SWITCH, HEAVY DUTY
- SPECIFICATION GRADE 20 AMP THREE WAY TOGGLE SWITCH, HEAVY DUTY.
- SPECIFICATION GRADE 0-10V LED DIMMER SWITCH
- SPECIFICATION GRADE 0-10V LED DIMMER/OCCUPANCY SWITCH
- SPECIFICATION GRADE WALL MOUNTED OCCUPANCY SWITCH
- 120V, 20AMP MOTOR RATED TOGGLE SWITCH, WITH LOCKING DEVICE.
- SPECIFICATION GRADE 20A-1P TOGGLE SWITCH WITH PILOT LIGHT, HEAVY DUTY.
- VOICE/DATA OUTLET. RUN (2) CAT 6 CABLES FROM OUTLET TO AV/I.T. CLOSET.
- WALL MOUNTED VOICE OUTLET. RUN (2) CAT 6 CABLES FROM OUTLET TO AV/I.T. CLOSET.
- VOICE/DATA OUTLET, FLOOR MOUNTED. RUN (2) CAT 6 CABLES FROM OUTLET TO AV/I.T. CLOSET.
- CABLE TV OUTLET. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN CO-AX FROM OUTLET TO AV/I.T. CLOSET.
- COMPUTER DATA OUTLET, BOX. FLUSH MOUNTED 1 GANG WALL BOX. CONTRACTOR TO RUN (2) CAT 6 CABLES FROM OUTLET TO AV/I.T. CLOSET.
- EXHAUST FAN
- JUNCTION BOX LOCATION MOUNTED AS NOTED ON DRAWING, SIZED AS REQUIRED BY EQUIPMENT BEING SERVED.
- DISCONNECT SWITCH, SIZE AND TYPE AS NOTED.
- HOME RUN CONDUIT, CIRCUIT NUMBER AS INDICATED ON DRAWINGS. HASHMARKS INDICATE HOT NEUTRAL AND GROUND.
- CONDUIT RUN IN FLOOR OR SLAB.
- CONDUIT RUN IN WALLS OR CEILING.
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED SMOKE DETECTOR, 120V. WITH BATTERY BACK UP.
- AIR DUCT SMOKE DETECTOR, W/EXTRA SET OF CONTACTS R=RETURN
- DUCT SMOKE DETECTOR REMOTE TEST STATION
- WEATHER PROOF HORN STROBE 15cd UNLESS OTHERWISE NOTED
- HORN STROBE 15cd UNLESS OTHERWISE NOTED
- STROBE 15cd UNLESS OTHERWISE NOTED
- CARBON MONOXIDE DETECTOR
- FLUSH MOUNTED PULL STATION
- WEATHER PROOF FLUSH MOUNTED PULL STATION
- WATER FLOW SWITCH
- SURGE SUPPRESSOR
- TAMPER SWITCH
- AUXILIARY RELAY
- FIRE ALARM CONTROL PANEL
- FIRE ALARM REMOTE ANNUNCIATOR
- FIELD CHARGING POWER SUPPLY
- 120V WATERFLOW BELL

- LOW VOLTAGE DIMMER SWITCH.
- LOW VOLTAGE SWITCH.
- DUAL TECHNOLOGY WALL OCCUPANCY SWITCH.
- CEILING MOUNTED OCCUPANCY SENSOR.
- LOW VOLTAGE WIRING. SEE MANUFACTURER DRAWINGS FOR MORE INFORMATION.
- LOW VOLTAGE POWER PACK.
- 20A 20A, 240V SIMPLEX RECEPTACLE, MOUNTED AS REQUIRED BY EQUIPMENT BEING SERVED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- 30A 30A, 240V SIMPLEX RECEPTACLE, MOUNTED AS REQUIRED BY EQUIPMENT BEING SERVED, WITH BRUSHED STAINLESS STEEL FACEPLATE.
- SPECIFICATION GRADE DUPLEX RECEPTACLE - 20 AMP, 125V. TAMPER PROOF HEAVY DUTY. MTD. IN FLOOR BOX, WITH BRASS COVERPLATE.
- SPECIFICATION GRADE DOUBLE DUPLEX RECEPTACLE - 20 AMP, 125V. TAMPER PROOF HEAVY DUTY. MTD. IN FLOOR BOX, WITH BRASS COVERPLATE.
- WIRELESS ACCESS POINT, WALL MOUNTED AT 11"-4". POE (POWER OVER ETHERNET) RUN (1) CAT 6 CABLE FROM WAP TO AV/I.T. CLOSET.
- CABLE TV OUTLET WITH COAX CABLE BACK TO TELEPHONE BACKBOARD.

## APPLICABLE CODE:

ALL WORK SHALL MEET OR EXCEED 2017 EDITION OF THE NEC/NFPA70.

## BASIS OF DESIGN

1. 2017 NATIONAL ELECTRICAL CODE
2. 2009 INTERNATIONAL ENERGY CONSERVATION CODE
3. SERVICE CHARACTERISTICS: THESE DRAWINGS ARE FOR A METERED, UNDERGROUND BUILDING SERVICE OF SINGLE PHASE, THREE WIRE, 60 HERTZ.
4. ALL CONDUCTORS SHALL BE COPPER, U.N.O. SERVICE ENTRANCE CONDUCTORS MAY BE ALUMINUM.
5. ALL WIRE AND CABLES SHALL BE UNDERWRITERS LABORATORIES' LISTED, AND LABELED, AND CONFORM WITH APPLICABLE STANDARDS OF U.L. (44 AND 83), NEMA (WC-5 AND WC-7), IPECA (S-61-402 AND S-66-524), FEDERAL SPECIFICATIONS (J-C-30A1(1) AND HH-1-5950), ANSI, AND OTHER APPLICABLE INDUSTRY STANDARDS. CONNECTORS AND LUGS SHALL MEET U.L. PUBLICATION 486. ALL BRANCH CIRCUIT WIRING SHALL BE 600 VOLT, COPPER, 75 DEGREE C (MINIMUM), TYPE THN/THWN WITH A MINIMUM SIZE OF #12 AWG UNLESS NOTED OTHERWISE. WIRE SIZES OF #8 AWG AND LARGER SHALL BE STRANDED. SERVICE AND FEEDER CABLES SHALL BE 600 VOLT, STRANDED COPPER, 75 DEGREE C (MINIMUM), TYPE XHHW. ALL CIRCUITS SHALL HAVE A SEPARATE GROUNDED CONDUCTOR. PROVIDE GREEN INSULATED GROUNDING CONDUCTOR IN ALL RACEWAYS, CABLE ASSEMBLIES, AND WHERE NOTED.
6. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND OF THE QUALITY INDICATED BY THE SPECIFIED BRAND NAMES. REMANUFACTURED, REPAIRED, AND RECONDITIONED EQUIPMENT ARE NOT ACCEPTABLE.
7. ALL EQUIPMENT IS SCHEDULED WITHOUT SUBSTITUTIONS. HOWEVER, SUBSTITUTIONS OF MATERIAL OF EQUAL QUALITY BY OTHER MAJOR MANUFACTURERS OF COMMERCIAL EQUIPMENT MAY BE ACCEPTABLE PROVIDED A LIST OF SUCH SUBSTITUTIONS IS APPROVED BY THE OWNER, ARCHITECT, AND ENGINEER OF RECORD.
8. PANEL BOARDS SHALL BE BOLT-ON CIRCUIT BREAKER TYPE, AS SHOWN ON THE PLANS. PANELS SHALL BE OF A PANEL BOARD CONSTRUCTION, 20 INCHES WIDE (MINIMUM), 5-3/4" TO 6-1/2" DEEP U.L. LISTED, AND MEET U.L. 67, U.L. 50, AND FEDERAL SPECIFICATION W-P-115B AS TYPE 1, CLASS 1, WITH BOLT-ON CIRCUIT BREAKERS, COPPER BUS BARS, NEUTRAL BUS, GROUND BUS, AND A HINGED LOCKABLE DOOR. CABINETS SHALL BE CODE GAUGE, GALVANIZED STEEL, MOUNTED AS SHOWN.
9. ALL JUNCTION BOXES, PULL BOXES, WIRE WAYS, ETC., SHALL BE SIZED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
10. ALL PRODUCTS AND EQUIPMENT SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
11. ALL FURNISHED EQUIPMENT TERMINALS SHALL BE LISTED FOR USE AT 75 DEGREE C.
12. NO CONDUIT SMALLER THAN 3/4" SHALL BE INSTALLED.

## ELECTRICAL CONTRACTOR REQUIREMENTS

1. PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT IN ACCORDANCE WITH THESE SPECIFICATIONS, AND THE ACCOMPANYING DRAWINGS TO PROVIDE A COMPLETE AND PROPERLY OPERATING ELECTRICAL SYSTEM FOR THE BUILDING.
2. BIDDING CONTRACTORS MUST VISIT THE SITE, REVIEW ALL CONSTRUCTION DOCUMENTS, AND OBTAIN WRITTEN COPIES OF ALL REFERENCED CODES AND ORDINANCES PRIOR TO SUBMITTING BIDS. NO ALLOWANCE WILL BE MADE FOR ADVERSE CONDITIONS WHICH WERE ASCERTAINABLE PRIOR TO BID TIME.
3. THE ELECTRICAL CONTRACTOR SHALL COORDINATE AND VERIFY THE ELECTRICAL SERVICE ARRANGEMENTS WITH THE LOCAL POWER COMPANY AND WITH OWNER SUPPLIED SITE PLAN. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT FOR A COMPLETE INSTALLATION.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL OF THE FOLLOWING MATERIAL AND EQUIPMENT, UNLESS NOTED OTHERWISE: PANEL BOARDS; LIGHTING FIXTURES; LAMPS; RACEWAYS; 600 VOLT WIRE AND CABLE; WIRING DEVICES; DEVICE PLATES; DEVICE, PULL, AND JUNCTION BOXES; SAFETY SWITCHES; MOTOR STARTERS; LIGHTING CONTROLS; CIRCUIT BREAKERS; FUSES; TIME CLOCKS; EQUIPMENT IDENTIFICATION (NAMEPLATES AND DIRECTORIES); WIRE AND CABLE TERMINATIONS; CONNECTIONS TO INDIVIDUAL UNITS OF EQUIPMENT. THIS REQUIREMENT INCLUDES DEVICES, CONDUCTORS, AND ETC. REQUIRED BY OTHER DISCIPLINES. THE ELECTRICAL CONTRACTOR SHALL REVIEW OTHER INSTALLATION PACKAGES TO INSURE EQUIPMENT NEEDED TO BE INSTALLED.
5. THE ELECTRICAL CONTRACTOR SHALL OBTAIN AND REVIEW THE MECHANICAL AND SPECIAL EQUIPMENT SUBMITTALS PRIOR TO SUBMITTING THE ELECTRICAL SUBMITTALS. ANY ELECTRICAL EQUIPMENT, CONDUIT, AND WIRE SIZE CHANGES RESULTING FROM THIS REVIEW SHALL ALSO BE SUBMITTED FOR APPROVAL.
6. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL FITTINGS AND NECESSARY EQUIPMENT FOR LIGHT FIXTURE MOUNTING, AND INSTALLATION.
7. ALL WORK SHALL BE PERFORMED BY SKILLED LICENSED ELECTRICIANS IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE, MEETING THE REQUIREMENTS OF THE LATEST, ADOPTED, EDITION OF THE NATIONAL ELECTRICAL CODE, APPLICABLE FEDERAL, STATE AND LOCAL CODES, AND THE REQUIREMENTS OF THE ELECTRICAL UTILITY COMPANY FURNISHING THE SERVICES. ALL NECESSARY CONSTRUCTION PERMITS AND CERTIFICATES OF INSPECTION SHALL BE PURCHASED AND OBTAINED UNDER THIS CONTRACT
8. FURNISH A GUARANTEE IN WRITING TO THE OWNER THAT ALL WORK EXECUTED UNDER THIS PACKAGE IS FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. IN ADDITION, DURING THE TERM OF THIS GUARANTEE, THE REPAIR AND/OR REPLACEMENT OF ANY DEFECTIVE WORK, AND ALL RESULTING DAMAGES SHALL BE MADE AT NO ADDITIONAL EXPENSE TO THE OWNER.

## GENERAL NOTES

1. NON-METALLIC SHEATHED (TYPE NM) CABLE IS NOT PERMITTED.
2. ALL WIRING SHALL BE RUN IN CONDUIT.
3. ALL WIRES SHALL BE TAGGED WITH PANEL AND CIRCUIT NUMBERS.
4. FOR HOME RUNS ON 20 AMP CIRCUITS EXCEEDING FIFTY-FIVE (55) FEET FROM THE PANEL BOARD SHALL USE #10 AWG MINIMUM.
5. AN ELECTRICALLY CONTINUOUS, EQUIPMENT GROUNDING CONDUCTOR SHALL BE RAN WITH EACH POWER AND LIGHTING CONDUIT. SIZE OF THE EQUIPMENT GROUNDING CONDUCTOR SHALL BE AS NOTED OR AS DETERMINED IN TABLE 250.122 OF THE N.E.C. IF NOT NOTED. EQUIPMENT GROUNDING CONDUCTOR SHALL BE INCLUDED REGARDLESS OF THE CONDUIT TYPE AND MATERIAL USED.
6. BOND TELEPHONE EQUIPMENT TO THE ELECTRICAL SERVICE GROUNDING SYSTEM PER NATIONAL ELECTRICAL CODE.
7. ALL CIRCUITS SHALL HAVE AN INDIVIDUAL GROUNDED CONDUCTOR. NO MULTIWIRE CIRCUITS ARE PERMISSIBLE.
8. CONDUCTORS SHALL COLOR CODED AS FOLLOWS. FOR CONDUCTORS SMALLER THAN #6 THE JACKET SHALL BE OF THE NOTED COLOR. FOR CONDUCTORS LARGER THAN #6, EACH END OF THE CONDUCTOR SHALL BE MARKED WITH TAPE FOR A MINIMUM OF FOUR (4) INCHES.

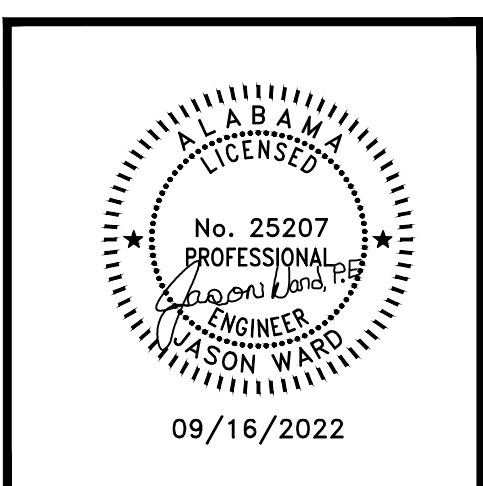
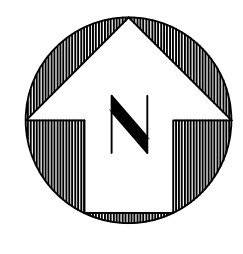
CONDUCTOR COLOR CODES					
	PHASE A	PHASE B	PHASE C	GROUNDED CONDUCTOR	GROUNDED CONDUCTOR
<= 240V	BLACK	RED	BLUE	WHITE	GREEN
> 240V	BROWN	ORANGE	YELLOW	GREY	GREEN

9. ALL CIRCUIT BREAKERS, DISCONNECTS, AND OTHER PROTECTIVE DEVICES SHALL BE FULLY RATED TO WITHSTAND THE MAXIMUM AVAILABLE FAULT CURRENT AT THE SITE AS DETERMINED BY THE LOCAL UTILITY. E.C. SHALL COORDINATE WITH LOCAL UTILITY BEFORE STARTING WORK.
10. ALL BUILDING SYSTEM GROUNDING ELECTRODES SHALL BE BONDED TOGETHER TO FORM A SINGLE GROUNDING ELECTRODE SYSTEM. GROUNDING SYSTEM SHALL COMPLY WITH N.E.C. ARTICLE 250
11. EMERGENCY UNIT LIGHTING EQUIPMENT SHALL BE CONNECTED TO THE UNSWITCHED LEG OF THE CIRCUIT OF THE LIGHTS IN THE IMMEDIATE AREA.
12. ALL LIGHTING FIXTURES SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILING SYSTEM. 2" X 4" FIXTURES SHALL BE SUPPORTED WITH A CABLE FROM AT LEAST TWO CORNERS.
13. HIGH BAY LIGHTING, SHALL HAVE A SAFETY CHAIN INSTALLED.
14. ALL MOUNTING HEIGHTS ARE GIVEN FROM THE CENTER OF THE DEVICE
15. LIGHT SWITCHES SHALL BE MOUNTED 46" A.F.F. U.N.O.
16. RECEPTACLES SHALL BE MOUNTED 18" A.F.F. U.N.O.
17. TELECOMMUNICATIONS AND DATA OUTLETS SHALL BE MOUNTED 18" A.F.F. U.N.O.
18. WALL MOUNTED TELECOMMUNICATIONS AND DATA OUTLETS SHALL BE MOUNTED 46" A.F.F. U.N.O.
19. CABLE T.V. OUTLET SHALL BE MOUNTED 18" A.F.F. U.N.O.
20. DISCONNECT SWITCHES SHALL BE FURNISHED, AS PART OF THIS PACKAGE, AND INSTALLED FOR EACH UNIT OF HVAC AND OTHER REQUIRED EQUIPMENT.
21. PROVIDE NAMEPLATES FOR ALL PANEL BOARDS, CONTROLS, DISCONNECTS, AND OTHER ELECTRICAL EQUIPMENT. NAMEPLATES SHALL BE ENGRAVED PHENOLIC LABELS WITH WHITE LETTERING ON A BLACK BACKGROUND.
22. PROVIDE TYPEWRITTEN CIRCUIT DIRECTORIES WITH CLEAR PLASTIC PROTECTORS IN ALL PANELS.
23. OUTDOOR RECEPTACLES SHALL HAVE INSTALLED AN EXTRA HEAVY-DUTY WEATHER PROOF WHILE IN-USE RECEPTACLE COVER.
24. ALL EMPTY AND UNUSED CONDUIT SHALL HAVE A #12 AWG PULL WIRE LEFT REMAINING
25. DURING CONSTRUCTION, CONDUIT SHALL BE KEPT FREE OF ALL FOREIGN MATTER BY USE OF CAPPED BUSHINGS ON ALL TURNED-UP ENDS. PAPER OR WOOD PLUGS ARE NOT ACCEPTABLE FOR THIS PURPOSE.
26. CONDUIT PLACED IN CONCRETE OR RUN UNDERGROUND SHALL BE PLASTIC COATED RIGID GALVANIZED CONDUIT OR PVC. IF PVC IS USED, ALL ELBOWS, SWEEPS AND STUB-UPS SHALL BE PLATIC COATED RIGID GALVANIZED STEEL. (LIST HEIGHT ABOVE FF FOR THE ELBOW). ALL CONDUIT BENDS SHALL BE FREE FROM DENTS AND KINKS
27. CONDUIT EXPOSED OR RUN IN MASONRY WALLS ABOVE GRADE MAY BE PVC OR EMT WHERE ALLOWED BY LOCAL CODES. IF EMT IS NOT PERMITTED, RIGID SCREWED GALVANIZED PIPE CONDUIT AND FITTINGS SHALL BE USED. IF SHIELDED CABLE IS REQUIRED FOR CONTROL CIRCUITRY, IT SHALL BE TAN, GREY OR ANY NEUTRAL COLOR OTHER THAN THAT AS SPECIFIED FOR POWER DISTRIBUTION.
28. WHERE CONNECTIONS ARE TO BE MADE BETWEEN CONDUIT TERMINATIONS AND MOTORS, EQUIPMENT, OR APPARATUS NECESSITATING FLEXIBLE CONNECTIONS, APPROVED FLEXIBLE CONDUIT SHALL BE USED. OUTDOOR CONNECTIONS TO FANS, HVAC UNITS, OR ROTATING EQUIPMENT SHALL BE MADE WITH HELICAL WOUND, LIQUID TIGHT, FLEXIBLE STEEL CONDUIT. EXPOSED CONDUIT SHALL BE SUITABLY SUPPORTED AT INTERVALS NOT TO EXCEED FIVE (5) FEET.
29. ALL CIRCUITS ENTERING A JUNCTION BOX SHALL BE IDENTIFIED BY A MEANS ACCEPTABLE TO THE NATIONAL ELECTRICAL CODE
30. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED SO THAT ALL CODE REQUIRED AND MANUFACTURER RECOMMENDED SERVICING CLEARANCES ARE MAINTAINED.
31. ALL FIRE BARRIER PENETRATIONS SHALL BE SEALED WITH APPROVED FIRE SEALANT. COORDINATE WITH ARCHITECTURAL PLANS FOR ALL RATED WALLS AND CEILINGS PRIOR TO BID SO AN UNDERSTANDING OF NUMBER OF SEALS REQUIRED, AND DETERMINE METHOD FOR MINIMIZING THE SEAL REQUIREMENTS.
32. RECEPTACLES AND DEVICES LOCATED AT MILLWORK COUNTERS TO BE MOUNTED 2" ABOVE BACKSPASH TO BOTTOM OF DEVICE COVER PLATE. COORDINATE WITH G.C. THESE REQUIREMENTS PRIOR TO ROUGH IN. IF THESE DEVICES ARE NOT INDICATED TO BE ABOVE COUNTER WITH A "C", THEN THEY MAY BE MOUNTED AT NORMAL HEIGHT, COORDINATE THIS PRIOR TO ROUGH IN ALSO.

## ABBREVIATIONS

- A OR AMP AMPERES
- ACT ABOVE COUNTER TOP (6")
- AF AMP FRAME
- AFV ABOVE FINISHED FLOOR
- AHU AIR HANDLING UNIT
- AIC AMPERE INTERRUPTING CAPACITY
- AM AMMETER
- APPROX APPROXIMATELY
- ASTM ASYMMETRICAL
- AT AMP TRIP
- ATS AUTOMATIC TRANSFER SWITCH
- AUX AUXILIARY
- AWG AMERICAN WIRE GAUGE
- BUILDING CONDUIT
- BLDG CONDUIT
- C, /C CONDUCTOR
- CB CIRCUIT BREAKER
- CLF CIRCUIT
- CKT CURRENT LIMITING FUSE
- CO COMPANY
- COL COLUMN
- CNTL CONTROL
- CT CURRENT TRANSFORMER
- D DEPTH
- DIA DIAMETER
- DIS OR DISC DISCONNECT SWITCH
- DWG(S) DRAWING(S)
- ELEC ELECTRIC, ELECTRICAL
- EM EMERGENCY
- EMT ELECTRICAL METALLIC TUBING
- ESTOP EMERGENCY STOP
- EX, EXIST. EXISTING
- EXP EXPLOSION PROOF
- EF EXHAUST FAN
- EG EQUIPMENT GROUND
- EGG EQUIPMENT GROUND CONDUCTOR
- EMS ENERGY MANAGEMENT SYSTEM
- ET CETERA
- EXIST EXISTING
- F FUSE
- FL, FLR FLOOR
- FT FEET
- G OR GND GROUND
- GA GAUGE
- GALV GALVANIZED
- GEN GENERATOR
- GF GROUND FAULT
- GFCI GROUND FAULT CIRCUIT INTERRUPT
- GFI GROUND FAULT INTERRUPTING
- H-O-A HAND-OFF-AUTOMATIC
- HP HORSEPOWER
- HVAC HEATING, VENTILATION & AIR
- IG ISOLATED GROUND
- ISBR INTRINSICALLY SAFE BARRIER RELAY
- IN INCH
- IR INFRARED
- ISCA INSTANTANEOUS SHORT CIRCUIT AVAILABLE
- JB OR J JUNCTION BOX
- kVA KILOVOLT - AMPS
- kW KILOWATTS
- kWH KILOWATT-HOUR
- L LENGTH
- LA LIGHTNING ARRESTOR
- LFCM LIQUIDTIGHT FLEXIBLE METAL CONDUIT
- LTC LIGHTING
- MAX MAXIMUM
- MCB OR MB MAIN CIRCUIT BREAKER
- MCC MOTOR CONTROL CENTER
- MECH MECHANICAL
- MFR MANUFACTURER
- MH OR MTG MOUNTING HEIGHT
- MIN MINIMUM
- MLO MAIN LUGS ONLY
- MTD MOUNTED
- N NEUTRAL
- NC NORMALLY CLOSED
- NEMA NATIONAL ELECTRICAL MFRS ASSOCIATION
- NF NON-FUSIBLE
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- No. NUMBER
- NO NORMALLY OPEN
- NTS NOT TO SCALE
- O.C. ON CENTER
- OPDP OVERCURRENT PROTECTIVE DEVICE
- O/F OVERFILL
- OHE OVERHEAD ELECTRICAL
- P POLYVINYLCHLORIDE CONDUIT
- PERM PERMANENT
- PFM POWER FACTOR CAPACITOR
- PH PHASE
- PLC PROGRAMMABLE LOGIC CONTROLLER
- PNL PANEL
- PR PAIR
- PVC POLYVINYLCHLORIDE CONDUIT
- PWR POWER
- R&R REMOVE AND RELOCATE
- RE RELOCATED
- RECEPT RECEPTACLE
- REF REFERENCE
- RGS RIGID GALVANIZED STEEL
- RMS ROOT MEAN SQUARE
- SH SHIELDED
- SS STAINLESS STEEL
- SPD SURGE PROTECTION DEVICE
- SW SWITCH
- SWBD SWITCHBOARD
- SYM SYMMETRICAL
- TEL TELEPHONE
- TWIS TWISTED INDIVIDUAL SHIELD
- TWOS TWISTED OUTER SHIELD
- TYR TYPICAL
- UG UNDERGROUND
- UL UNDERWRITER'S LABORATORIES
- ULV ULTRAVIOLET
- V VOLTS
- VA VOLT AMPS
- VAC VOLTS ALTERNATING CURRENT
- VDC VOLTS DIRECT CURRENT
- VFD VARIABLE FREQUENCY DRIVE
- VM VOLTMETER
- W WATT
- W/ WITH
- W/O WITHOUT
- WM WATTMETER
- WP WEATHER PROOF
- XFMR TRANSFORMER





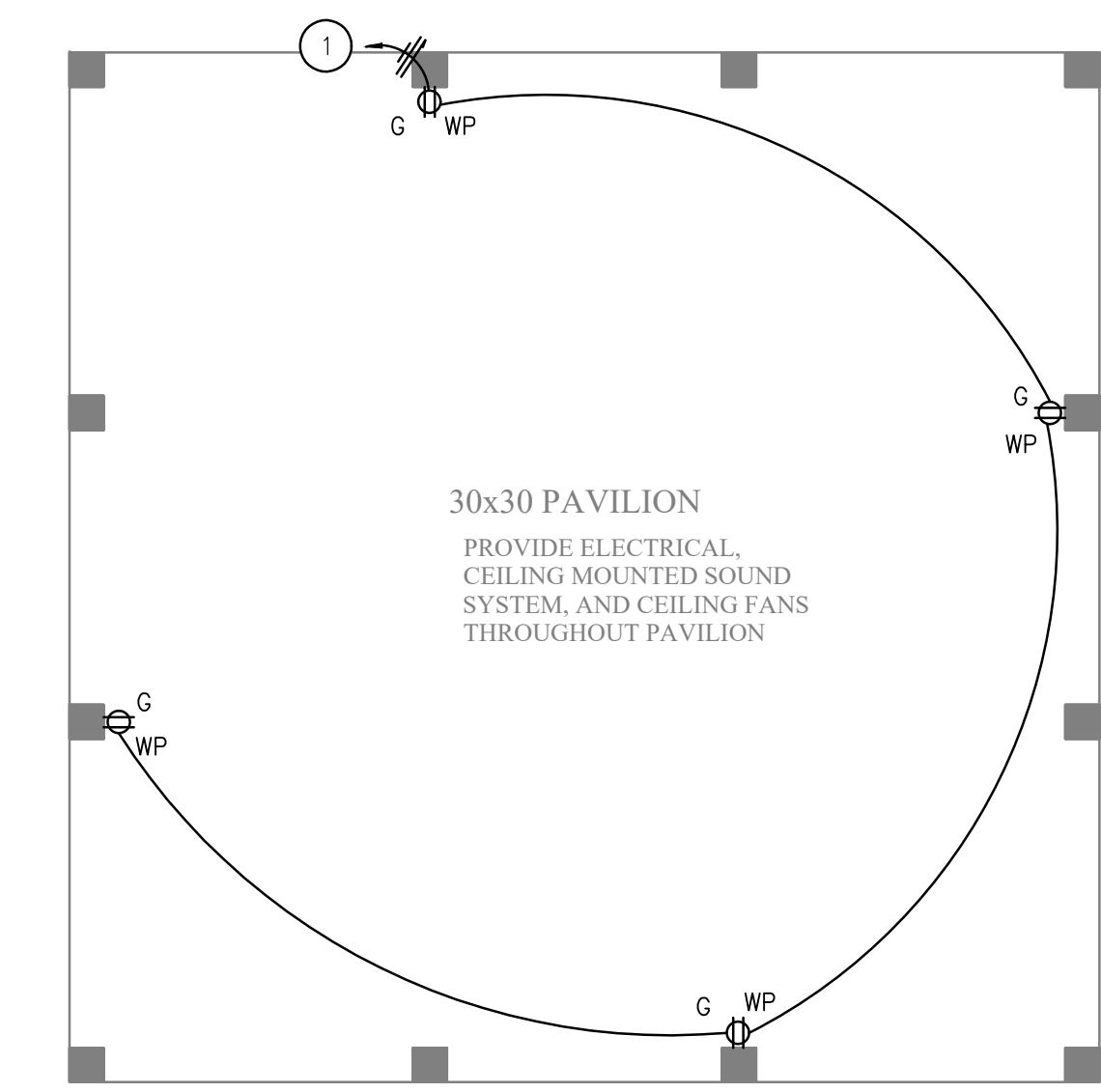
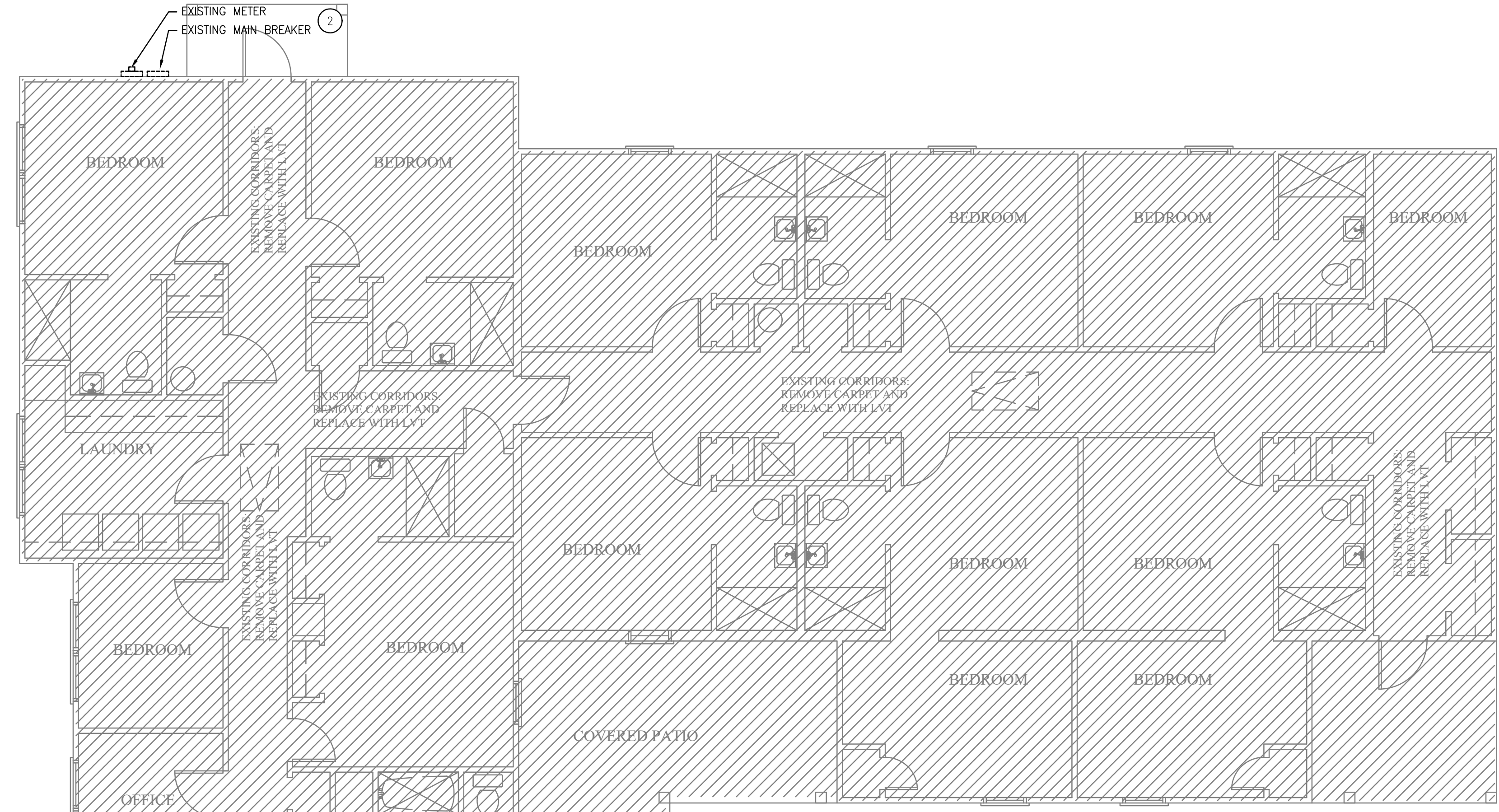
RENOVATION DRAWINGS FOR  
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BAY MINETTE, ALABAMA

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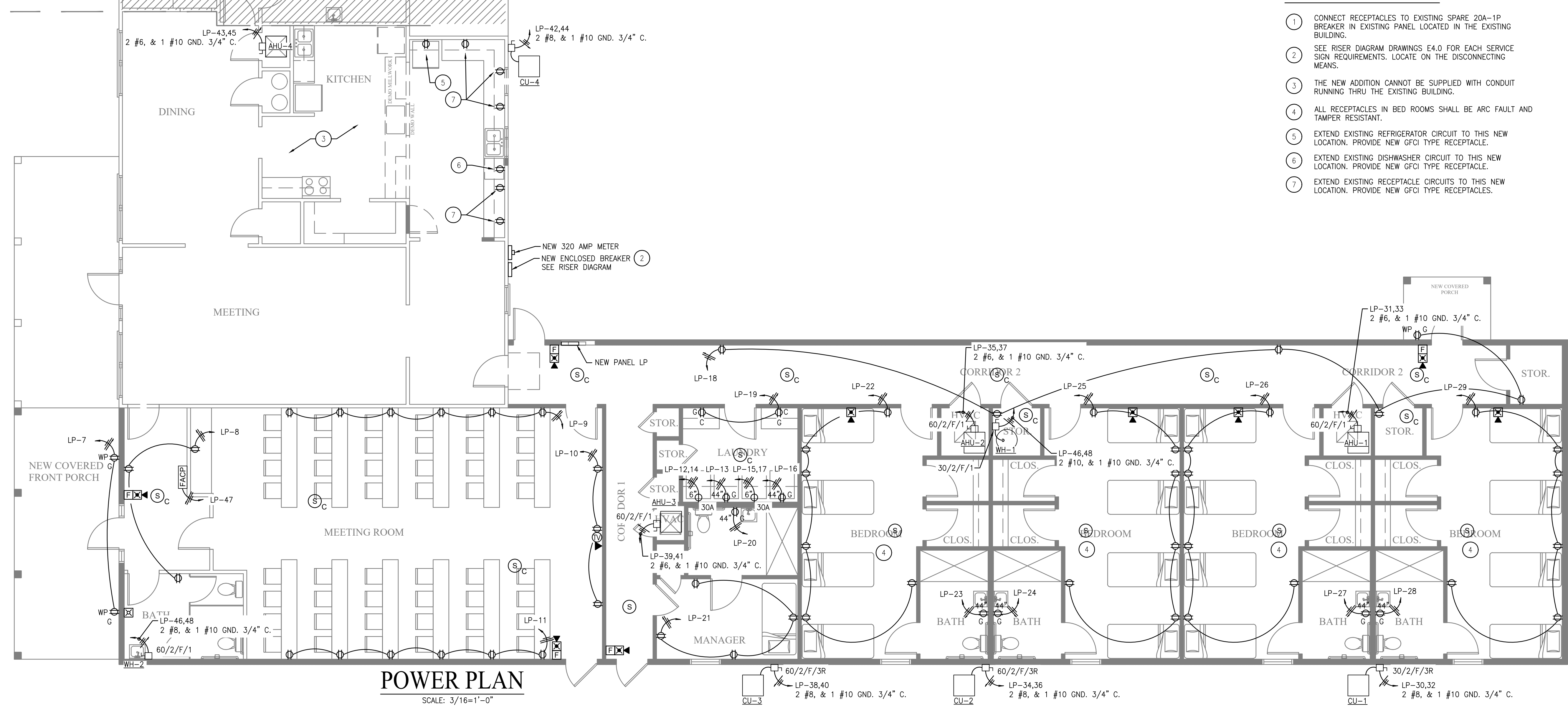
**E2.0**  
POWER PLAN



**PAVILLION POWER PLAN**  
SCALE: 3/16"=1'-0"

**KEYED NOTES**

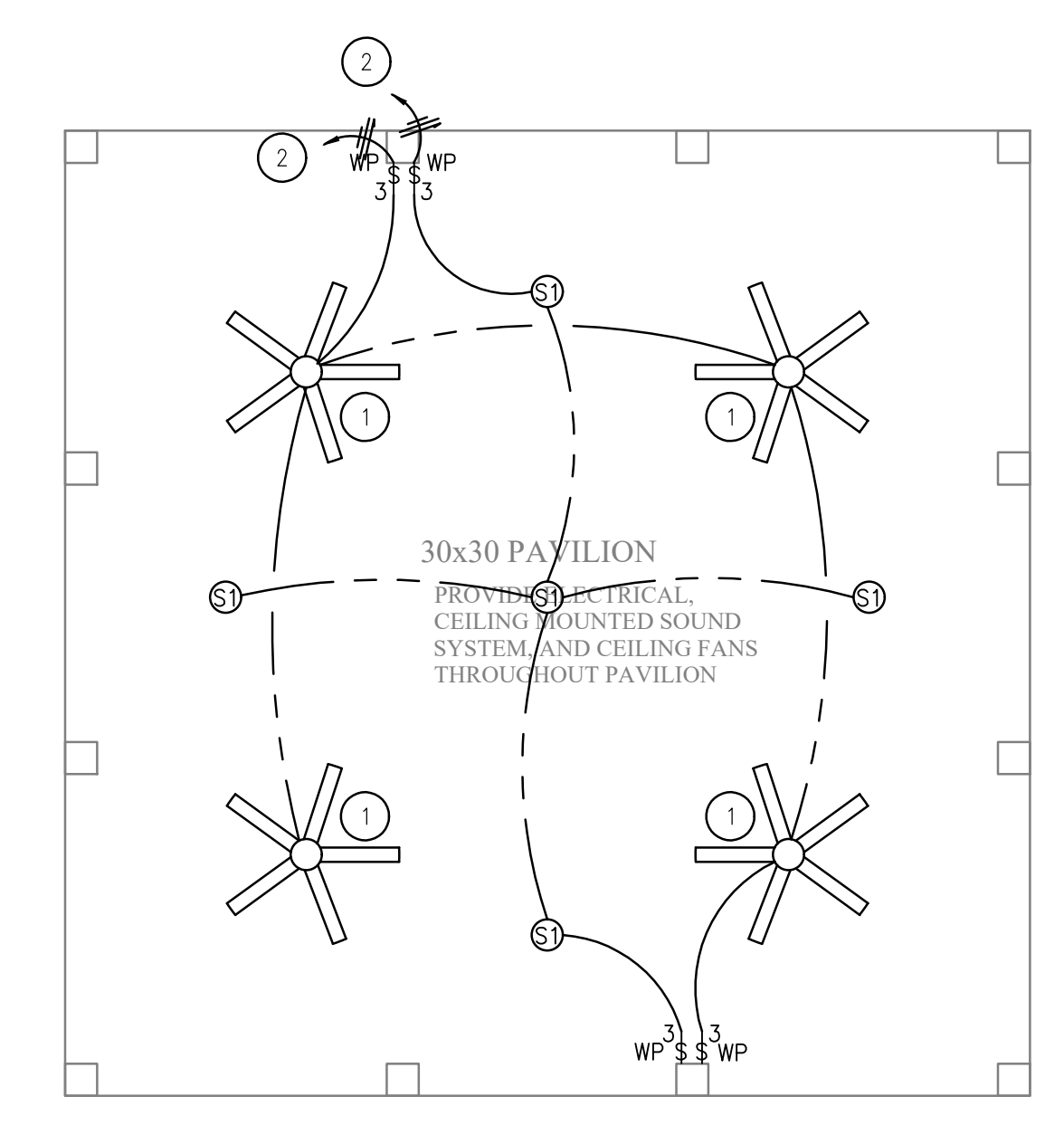
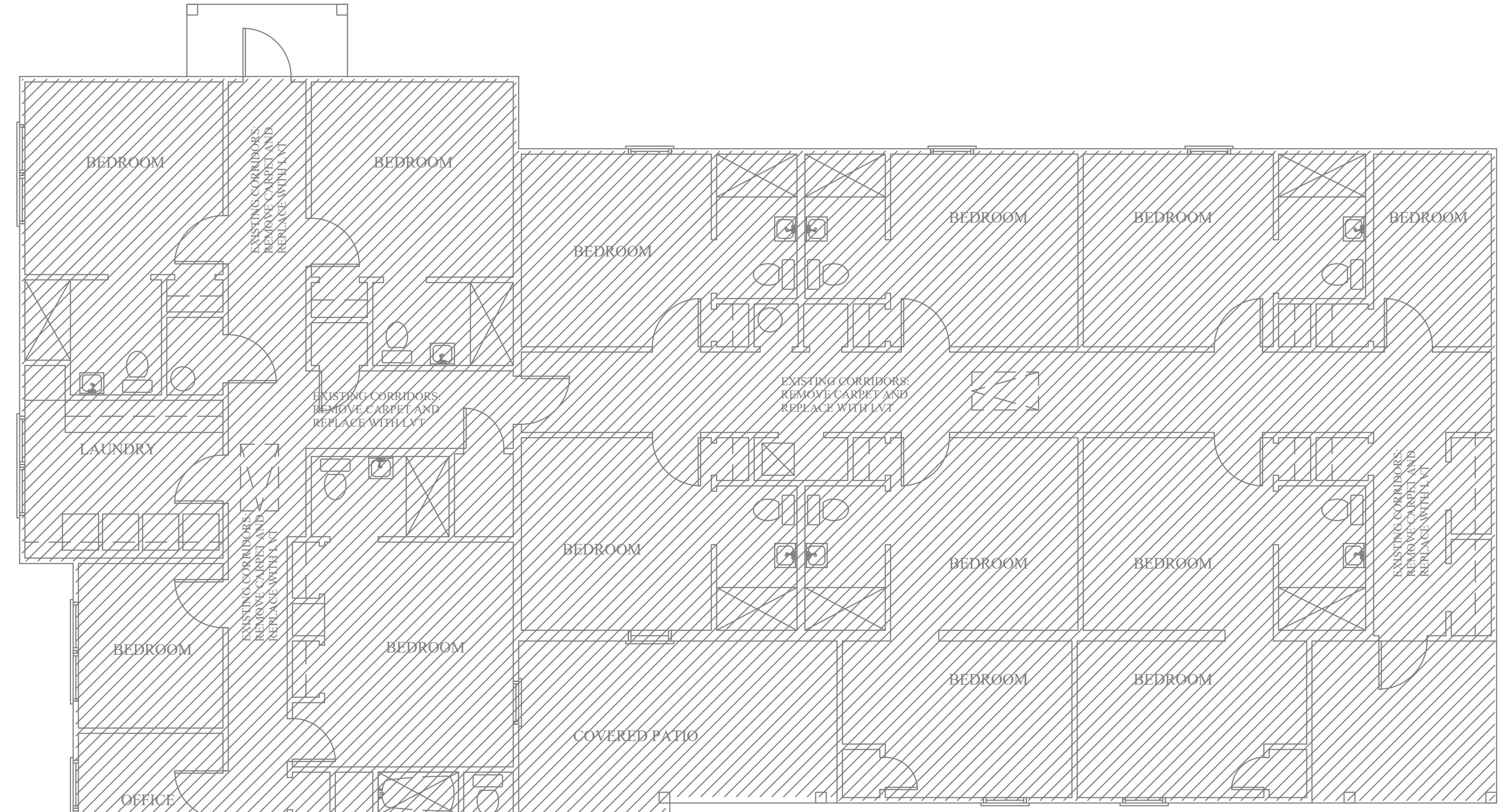
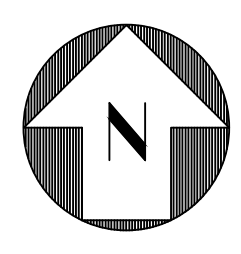
- ① CONNECT RECEPTACLES TO EXISTING SPARE 20A-1P BREAKER IN EXISTING PANEL LOCATED IN THE EXISTING BUILDING.
- ② SEE RISER DIAGRAM DRAWINGS E4.0 FOR EACH SERVICE SIGN REQUIREMENTS. LOCATE ON THE DISCONNECTING MEANS.
- ③ THE NEW ADDITION CANNOT BE SUPPLIED WITH CONDUIT RUNNING THRU THE EXISTING BUILDING.
- ④ ALL RECEPTACLES IN BED ROOMS SHALL BE ARC FAULT AND TAMPER RESISTANT.
- ⑤ EXTEND EXISTING REFRIGERATOR CIRCUIT TO THIS NEW LOCATION. PROVIDE NEW GFCI TYPE RECEPTACLE.
- ⑥ EXTEND EXISTING DISHWASHER CIRCUIT TO THIS NEW LOCATION. PROVIDE NEW GFCI TYPE RECEPTACLE.
- ⑦ EXTEND EXISTING RECEPTACLE CIRCUITS TO THIS NEW LOCATION. PROVIDE NEW GFCI TYPE RECEPTACLES.



**POWER PLAN**  
SCALE: 3/16"=1'-0"



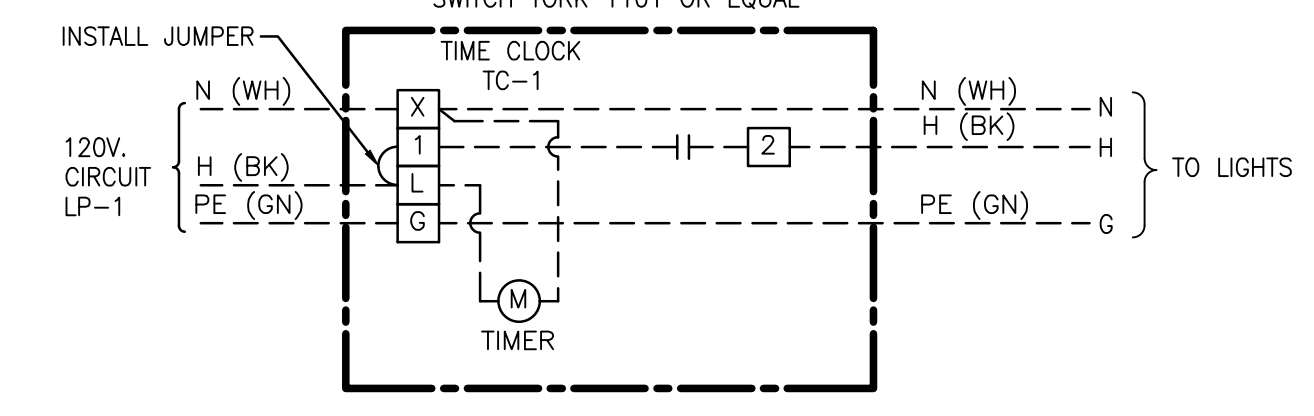




**PAVILLION LIGHTING PLAN**  
SCALE: 3/16"=1'-0"

**KEYED NOTES**

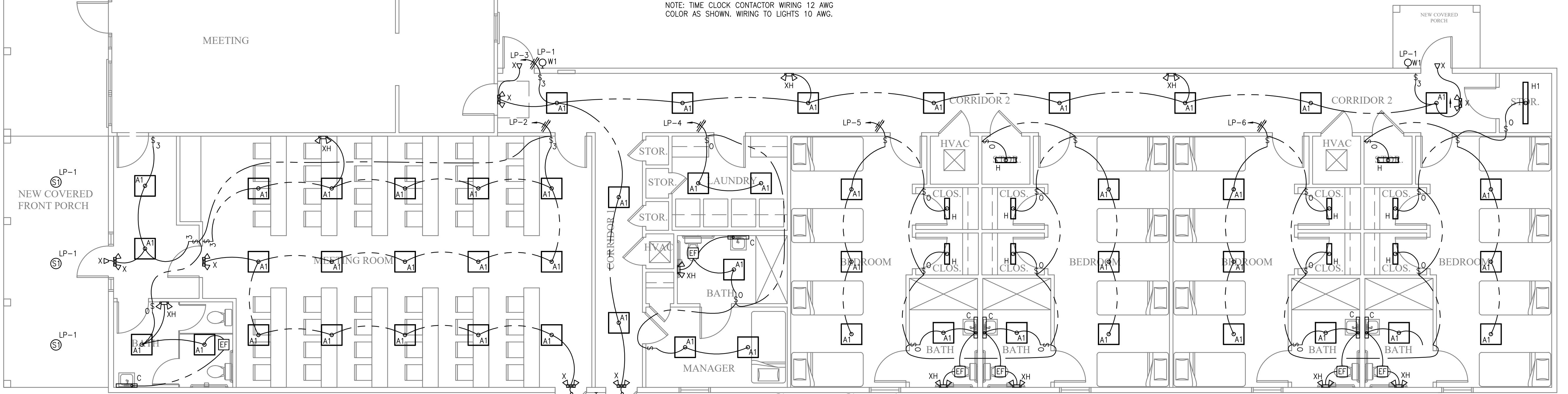
- 1 52" OUTDOOR CEILING FAN, PROVIDED BY OWNER INSTALLED BY ELECTRICAL CONTRACTOR.
  - 2 CONNECT LIGHTING AND FANS TO EXISTING SPARE 20A-1P BREAKER IN EXISTING PANEL LOCATED IN THE EXISTING BUILDING.
- 24 HOUR 7 DAY MECHANICAL TIME SWITCH TORK 1101 OR EQUAL



**TIME CLOCK WIRING DIAGRAM**  
SCALE: NONE

NOTE: TIME CLOCK CONTACTOR WIRING 12 AWG COLOR AS SHOWN. WIRING TO LIGHTS 10 AWG.

MARK	TYPE	VOLT	WATTS	LAMP	BRAND & CATALOG NO.
A1	2x2 SURFACE MOUNTED FLAT PANEL	120	40	4608 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
H	2 FOOT SURFACE MOUNTED STRIP WITH LENS	120	12.5	1500 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
H1	4 FOOT SURFACE MOUNTED STRIP WITH LENS	120	30	2000 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
C	WALL MOUNTED LED VANITY LIGHT	120	14	1350 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
S1	EXTERIOR CEILING MOUNTED LED FIXTURE	120	20	1432 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
W1	EXTERIOR WALL MOUNTED LED FIXTURE	120	20	1432 LUMEN 4000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
X	EXIT SIGN WITH LIGHT AND BATTERY PACK, AND REMOTE HEAD	120	15	AS SUPPLIED	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR
XH	EMERGENCY LIGHT WITH BATTERY PACK	120	15	252 LUMEN 3000K	PROVIDED BY OWNER, INSTALLED BY ELECTRICAL CONTRACTOR



**LIGHTING PLAN**  
SCALE: 3/16"=1'-0"

**McCOLLOUGH ARCHITECTURE, INC.**  
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GULF SHORES, ALABAMA 36547-6310  
PHONE: 251-968-7222

ALABAMA LICENSED  
No. 25207  
PROFESSIONAL  
ELECTRICAL ENGINEER  
WASON WARD  
09/16/2022

RENOVATION DRAWINGS FOR  
**FOR SOBER LIVING**  
BAY MINETTE, ALABAMA

JOB NO.:  
DRAWN: XX  
CHECKED: XX  
DATE: 2022.06.24  
REVISION:

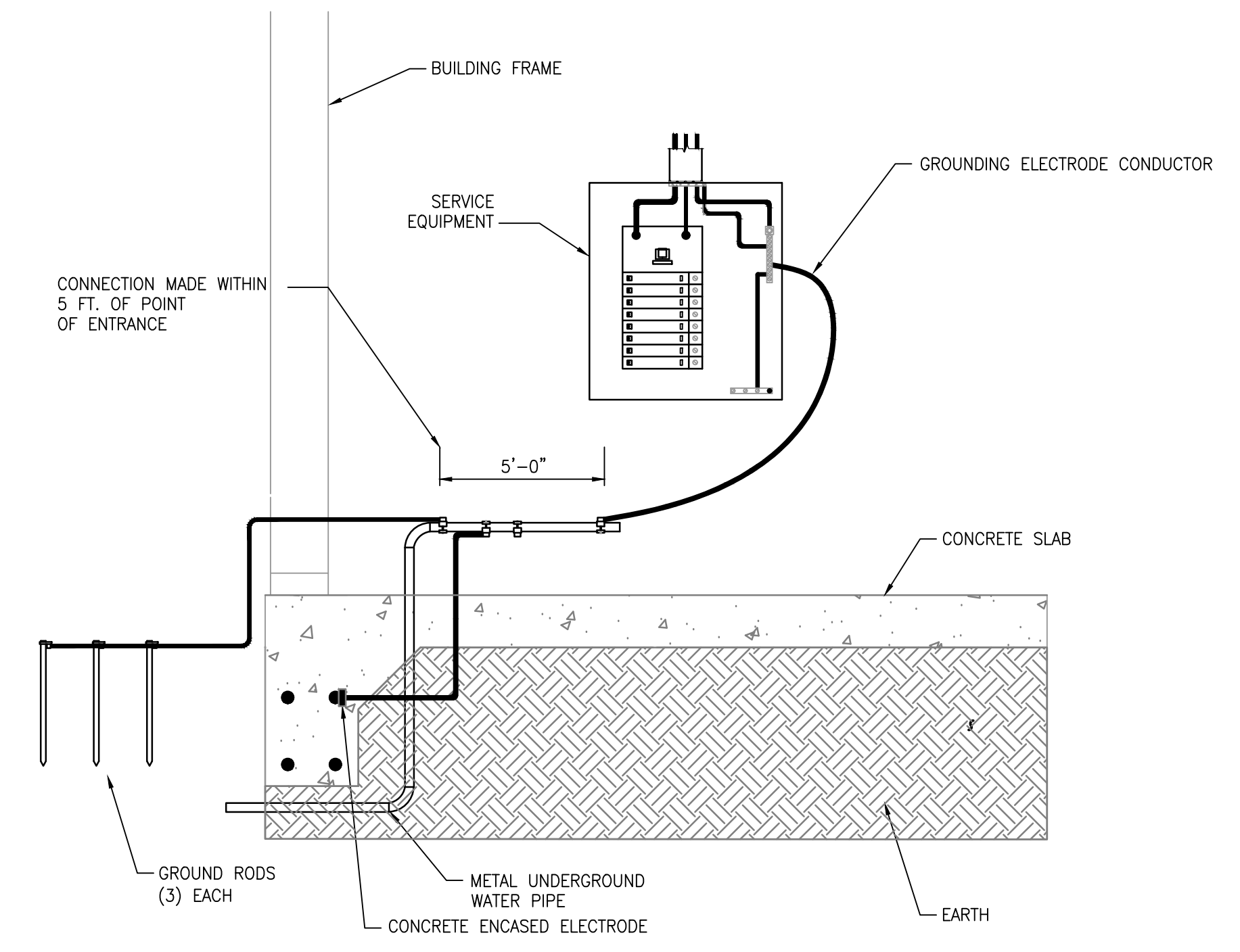
SCALE: 3/16" = 1'-0"  
SHEET NO.:

**E3.0**  
LIGHTING PLAN

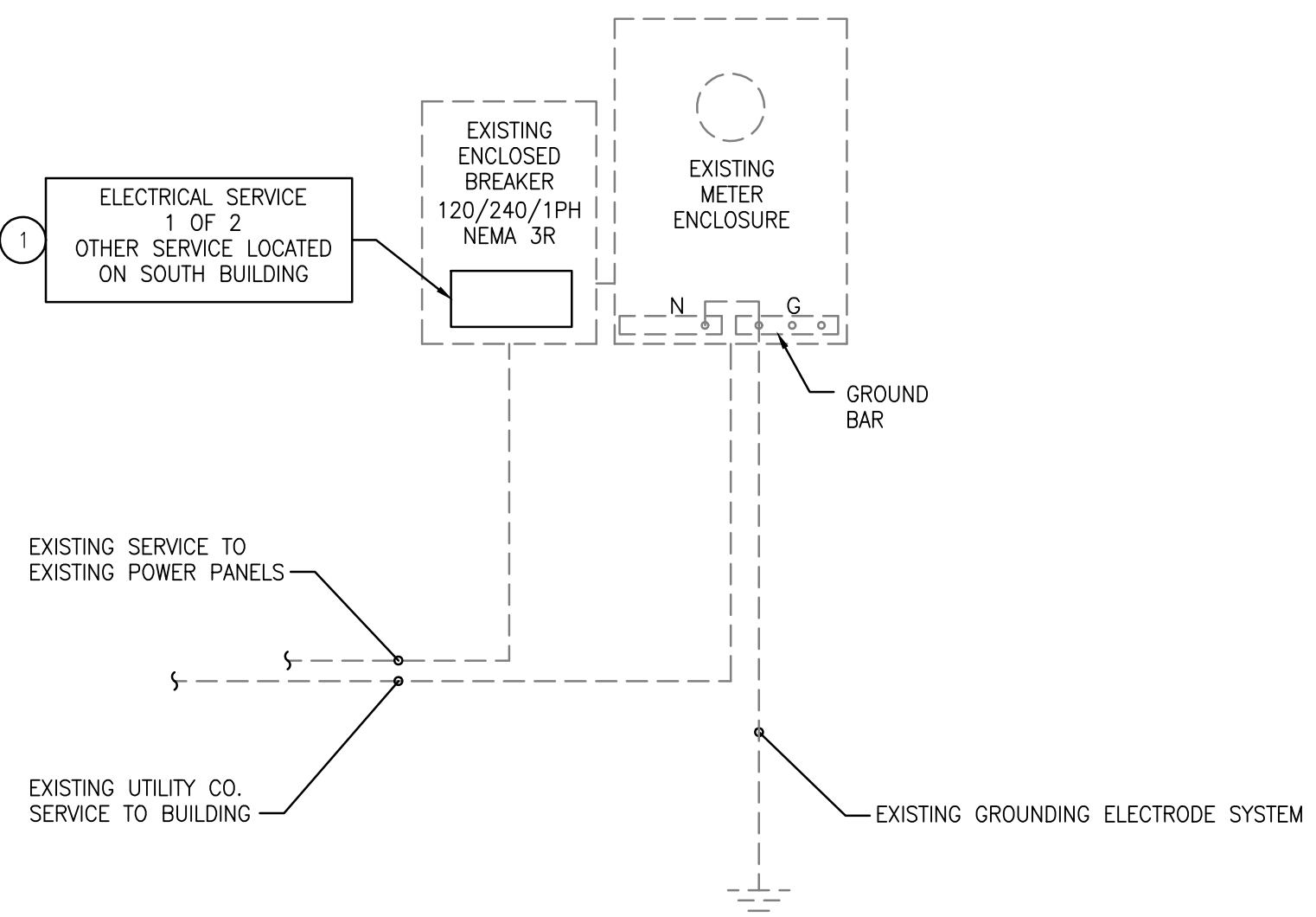




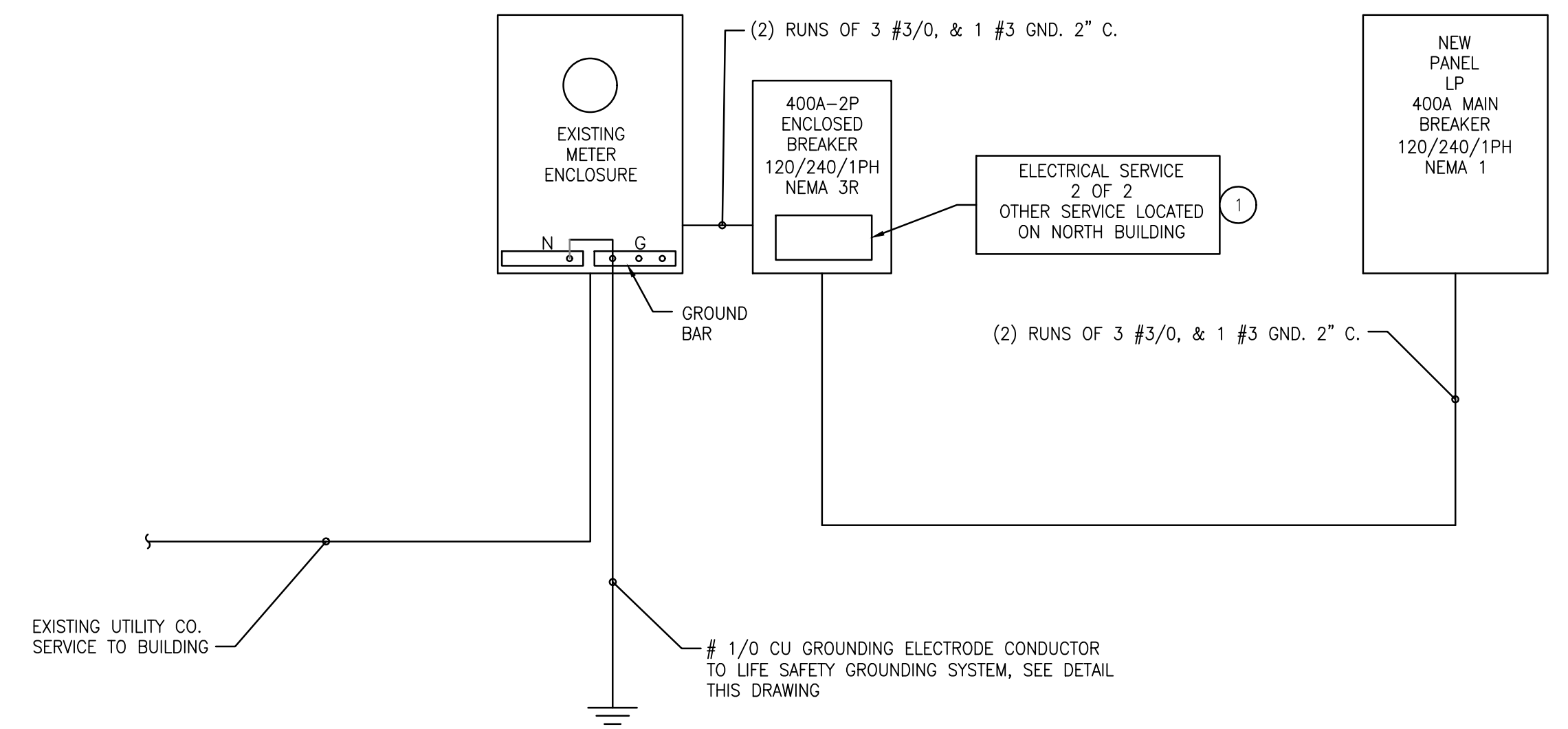
120/240 PANEL LP			NEMA 1 XXXXX MOUNT		
LOCATION	LOAD (VA)	CIRCUIT NUMBER	CIRCUIT NUMBER	LOAD (VA)	LOCATION
LIGHTING:	120	1	20A	920	LIGHTING:
LIGHTING:	445	3	20A	329	LIGHTING:
LIGHTING:	320	5	20A	608	LIGHTING:
RECEPT: FRONT PORCH	360	7	20A	540	RECEPT: LOBBY, BATH, MEETING ROOM
RECEPT: MEETING ROOM	1080	9	20A	540	RECEPT: MEETING ROOM
RECEPT: MEETING ROOM	1080	11	20A	3000	RECEPT: CLOTHES DRYER
RECEPT: WASHING MACHINE	1200	13	20A	3000	
RECEPT: CLOTHES DRYER	3000	15	30A	1200	RECEPT: WASHING MACHINE
	3000	17	20A	1080	RECEPT: CORRIDOR, STORAGE, EXTERIOR
RECEPT: LAUNDRY	360	19	20A	180	RECEPT: BATH
RECEPT: MANAGER	720	21	20A	1080	RECEPT: BEDROOM
RECEPT: BATH	180	23	20A	180	RECEPT: BATH
RECEPT: BEDROOM	1080	25	20A	1080	RECEPT: BEDROOM
RECEPT: BATH	180	27	20A	180	RECEPT: BATH
RECEPT: BEDROOM	1080	29	20A	2160	CU-1
AHU-1	6600	31	60A	2160	
	6600	33	40A	2880	CU-2
AHU-2	6960	35	60A	2880	
	6960	37	40A	2880	CU-3
AHU-3	6960	39	60A	2880	
	6960	41	40A	2880	CU-4
AHU-4	6960	43	60A	2880	
	6960	45	30A	2250	WATER HEATER WH-1
FIRE ALARM CONTROL PANEL	200	47	20A	2250	
SPARE	-	49	20A	3000	WATER HEATER WH-2
SPARE	-	51	20A	3000	
SPARE	-	53	20A	-	SPARE
SPARE	-	55	20A	-	SPARE
SPARE	-	57	20A	-	SPARE
SPARE	-	59	20A	-	SPARE
TOTAL CONNECTED LOAD: 118.8 KW - DEMAND 90.7 KW			ALL BRANCH BREAKERS SIZED AS SHOWN		
PANEL LOCATION: CORRIDOR 2					



**LIFE SAFETY GROUNDING DETAIL**  
 SCALE: NONE  
 NOTE:  
 PER NEC ARTICLE 250 SECTION III 250.50 ALL GROUNDING ELECTRODES AS DESCRIBED IN 250.52(A)(1) THROUGH (A)(6) THAT ARE AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE GROUNDING ELECTRODES EXIST, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN 250.52(A)(4) THROUGH (A)(7) SHALL BE INSTALLED AND USED.



EXISTING SERVICE #1



NEW SERVICE #2

**RISER DIAGRAM**

**KEYED NOTES**

- 1 CONTRACTOR TO SUPPLY PERMANENT SIGNAGE STATING THE LOCATION OF EACH SERVICE PER NEC 230.2. SIGNAGE SHALL BE LOCATED THE DISCONNECTING MEANS.

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ALABAMA LICENSED PROFESSIONAL ENGINEER  
 No. 25207  
 09/16/2022

RENOVATION DRAWINGS FOR  
**FOR SOBER LIVING**  
 BAY MINETTE, ALABAMA

JOB NO.:  
 DRAWN: XX  
 CHECKED: XX  
 DATE: 2022.06.24  
 REVISION:

SCALE: 1:1

SHEET NO.:

**E4.0**  
 RISER DIAGRAM AND PANEL SCHEDULE





**GENERAL PLUMBING NOTES:**

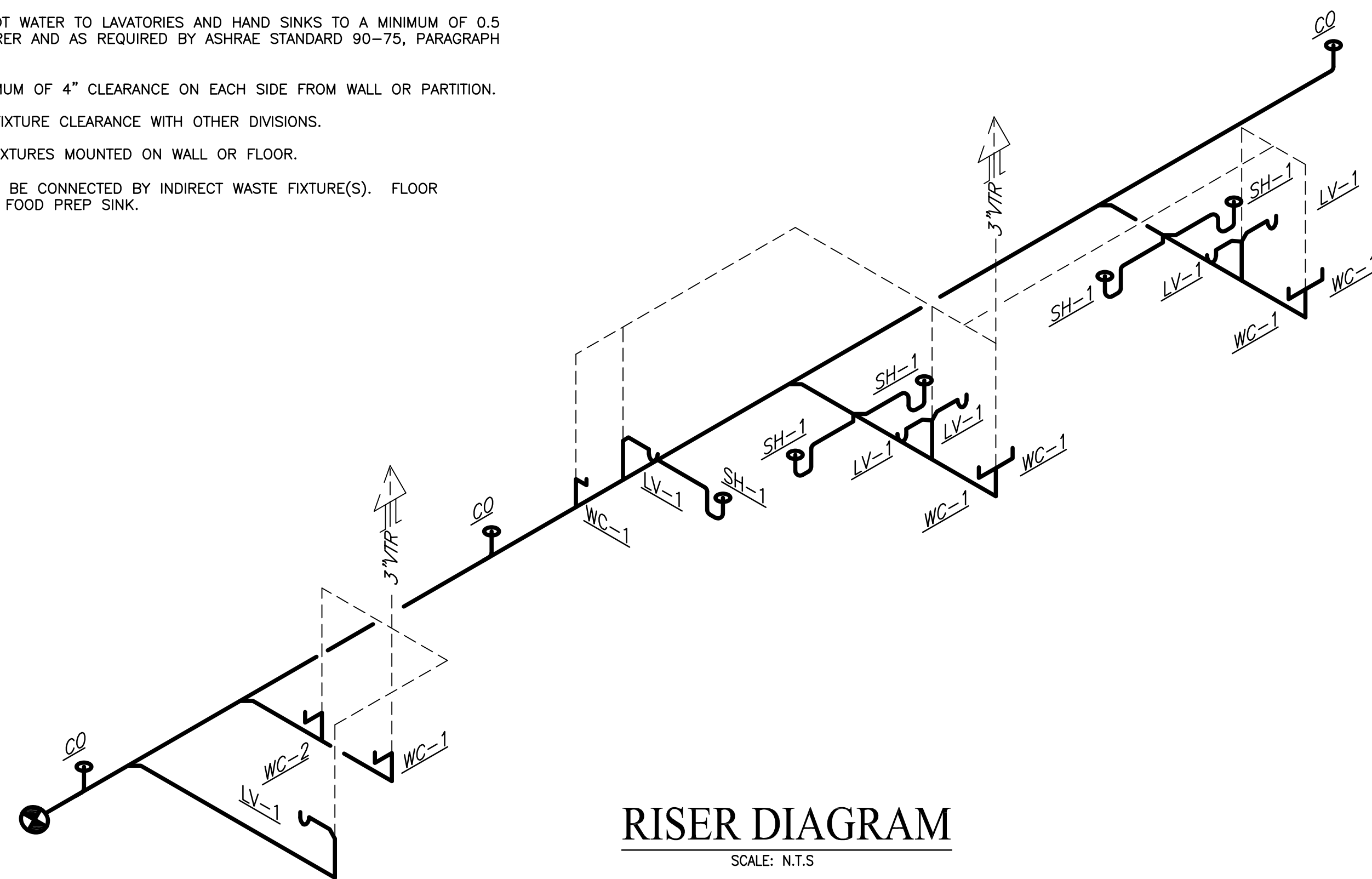
- FURNISH ALL LABOR, MATERIALS, TOOLS, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE SANITARY, VENTING AND DOMESTIC WATER SYSTEM. INCLUDE ANY LABOR AND MATERIAL NOT SPECIFICALLY MENTIONED, BUT NECESSARY TO PROVIDE A COMPLETE AND OPERATING SYSTEM. ALL WORK SHALL BE INSTALLED IN A PROFESSIONAL MANNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2018 IPC, NFPA AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. ALL COSTS FOR SAID REQUIREMENTS SHALL BE INCLUDED IN THIS CONTRACTORS BID PRICE.
- THIS CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AND PERFORM ALL TESTS CALLED FOR OR REQUIRED AS A PART OF HIS WORK. FURNISHED APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.
- PLUMBING PLANS ARE DIAGRAMMATIC. NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL, HVAC, FIRE PROTECTION, STRUCTURAL, ELECTRICAL AND OTHER BUILDING DRAWINGS.
- LAY OUT PIPING BASICALLY AS SHOWN. MAJOR CHANGES IN LAYOUT MAY BE MADE ONLY WITH WRITTEN CONSENT OF ARCHITECT OR ENGINEER.
- COLOR OF FIXTURES AND TRIM SHALL BE AS SELECTED BY OWNER/ARCHITECT.
- FIXTURES INDICATED AS BARRIER FREE SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- PROVIDE WATER HAMMER ARRESTORS ON POTABLE WATER ROUGH-INS AS INDICATED ON DRAWINGS.
- PROVIDE ELECTRICAL CONTRACTOR WITH EXACT WIRING REQUIREMENTS. IF ELECTRICAL REQUIREMENTS VARY FROM THOSE INDICATED ON PLANS, PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ASSOCIATED ADDITIONAL COSTS.
- REFER TO SITE PLAN FOR ROUTING OF WATER AND SEWER.
- ALL WATER LINES, BOTH HOT AND COLD, SHALL BE AS FOLLOWS:
  - LINES BELOW GRADE SHALL BE TYPE "K" SOFT COPPER.
  - LINES ABOVE GRADE SHALL BE SCH 80 PVC AND CPVC.
  - FITTINGS SHALL BE OF HARD DRAWN COPPER OF ASTM SPEC B-88.
  - ALL JOINTING SHALL BE WITH LEAD-FREE SILVER SOLDER.
  - EQUIPPED WITH SHOCK ABSORBERS AS REQUIRED.
- PLUMBING CONTRACTOR SHALL FURNISH & INSTALL SHUT-OFF VALVES TO ALL FIXTURES NOT OTHERWISE EQUIPPED.
- ALL WASTE PIPING SHALL BE SCHEDULE 40 PVC CONFORMING TO ASTM D-1785. PIPING SMALLER THAN 3" SHALL BE LAID OUT AT 1/4" PER FOOT GRADE. PIPING 3" AND LARGER SHALL BE LAID OUT AT 1/8" PER FOOT GRADE. ALL VENT PIPING WITHIN PLENUM OR AIR-HANDLING SPACES SHALL BE COPPER OR CAST IRON.
- ALL WATER LINES, BOTH HOT AND COLD, SHALL BE CAPPED AND TESTED AT 100 PSI FOR 24 HOURS. ALL WASTE PIPING SHALL BE TESTED WITH A 10' WATER COLUMN FOR A 2 HR PERIOD WITH NO CHANGE IN LEVEL.
- VENT PIPING SHALL BE LAID OUT SUCH THAT ALL ROOF PENETRATIONS SHALL BE ON BACK SIDE OF ROOF. PAINT EXPOSED VENT PIPING TO MATCH ROOF.
- COORDINATE ROOF PENETRATIONS WITH ROOFING CONTRACTOR. ENSURE THAT WARRANTY REQUIREMENTS OF ROOFING MANUFACTURER ARE SATISFIED.
- MATERIALS, EQUIPMENT, AND INSTALLATION SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE. DEFECTS WHICH APPEAR DURING THIS PERIOD SHALL BE CORRECTED AT THE MECHANICAL CONTRACTOR'S EXPENSE.
- INSULATE HOT WATER MAINS AND RETURN ONLY.

**FIXTURE CONNECTION NOTES:**

- CONNECT TO PLUMBING FIXTURES AND EQUIPMENT PROVIDED UNDER THIS AND OTHER SECTIONS OF SPECIFICATION, ARCHITECTURAL DRAWINGS, AND MANUFACTURER'S SHOP DRAWINGS. PROVIDE ROUGH-IN CONNECTION AS SHOWN IN DRAWINGS.
- USE FIXTURE SCHEDULE AND DETAILS ON DRAWINGS OR MANUFACTURER'S SHOP DRAWINGS FOR CONNECTION SIZES TO FIXTURES.
- PROVIDE SEPARATE P-TRAP FOR EACH FIXTURE, FLOOR DRAIN, AND PIECE OF EQUIPMENT.
- PROVIDE CAST IRON P-TRAPS FOR UNDER FLOOR DRAINS.
- MOUNT FIXTURES RIGID TO WALLS AS SHOWN ON DRAWINGS OR DETAILS.
- PROVIDE OUTLET DEVICES WHICH LIMIT FLOW OF HOT WATER TO LAVATORIES AND HAND SINKS TO A MINIMUM OF 0.5 GPH AND SIZED AS RECOMMENDED BY MANUFACTURER AND AS REQUIRED BY ASHRAE STANDARD 90-75, PARAGRAPH 7.7.2, LOCAL AND STATE ENERGY CODES.
- INSTALL LAVATORIES AND HAND SINKS WITH A MINIMUM OF 4" CLEARANCE ON EACH SIDE FROM WALL OR PARTITION.
- COORDINATE DIMENSIONS REQUIRED FOR MINIMUM FIXTURE CLEARANCE WITH OTHER DIVISIONS.
- INSTALL APPROVED CAULKING AROUND JOINTS AT FIXTURES MOUNTED ON WALL OR FLOOR.
- ALL DRAINS LOCATED WITHIN KITCHEN AREAS SHALL BE CONNECTED BY INDIRECT WASTE FIXTURE(S). FLOOR MOUNTED GREASE TRAP SHALL BE UTILIZED UNDER FOOD PREP SINK.

**PLUMBING SYMBOL LEGEND**

- CW PIPING
- HW PIPING
- SAN SANITARY PIPING
- VENT PIPING
- PIPE TURNING UP
- PIPE TURNING DOWN
- TIE IN TO EXISTING
- CLEAN OUT
- ⊗ TEMPERING VALVE

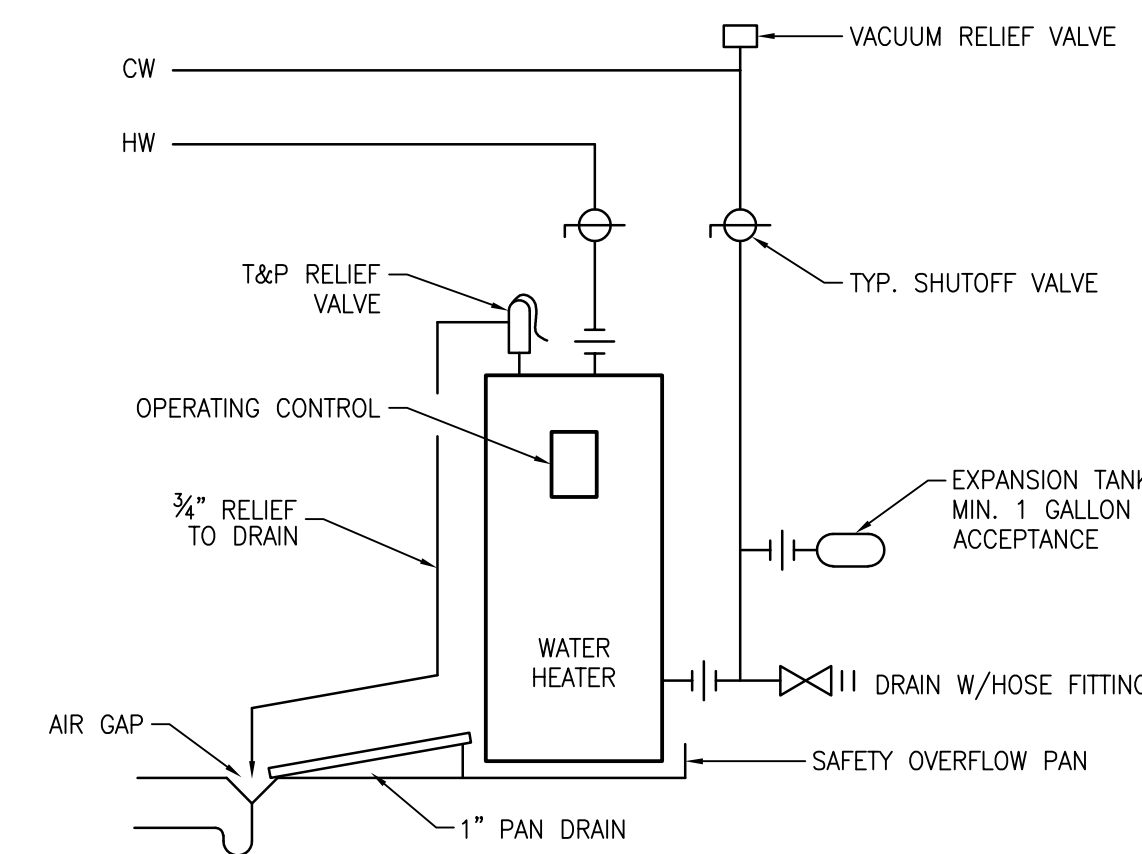


**RISER DIAGRAM**  
SCALE: N.T.S

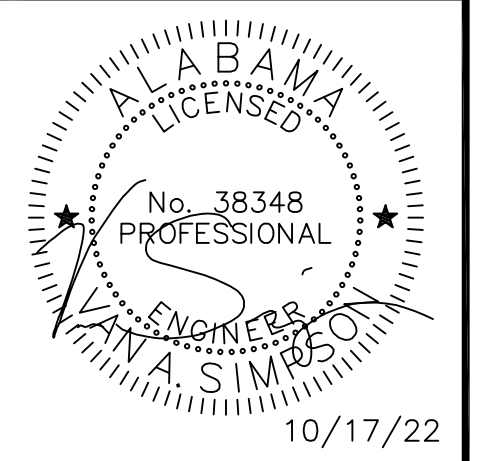
PLUMBING FIXTURE SCHEDULE	
WC-1	WATER CLOSET, ZURN ECOVANTAGE SERIES Z5555, FLOOR MOUNTED FLUSH TANK, ELONGATED, LOW CONSUMPTION, HIGH PERFORMANCE SIPHON JET W/3" FLUSH VALVE; ZURN Z595555-EL OPEN FRONT SEAT WITHOUT COVER; ZURN Z8800-CR STOP WITH FLEX. CLOSET RISER. MOUNT FIXTURE AT ADA HEIGHT WITH RIM AT 16-3/4" AFF. CONNECTIONS: CW 1/2", WASTE 3", VENT 2" MIN.
WC-2	WATER CLOSET, ZURN ECOVANTAGE SERIES Z5535, FLOOR MOUNTED FLUSH TANK, ELONGATED, LOW CONSUMPTION, HIGH PERFORMANCE SIPHON JET W/3" FLUSH VALVE; ZURN Z595555-EL OPEN FRONT SEAT WITHOUT COVER; ZURN Z8800-CR STOP WITH FLEX. CLOSET RISER. CONNECTIONS: CW 1/2", WASTE 3", VENT 2" MIN.
LV-1	LAVATORY, WALL MOUNTED - ZURN Z5314 SERIES WITH VITREOUS CHINA CONSTRUCTION AND 4" FAUCET CENTERS; ZURN Z831R4 FAUCET WITH LEVER HANDLES; ZURN Z8800 SUPPLIES; ZURN Z8700 TRAP; Z8746-PC ADA GRID STRAINER; ZURN Z8946-3-NT ADA PROTECTORS, ZURN Z1231 CONCEALED ARM CARRIER, CONNECTIONS: CW 1/2", HW 1/2", WASTE 1 1/4". MOUNT AT 34" TOP OF RIM FOR ADA REQUIRED MOUNTING HEIGHT.
KS-1	KITCHEN SINK, KOHLER VERSE, 2 BOWL, STAINLESS STEEL, TOP MOUNT, GOOSENECK FAUCET; KOHLER SIMPLICE, METAL CONSTRUCTION, CONNECTIONS: CW 1/2", HW 1/2", WASTE 1 1/4". INCLUDE 1/2HP GARBAGE DISPOSER WITH DISH WASHER CONNECTION.
SH-1	SHOWER STALL SELECTED BY OWNER, CONNECTIONS: CW 1/2", HW 1/2", WASTE 1-1/2"
UB-1	UTILITY BOX, WASHING MACHINE - OATEY WASHING MACHINE UTILITY BOX, HOT AND COLD WATER SUPPLY WITH DRAIN. QUARTER TURN WATER VALVES, CONNECTIONS: CW 1/2", HW 1/2", WASTE 1-1/2"
UB-2	UTILITY BOX, ICE MAKER - OATEY ICE MAKER UTILITY BOX, COLD WATER SUPPLY. QUARTER TURN WATER VALVES, CONNECTIONS: CW 3/8"
HB-1	HOSE BIBB, OUTDOOR TYPE, ZURN 195XL. CONNECTION: CW 3/4"

WATER HEATER SCHEDULE													
TAG	ELECTRIC DATA				HYDRONIC DATA					BASIS OF DESIGN		WEIGHT LBS	NOTES
	FLA	MOCF	VOLT PHASE	KW	EW	LWT	RATE OF RECOVERY	RISE OF RECOVERY	CAPACITY (GAL)	MFGR	MODEL		
	AMPS	AMPS			DEG.F	DEG.F	GPM	DEG. F					
WH-1	19	30	240/1	4.5	60	120	0.5	80	60	RHEEM	ELD60	100	ALL
WH-2	25	30	240/1	6.0	60	110	0.5	50	-	RHEEM	RTEX-06	30	2,3

NOTES:  
 1. 3/4" INLET OUTLET CONNECTIONS  
 2. SUPPLY 140°F WATER TO MOP SINK AND 110°F WATER TO LAVATORIES. LAVATORIES SHALL BE EQUIPPED WITH INDIVIDUAL TEMPERATURE LIMITING DEVICES THAT CONFORM WITH ASSE 1070.  
 3. OPERATING PRESSURE BETWEEN 20PSI TO 150 PSI



**WATER HEATER DETAIL**  
SCALE: N.T.S



RENOVATION DRAWINGS FOR  
**FOR SOBER LIVING**  
 BAY MINETTE, ALABAMA

JOB NO.:  
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 REVISION:

SCALE: NO SCALE

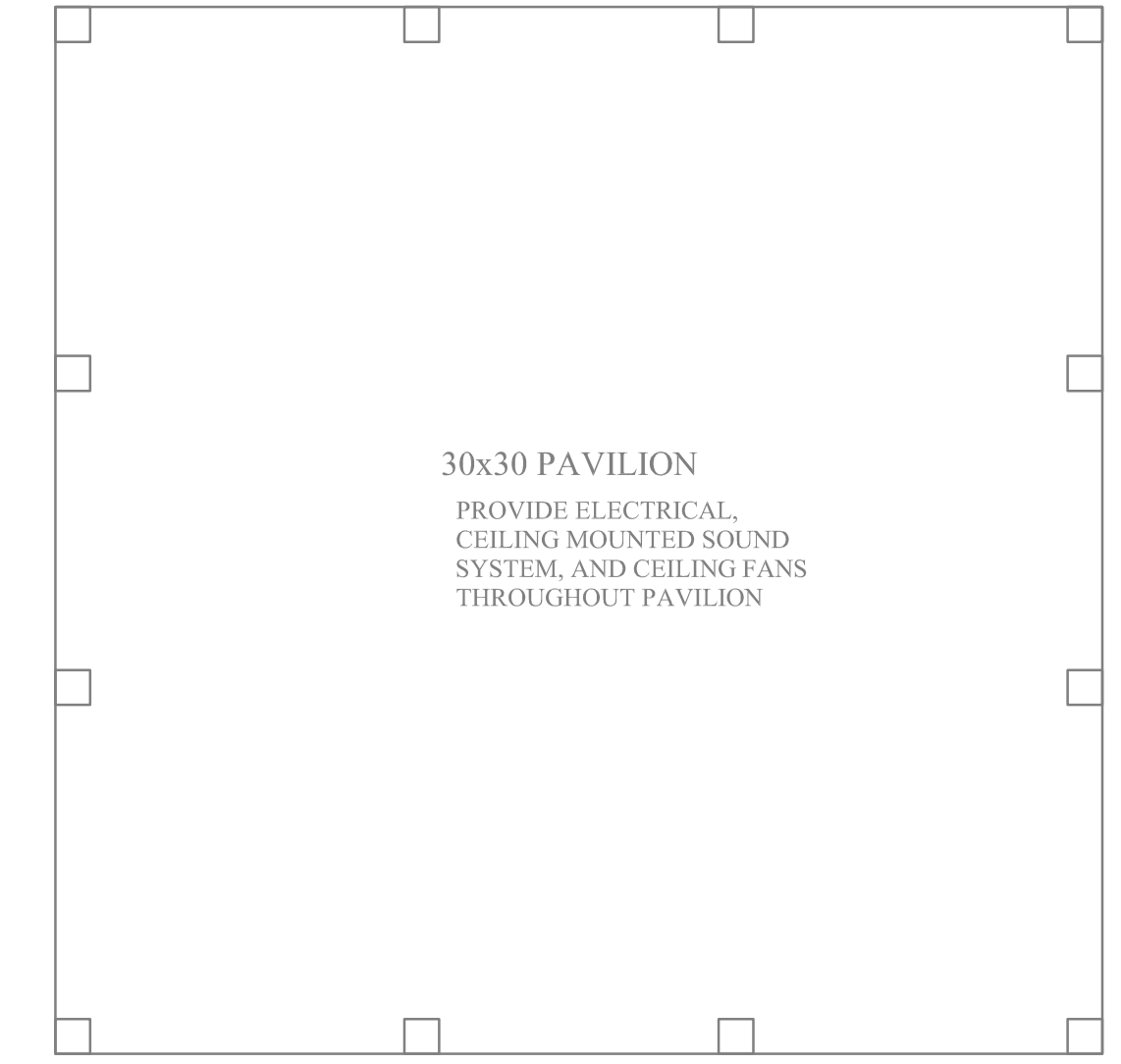
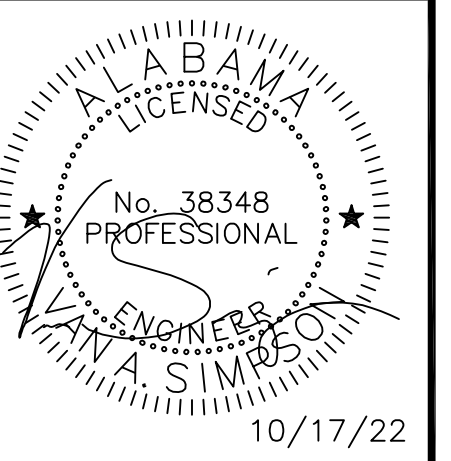
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 PLUMBINGNOTES AND SCHEDULES





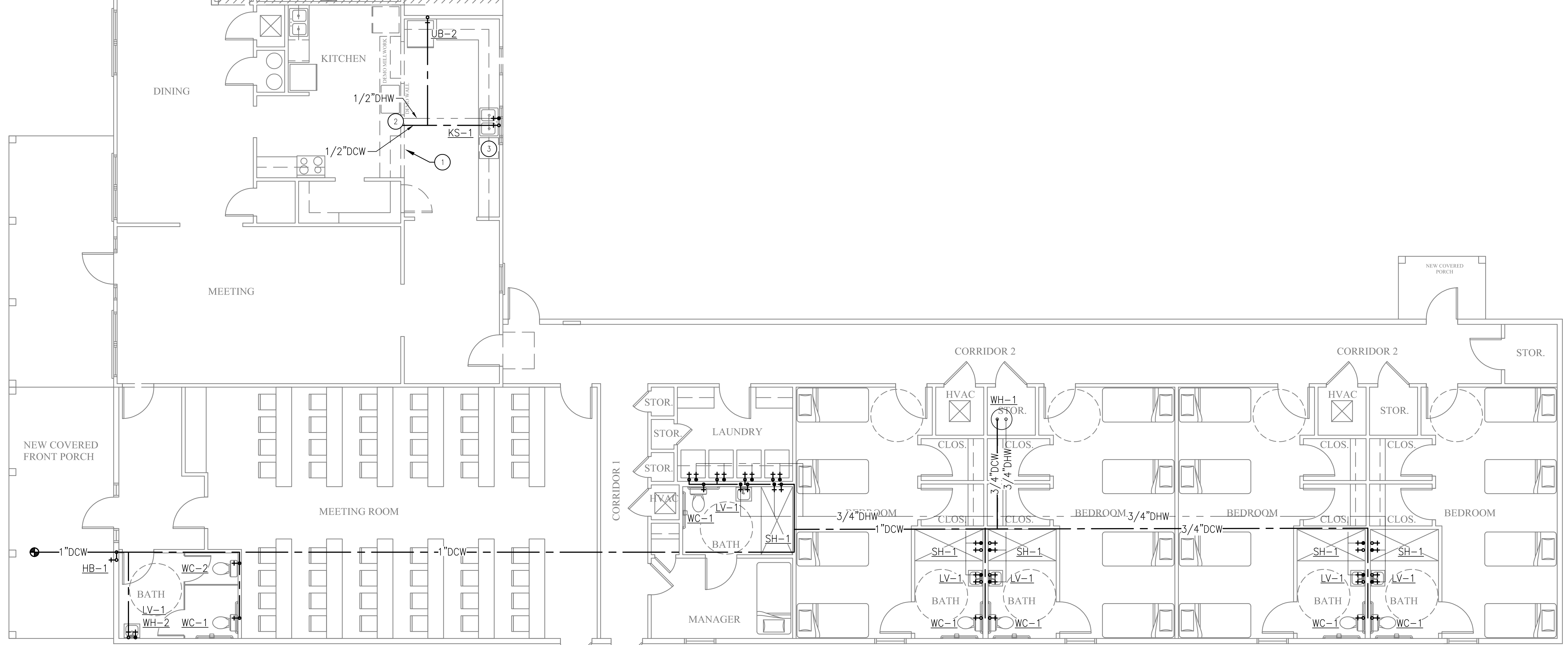


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**SPECIFIC NOTES:**

- ① KITCHEN WALL TO BE DEMOLISHED.
- ② TIE INTO EXISTING HOT AND COLD WATER LINES AND EXTEND TO NEW KITCHEN SINK AND UTILITY BOX LOCATIONS.
- ③ CONNECT WATER LINE TO DISHWASHER.



**PLUMBING PLAN**

SCALE: 3/16"=1'-0"

**RENOVATION DRAWINGS FOR  
 FOR  
 SOBER LIVING**  
 BAY MINETTE, ALABAMA

JOB NO.:  
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 REVISION:

SCALE: 3/16" = 1'-0"

SHEET NO.:

**P2.0**

PLUMBING PLAN







**GENERAL HVAC NOTES**

- FURNISH ALL LABOR, MATERIALS, TOOLS, INCIDENTALS AND DETAILS NECESSARY TO PROVIDE A COMPLETE HEATING, VENTILATING, AIR CONDITIONING SYSTEM. ALL WORK SHALL BE INSTALLED IN A PROFESSIONAL MANNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 INTERNATIONAL MECHANICAL CODE, SAFETY AND HEALTH CODES, NFPA CODES AND ALL OTHER APPLICABLE CODES AND REQUIREMENTS. ALL COSTS FOR SAID REQUIREMENTS SHALL BE INCLUDED IN THIS CONTRACTORS BID PRICE.
- THIS CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS AND PERFORM ALL TESTS CALLED FOR OR REQUIRED AS A PART OF HIS WORK. FURNISHED APPROVED CERTIFICATE OF FINAL INSPECTION, AND TURN OVER TO OWNER AT COMPLETION OF PROJECT.
- MECHANICAL PLANS ARE DIAGRAMMATIC, NOT SHOWING EVERY ITEM IN EXACT LOCATION OR DETAIL. MEASUREMENTS AND LOCATIONS MUST BE FIELD VERIFIED AND COORDINATED WITH ARCHITECTURAL, HVAC, FIRE PROTECTION, STRUCTURAL, ELECTRICAL AND OTHER BUILDING DRAWINGS.
- MECHANICAL CONTRACTOR TO PROVIDE GENERAL CONTRACTOR WITH AS-BUILT DRAWINGS, ALL EQUIPMENT SHOP DRAWINGS, INFORMATION ON THERMOSTATS, CONTROL WIRING DIAGRAMS AND OTHER PERTINENT INFORMATION AT COMPLETION OF PROJECT.
- DUCTS USED TO CONVEY THE CONDITIONED AIR SUPPLY AND VENTILATION AIR SHALL BE MADE OF CONTINUOUS SHEET METAL AND SHALL BE FABRICATED IN ACCORDANCE WITH ASHRAE GUIDE AND SMACNA MANUAL LATEST EDITIONS.
- DUCT LININGS (THERMAL AND ACOUSTICAL), VIBRATION ISOLATION CONNECTORS, FLEXIBLE DUCT CONNECTORS, AND DUCT TYPE SHALL BE APPROVED BY APPLICABLE CODE AND MECHANICAL ENGINEER.
- ALL RETURN AND SUPPLY AIR DUCTWORK WITHIN 20'-0" OF AIR HANDLING EQUIPMENT SHALL BE DUCT LINED FOR SOUND ATTENUATION. REMAINING DUCT SHALL INSULATED WITH MINERAL FIBER DUCT WRAP.
- ALL RETURN AND SUPPLY AIR DUCTWORK, THAT IS NOT LINED, SHALL BE EXTERNALLY INSULATED WITH 2" THICK, 1.5 LBS. DENSITY FOIL FACED FIBERGLASS INSULATION. DUCT DIMENSIONS SHOWN ARE NET DIMENSIONS, ADD TO SHEET METAL SIZE FOR INSULATION. IN GENERAL, INSTALL DUCTWORK TIGHT TO UNDERSIDE OF STRUCTURE UNLESS OTHERWISE NOTED OR REQUIRED BY FIELD CONDITIONS. COORDINATE EXACT MOUNTING HEIGHT IN FIELD WITH GENERAL CONTRACTOR. ROUND DUCTWORK IN CONDITIONED SPACE DOES NOT REQUIRE INSULATION UNLESS OTHERWISE NOTED.
- ALL BRANCH TAKE-OFFS SHALL BE PROVIDED WITH MANUAL BALANCING DAMPERS.
- FLEXIBLE INSULATED DUCTS SHALL BE MAXIMUM 6'-0" LONG AND SHALL MEET INSTALLATION AND MATERIAL REQUIREMENTS OF LOCAL CODES.
- ALL TEMPERATURE CONTROLS, FIRE ALARM COMPONENTS, EQUIPMENT NAMEPLATES, LABELS, OR COLOR CODED COMPONENTS SHALL BE MASKED DURING PAINTING TO PREVENT DAMAGE FROM OVER-SPRAY OR OBSCURING INFORMATION.
- ALL LOW VOLTAGE WIRING REQUIRED FOR MECHANICAL EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR. MECHANICAL CONTRACTOR SHALL COORDINATE POWER REQUIREMENTS FOR HVAC EQUIPMENT WITH ELECTRICAL CONTRACTOR.
- SEAL & TAPE ALL OPENINGS IN DUCTWORK AIRTIGHT AFTER TESTING.
- CHECK & VERIFY ALL FIELD CONDITIONS & ACTUAL DIMENSIONS BEFORE PREPARING SHOP DRAWINGS BEFORE INSTALLATION. NOTIFY ARCHITECT IMMEDIATELY OF ANY AND ALL DISCREPANCIES.
- TEST & BALANCE ALL SUPPLY, RETURN & EXHAUST SYSTEMS ACCORDING TO CFM INDICATED ON PLANS. SUBMIT REPORT AS PER SPECIFICATIONS.
- ALL APPLIANCE AND PLUMBING VENTS SHALL BE AT LEAST TEN (10) FEET IN A HORIZONTAL DIRECTION, OR THREE (3) FEET ABOVE THE OUTSIDE AIR INTAKES FOR HVAC AND MAKE-UP AIR UNITS.
- IN THE EVENT THAT CERTAIN WORK REQUIRES INCIDENTAL DAMAGE TO THE BUILDING, FINISHES OR PROPERTY TO COMPLETE THE WORK, THE CONTRACTOR FURNISH ALL REPAIR NECESSARY TO DELIVER TO THE AFFECTED AREA BACK TO OWNER THAT MEETS OR EXCEEDS THE CONDITION PRIOR TO DAMAGE.
- VERIFY EXISTING CONDITIONS WHERE FANS ARE SCHEDULED FOR REPLACEMENT PRIOR TO EQUIPMENT ORDER.
- ALL AIR DISTRIBUTION SYSTEMS THAT SUPPLY AIR CAPACITY GREATER THAN 2000 CFM REQUIRE A SMOKE DETECTION SYSTEM MOUNTED IN THE SUPPLY SIDE UPSTREAM OF FIRST BRANCH. IN THE CASE WHERE SMOKE DETECTORS ARE INSTALLED IN CONCEALED LOCATION A REMOTE ALARM AND TEST SWITCH SHALL BE MOUNTED IN AN ACCESSIBLE LOCATION.

**SPLIT SYSTEM HEAT PUMP SCHEDULE**

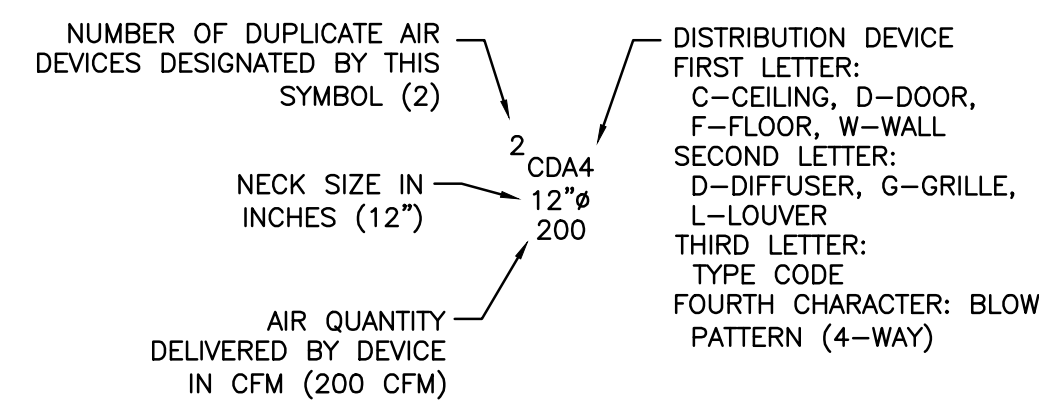
MARK NO.	AREA SERVED	TONS	TOTAL CFM	O.A. (CFM)	SEER	CLG CAPACITY		INDOOR UNIT						OUTDOOR UNIT						NOTES			
						TOTAL MBH	SENS MBH	ELECT HEAT KW	MFGR & MODEL (BASIS OF DESIGN)	VOLT PHASE	HP	E.S.P.	MCA	MOCF	MFGR & MODEL (BASIS OF DESIGN)	VOLT PHASE	COMP. RL-LR	FAN FLA (AMPS)	MCA		MOCF	WEIGHT (LBS)	
AHU-1	CU-1	BEDROOMS	3	1200	100	14	36	27	9.6	TRANE GAMS80B36	240/1	1/2	0.5	55	60	TRANE 4TTR4036	240/1	14.7-72.2	0.64	18	30	275	1-7
AHU-2	CU-2	BEDROOMS	4	1600	0	14	48	35	9.6	TRANE GAMS80C48	240/1	3/4	0.5	58	60	TRANE 4TTR4048	240/1	19.6-130	1.05	24	40	275	1-7
AHU-3	CU-3	MEETING	4	1600	0	14	48	35	9.6	TRANE GAMS80C48	240/1	3/4	0.5	58	60	TRANE 4TTR4048	240/1	19.6-130	1.05	24	40	275	1-7
AHU-4	CU-4	KITCHEN	5	2000	0	14	60	50	9.6	TRANE GAMS80C60	240/1	1.0	0.5	58	60	TRANE 4TTR4060	240/1	20.8-127.1	1.05	27	45	275	1-7

- NOTES:  
 1. 410A REFRIGERANT.  
 2. FURNISH THERMOSTAT CONFIGURED FOR REMOTE BULB SENSOR AT AHU RETURN PLENUM.  
 3. FURNISH WITH LOW AMBIENT CONTROLS.  
 4. FURNISH WITH ANTI-SHORT CYCLE TIMER.  
 5. FURNISH AND INSTALL VIBRATION ISOLATOR FEET TO OUTDOOR UNITS.  
 6. FASTEN OUTDOOR UNITS TO HOUSEKEEPING PAD.  
 7. FURNISH NEW MERV 10 FILTERS AT OWNER OCCUPANCY.

**VENTILATION CALCULATION**

ROOM	APPROX ROOM SIZE (SF) "Az"	VENTILATION REQUIREMENTS	OCCUPANCY VALUES "Pz"		VENTILATION RATES "Vbz"	EXHAUST AIR RATES	ADJUSTED OUTSIDE AIR RATE (CFM)	EXHAUST AIR RATE AS DESIGNED (CFM)	REMARKS
		IMC 2018 TABLE 403.3	IMC 2018 TABLE 403.3	PEOPLE REQUIRED PER DESIGN	IMC 2018 TABLE 403.3	IMC 2018 TABLE 403.3			
DINING/MEETING	1000	30/1000 7.5 CFM/PERSON + 0.06 CFM/SF	35	35	285	-	300		
MEETING	800	30/1000 7.5 CFM/PERSON + 0.06 CFM/SF	24	24	228	-	250		
KITCHEN	200	20/1000 7.5 CFM/PERSON + 0.12 CFM/SF, 0.7 CFM/SF EXH	4	4	54	140	55	140	
BEDROOM	1400	10/1000 5 CFM/PERSON + 0.06 CFM/SF	14	16	164	-	200		
RESTROOMS	12 FIXTURES	50 CFM/FIXTURE	-	-	-	600	-	600	

**DIFFUSERS/GRILLES/LOUVERS**



**AIR TERMINAL DEVICE SCHEDULE**

MARK	DESCRIPTION	MFGR	MODEL	MATERIAL	NECK	NOTES
CD	CLG SUPPLY AIR GRILLE	TITUS	250-AA	ALUM.	RECT	ALL
RAG	RETURN AIR GRILLE	TITUS	4FL	ALUM.	RECT	ALL

NOTES:  
 1. BASIS OF DESIGN - MAY SUBMIT EQUAL.  
 2. FINISH SHALL BE VERIFIED W/ARCHITECT

**FAN PERFORMANCE DATA**

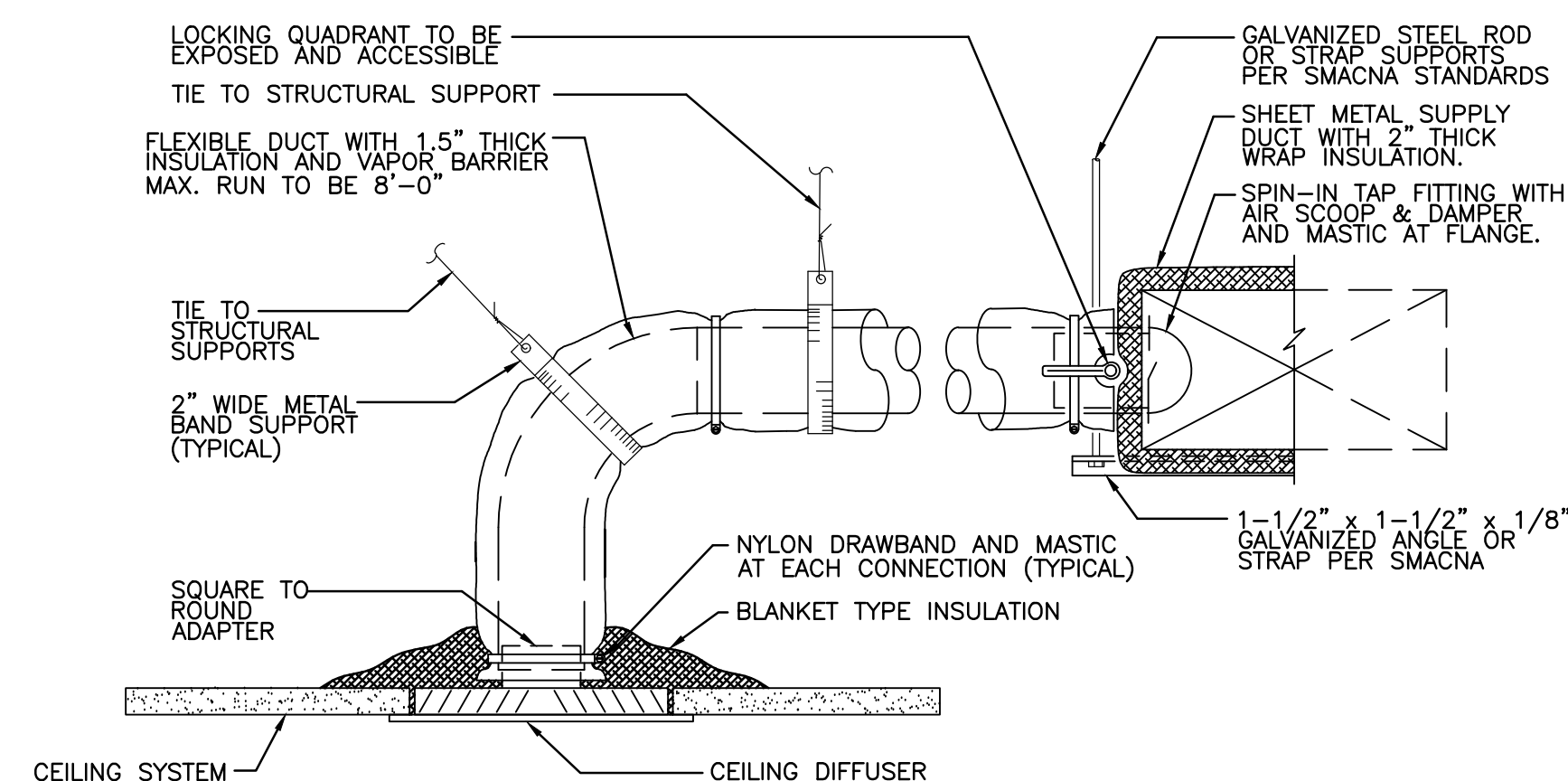
TAG	SERVICE	CFM	SONES	ELECTRICAL DATA			BASIS OF DESIGN		NOTES
				POWER	E.S.P.	VOLTAGE	MFGR	MODEL	
EF-1	RESTROOMS	140	3.5	50W	0.25	120/1	GREENHECK	SP-A190	1-6

EQUIPMENT NOTES:  
 MFGR SPECIED IS "BASIS OF DESIGN" OR EQUAL. CONTRACTOR SHALL SUBMIT MFGR, MODEL AND PERFORMANCE DATA.  
 1. INTEGRAL DISCONNECT  
 2. VIBRATION ISOLATION KIT  
 3. INTEGRAL BACKDRAFT KIT  
 4. FAN SPEED CONTROL  
 5. ALUMINUM CEILING GRILL  
 6. FURNISHED WITH KITCHEN HOOD PACKAGE (BY OWNER).  
 7. INTERLOCK WITH RTU-2

**HVAC SYMBOL LEGEND**

ALL SYMBOLS SHOWN MAY NOT APPEAR IN DRAWINGS.

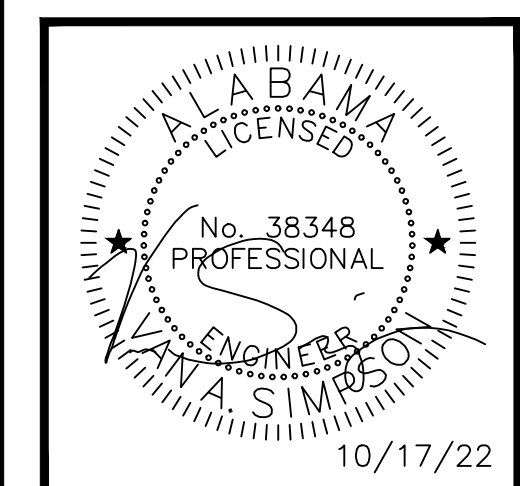
- SUPPLY AIR
- RETURN AIR
- EXHAUST AIR
- THERMOSTAT
- WALL CAP
- SUPPLY AIR
- EXHAUST AIR



NOTE: FOR BRANCH DUCT CONNECTIONS IN EXCESS OF 8'-0" PROVIDE RIGID ROUND DUCT TO WITHIN 6'-0" OF DIFFUSER AND CONNECT WITH FLEXIBLE DUCT.

**TYP DIFFUSER & BRANCH CONNECTION**

SCALE: NOT TO SCALE



RENOVATION DRAWINGS FOR  
**FOR SOBER LIVING**  
 BAY MINETTE, ALABAMA

JOB NO.:  
 DRAWN: XX  
 CHECKED: XX  
 DATE: 2022.06.24  
 REVISION:

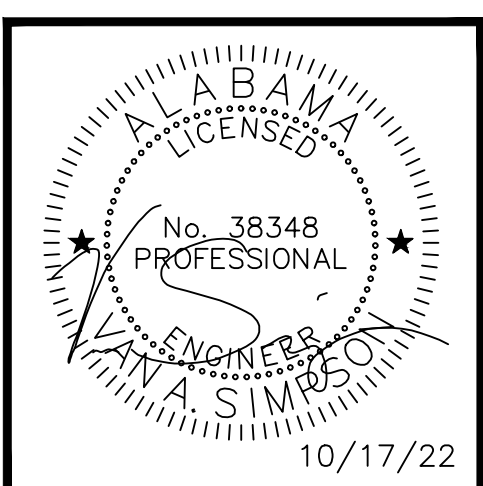
SCALE: NO SCALE

SHEET NO.:

**M1.0**  
 HVAC NOTES AND SCHEDULES







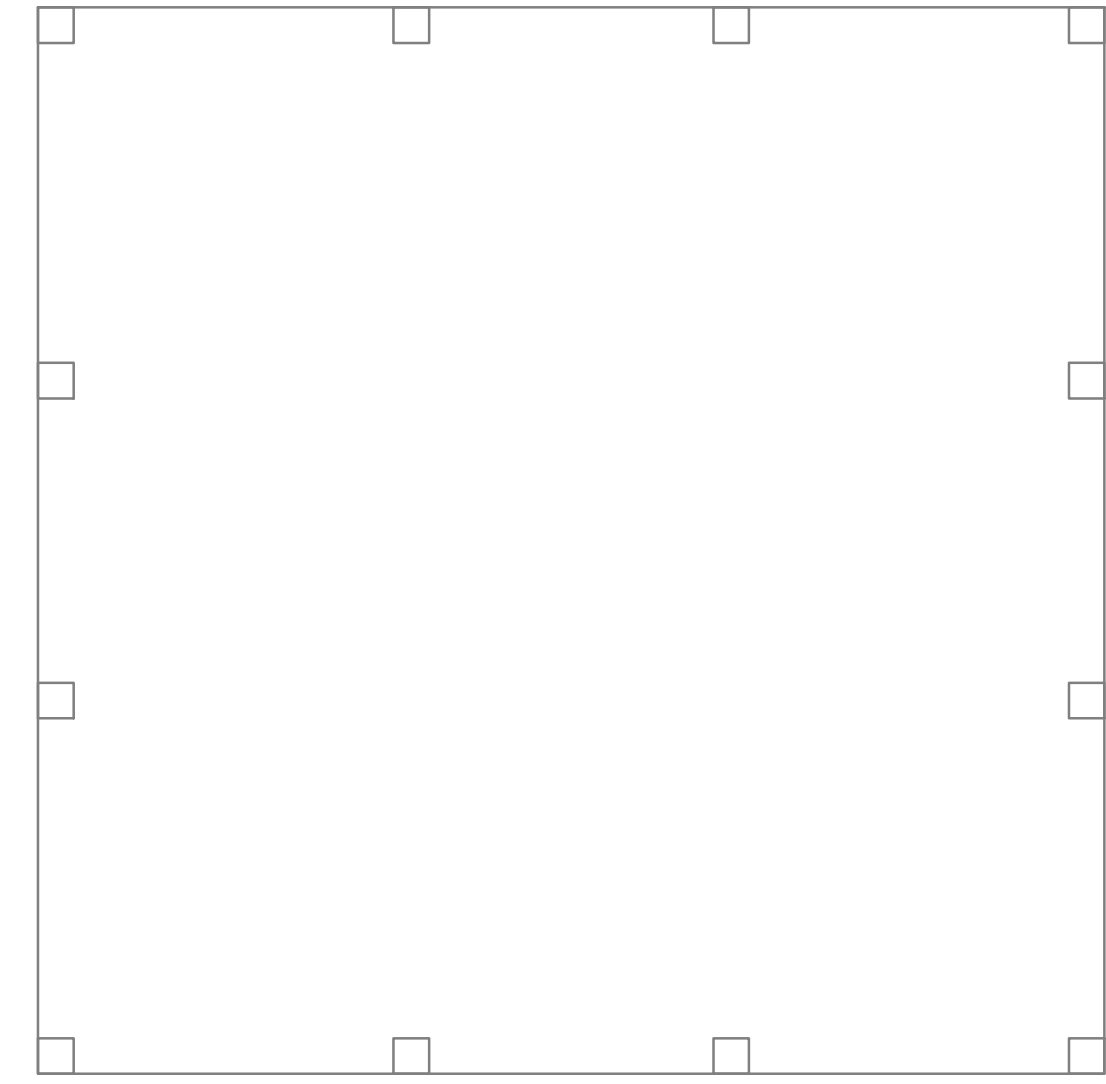
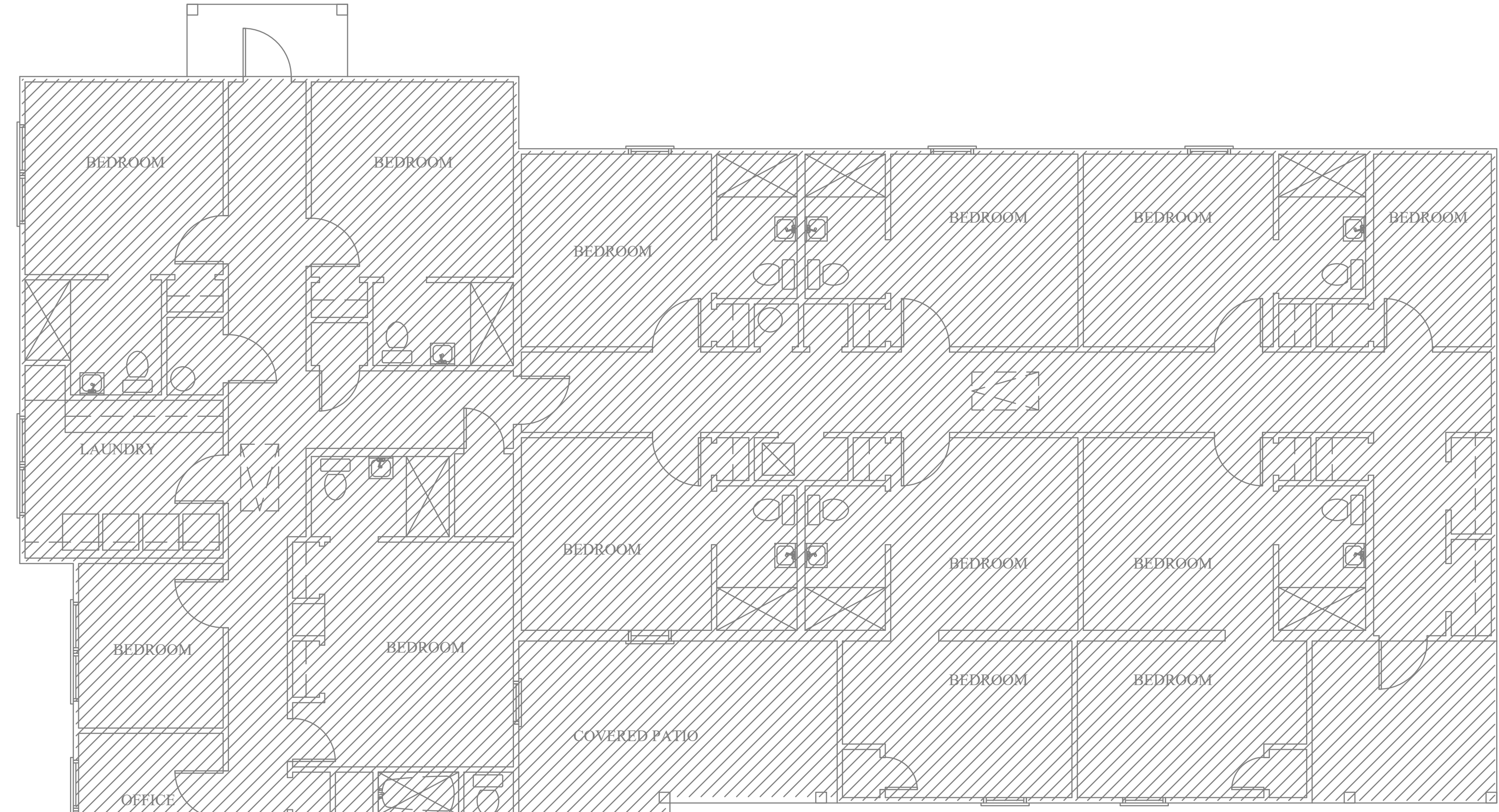
RENOVATION DRAWINGS FOR  
FOR  
SOBER LIVING  
BAY MINETTE, ALABAMA

JOB NO.:  
DRAWN: XX  
CHECKED: XX  
DATE: 2022.06.24  
REVISION:

SCALE: 3/16" = 1'-0"

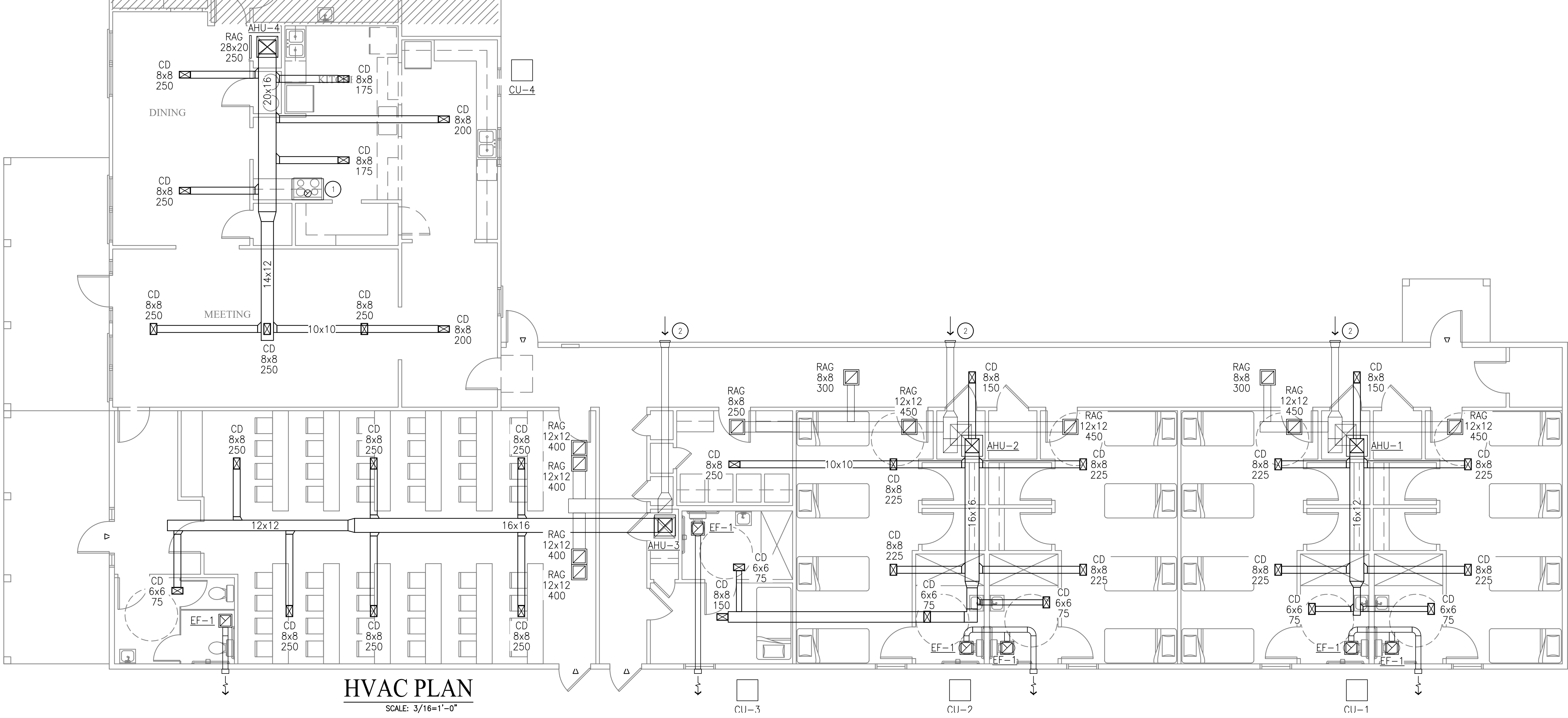
SHEET NO.:

M2.0  
HVAC PLAN



**SPECIFIC NOTES:**

- ① 36" HOOD WITH EXHAUST TO OUTSIDE, 150CFM MIN. ROUTE 8" DUCT UP THRU ROOF AND TERMINATE WITH ROOF EXHAUST CAP. SEAL PENETRATION WEATHER TIGHT.
- ② OUTDOOR AIR INTAKE, PROVIDE AND INSTALL INTAKE LOUVER.



**HVAC PLAN**  
SCALE: 3/16"=1'-0"

